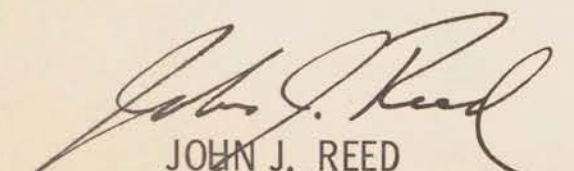


P R E F A C E

THIS FOLIO HAS BEEN PREPARED WITH THE PRIME OBJECTIVE OF IMPROVING THE OVERALL DESIGN OF MILITARY FAMILY HOUSING AND OBTAINING THE HIGHEST QUALITY OF HOUSING POSSIBLE WITHIN THE LIMITATIONS SET BY THE CONGRESS AND AT THE MOST REASONABLE COST CONSIDERING BOTH INITIAL INVESTMENT AND ULTIMATE MAINTENANCE COSTS. THE DEFINITIVES CONTAINED IN THIS FOLIO ARE INTENDED TO SET A MINIMUM STANDARD OF ACCEPTABLE DESIGN AND TO PRESENT NEW IDEAS AND CONCEPTS. WE ARE COGNIZANT THAT BETTER HOUSING CANNOT BE EFFECTED THROUGH A DESIGN FOLIO ALONE. THE REALIZATION OF THIS GOAL REQUIRES THE VISION, COOPERATION AND CONCERTED EFFORT OF THOSE RESPONSIBLE FOR THE DEVELOPMENT OF EACH PARTICULAR MILITARY FAMILY HOUSING PROJECT.

  
JOHN J. REED  
Deputy Assistant Secretary of Defense  
(Family Housing)

## INTRODUCTION

This folio of definitive plans is of multi-purpose; it sets forth a minimum standard of acceptable design, and by presentation intends to foster economies in coordinated house and site design, as well as to challenge the imaginations of those charged with the development of new family housing projects.

It is hoped that this challenge will produce house and site plans which will make revision of this folio desirable and necessary. Additionally, changing trends in design acceptance and construction technology will also require revision and augmentation of the folio. Accordingly, the folio is presented in a form which facilitates change, and the addition of new concepts is encouraged.

The military family housing program is large and widespread. It would be exceedingly difficult to initially include in the folio sufficient plans to produce the most appropriate house for all local conditions. House types which can meet most building conditions are herein presented. Care was taken to include houses for both sloping and flat sites so that excessive site development would be avoided.

The definitive drawings initially include four groups of houses, each group having been prepared by a nationally outstanding architectural firm:

- Group I. Cold Climate houses consisting primarily of Enlisted and Company Grade units.  
Architects - Robert A. Little & George F. Dalton & Associates  
of Cleveland, Ohio.
- Group II. Cold Climate houses consisting primarily of Field Grade and Senior Officer units.  
Architects - Keyes, Lethbridge & Condon  
of Washington, D. C.
- Group III. Warm Climate houses consisting of Enlisted and Company Grade units.  
Architects - A. Quincy Jones and Frederick E. Emmons & Associates  
of Los Angeles, California.
- Group IV. Warm Climate houses consisting primarily of Field Grade and Senior Officer units.  
Architect - George Matsumoto  
of Oakland, California.

Many ideas gained through the architects' successful experience in the residential housing field are reflected in the folio plans. Included are such desirable features as family rooms, bathroom vanities and attractive well-planned kitchens. Some features have been included which might not be universally suited for every location of military family housing. It is intended that such items as large glass areas and the indicated materials be given individual study, and adapted to local conditions and requirements.

In the development of the plans for the various house types, special attention was given to the design of the quarters for Enlisted Personnel and the Company Grade Officers, as these units constitute the greatest part of our construction program. Department of Defense objectives dictate the development of a plan for

these units which will provide reduced costs in siting, construction and maintenance. One recognized solution is the town house concept. Well-designed, multi-story row-unit town houses, closely-sited amid large open areas can effect the desired economies, while retaining many of the attractive features of the loosely sited single or duplex house.

Since the town house will have a prominent part in the forthcoming increments of the family housing construction program, the following design guidance is set forth for consideration in the utilization of the definitives as well as any alternate plans.

### CRITICAL POINTS IN THE PLANNING OF A TOWN HOUSE PROJECT

A town house development is a very difficult kind of project to plan in a completely satisfactory way and requires the skills of the most competent professionals in architecture and land planning. However, if designed with better than minimum standards, with adequate provision for private yards, as well as large easily accessible areas for community facilities and children's play yards, this type of community development can provide comfortable and private living conditions with the added advantage of larger park and recreation areas. The benefits of the town house development have been excellently expressed by the Federal Housing Administration in its recent publication "Land Planning Bulletin No. 6", and much of the following information is credited to that document.

#### SITING:

The success of a town house project is dependent upon the quality of the siting, and it is imperative that the importance of this phase of the design not be underestimated.

Economies in town house construction are largely obtained by closely grouping the houses to reduce street and utility costs while leaving the remainder of the land in open park areas. It follows that the densities will tend to be high; however, the intensity of development should be determined individually for each project depending upon the characteristics of the site and the economies to be obtained.

The development of the site should be strongly influenced by the existing topography. Recognition of the terrain in the design will 1) avoid excessive costs for grading, drainage and erosion control, 2) provide the project with distinctive character and appeal, and 3) permit the preservation of existing vegetation and other natural site features which tend to impart interest and a feeling of stability to the project.

Careful planning of the open spaces is basic, as these common recreational areas and their facilities provide benefits not common in most subdivisions. The architect should strive to blend the house with these open areas and to provide easy and attractive access between the two.

#### PARKING:

Adequate, unobtrusive parking facilities are essential and should be designed to provide each tenant with a

conveniently located assigned parking space, preferably within 100 feet of his house. Skillful design of parking courts is critical, as large areas of pavement can drastically reduce the visual appeal of the project. Parking spaces must be designed to blend with the architecture and residential flavor of the community, using attractive walls, fences, and planting to screen the cars and eliminate the stark effect usually associated with such areas. Landscaping should include trees to shade the paved surfaces and to reduce glare. When placing trees, consideration should be given to the problem of clearing heavy snows.

#### CAR CIRCULATION AND ACCESS:

Traffic circulation should be around a residential development, not through it. Major traffic arteries should provide for fast and convenient access to the project; but when the project has been reached, safety, convenience, and pleasant living for the residents should take precedence over traffic speed and shortcuts through the project. Arterial streets should normally not be used for car access to the houses, as the backing of cars from the driveways into fast-moving traffic is a ready cause of accidents.

Collector streets of ample width and flowing alignment should feed traffic between the arterial streets and a network of minor access streets on which most of the houses are located. Location of collector streets near the perimeter of a project is often advantageous. Short loop streets and culs-de-sac are best for the minor streets because they provide the safest access to and from the house clusters. Superblocks made up of several or many such minor elements are very appropriate to the cluster subdivision and town house concept. With careful design, the common open space and its recreational facilities can be made accessible by foot from all houses without crossing any street.

The width of minor streets should be limited to two traffic lanes if car parking for tenants and guests is adequately and conveniently provided elsewhere. Through careful design, this can produce savings in grading, drainage, and street construction.

#### HOUSING UNITS:

Physically a town house is one of a number of attached homes — part of a group of related structures. Basically, however, it should be designed to be a private family home and, as such, must be satisfying as a home on its own merits. Therefore, when planning a town house it is important to create a feeling of spaciousness as well as a feeling of privacy. Visually relating the units' interior with private patios is one method of accomplishing this. Acoustical privacy also relates to a feeling of separation and spaciousness. Special attention should be given to the adequate soundproofing of walls between living units.

Each house should provide a court yard, properly enclosed for child care, relaxation and utility services. Landscaping of these private areas should be confined to plants which stay small without trimming and to shrubs and trees which require relatively little care. Areas nonconductive to the growth of plant life should be covered with gravel, concrete or similar low-maintenance materials.

# CONTENTS

(• HOUSES WITH BASEMENT )

		COLD CLIMATE		WARM CLIMATE				
		DESIGN GROUP <b>I</b>	DESIGN GROUP <b>II</b>	DESIGN GROUP <b>III</b>	DESIGN GROUP <b>IV</b>	GROUP <b>V</b>	GROUP <b>VI</b>	GROUP <b>VII</b>
ENLISTED	3 B.R. 2 Story Townhouse, Flat Site	I EM 1 .	II EM 1 .	III EM 1 a.b	IV EM 1			
	4 B.R. 2 Story Townhouse, Flat Site	I EM 2 .		III EM 2				
	3 B.R. 1 Story Townhouse, Flat Site	I EM 3 .		III EM 3				
	3 B.R. 2 Story Townhouse, Hillside Enter Top Floor	I EM 4		III EM 4 a.b				
	3 B.R. 2 Story Townhouse, Hillside Enter Bottom Floor	I EM 5		III EM 5 a.b				
	3 B.R. 2 Story Townhouse, Hillside Combination - Upper Component	I EM 6		III EM 6				
	3 B.R. 1 Story Townhouse, Hillside Combination - Lower Component	I EM 7		III EM 7				
COMPANY GRADE LIEUTENANTS, CAPTAINS OR EQUIVALENT	3 B.R. 2 Story Townhouse, Flat Site	I CGO 1 .	II CGO 1 .	III CGO 1				
	4 B.R. 2 Story Townhouse, Flat Site	I CGO 2 .		III CGO 2				
	3 B.R. 1 Story Townhouse, Flat Site	I CGO 3 .		III CGO 3				
	3 B.R. 2 Story Townhouse, Hillside Enter Top Floor			III CGO 4 a.b				
	3 B.R. 2 Story Townhouse, Hillside Enter Bottom Floor			III CGO 5 a.b				
	3 B.R. 2 Story Townhouse, Hillside Combination - Upper Component	I CGO 6		III CGO 6				
	3 B.R. 1 Story Townhouse, Hillside Combination - Lower Component	I CGO 7		III CGO 7				
FIELD GRADE MAJORS, LT. COLONELS OR EQUIVALENT	3 B.R. 2 Story Duplex or Single		II FGO 1 .		IV FGO 1			
	4 B.R. 2 Story Duplex or Single		II FGO 2 .		IV FGO 2			
	3 B.R. 1 Story Duplex or Single		II FGO 3 .		IV FGO 3			
	4 B.R. 1 Story Duplex		II FGO 4 .		IV FGO 4			
	3 B.R. 2 Story Hillside, Enter Top Floor		II FGO 5		IV FGO 5			
	3 B.R. 2 Story Hillside, Enter Bottom Floor		II FGO 6		IV FGO 6			
SENIOR GRADE COLONELS, NAVY CAPTAINS OR EQUIVALENT	4 B.R. 1 Story Single	I SO 1 .	II SO 1		IV SO 1			
	4 B.R. 2 Story Single	I SO 2 .	II SO 2 .		IV SO 2 .			
	4 B.R. Split Single				IV SO 3			
GENERALS OR EQUIVALENT	4 B.R. 1 Story Single		II GO 1 .		IV GO 1			
	4 B.R. 2 Story Single		II GO 2 .					
	4 B.R. Split Single				IV GO 3			

## DESIGN GROUP I

### GENERAL REMARKS

Design Group I contains Town House units of three and four bedrooms for Enlisted Men and Company Grade Officers, plus two detached Senior Officer houses of compatible design. All of these houses have been designed for a Cold Climate, and they provide considerable storage, both indoors and out.

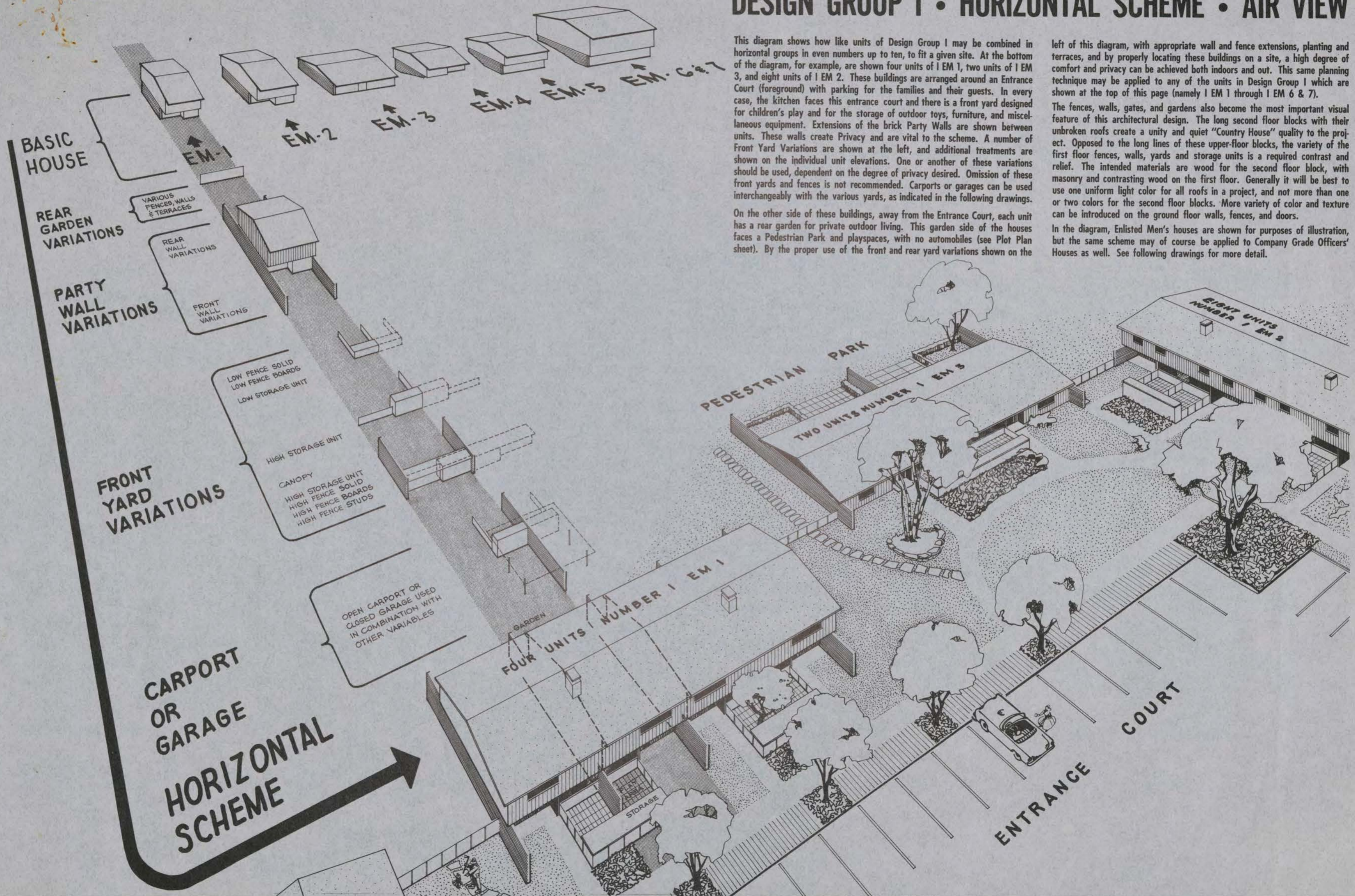
The most obvious need for the families in these houses is SPACE. The plans that follow have tried to achieve the most generous, usable, and pleasant living space obtainable within the government's limitations of area and cost.

As important as Space is PRIVACY. All families desire Privacy. Privacy becomes particularly important in a group living situation such as exists in a town house project. Not only do the residents live together, but they also spend every day working in the close society of military life, and the desire for Privacy becomes an urgent requirement.

Privacy is achieved in these designs by several means. Inside, the dividing walls are to be made as soundproof as possible, by such means as block partitions, staggered studs, insulation, and the avoidance of sound transmission through back-to-back electrical outlets. On the outside, bedroom windows are spaced to be some distance from the neighbors. On the ground, the requirements for a combination of party walls, fences, and planting is mandatory in both front and rear yards. The following drawings indicate various possibilities which should be used generously and fully. The economic advantages of the row-house designs will be negated if the livability and privacy are sacrificed by the omission of proper fences, walls, and planting.

Design Group I has two developmental schemes. The Horizontal Scheme is designed to be used in relatively open areas. The Vertical Scheme is designed to be used in more urban or crowded areas.

# DESIGN GROUP I • HORIZONTAL SCHEME • AIR VIEW



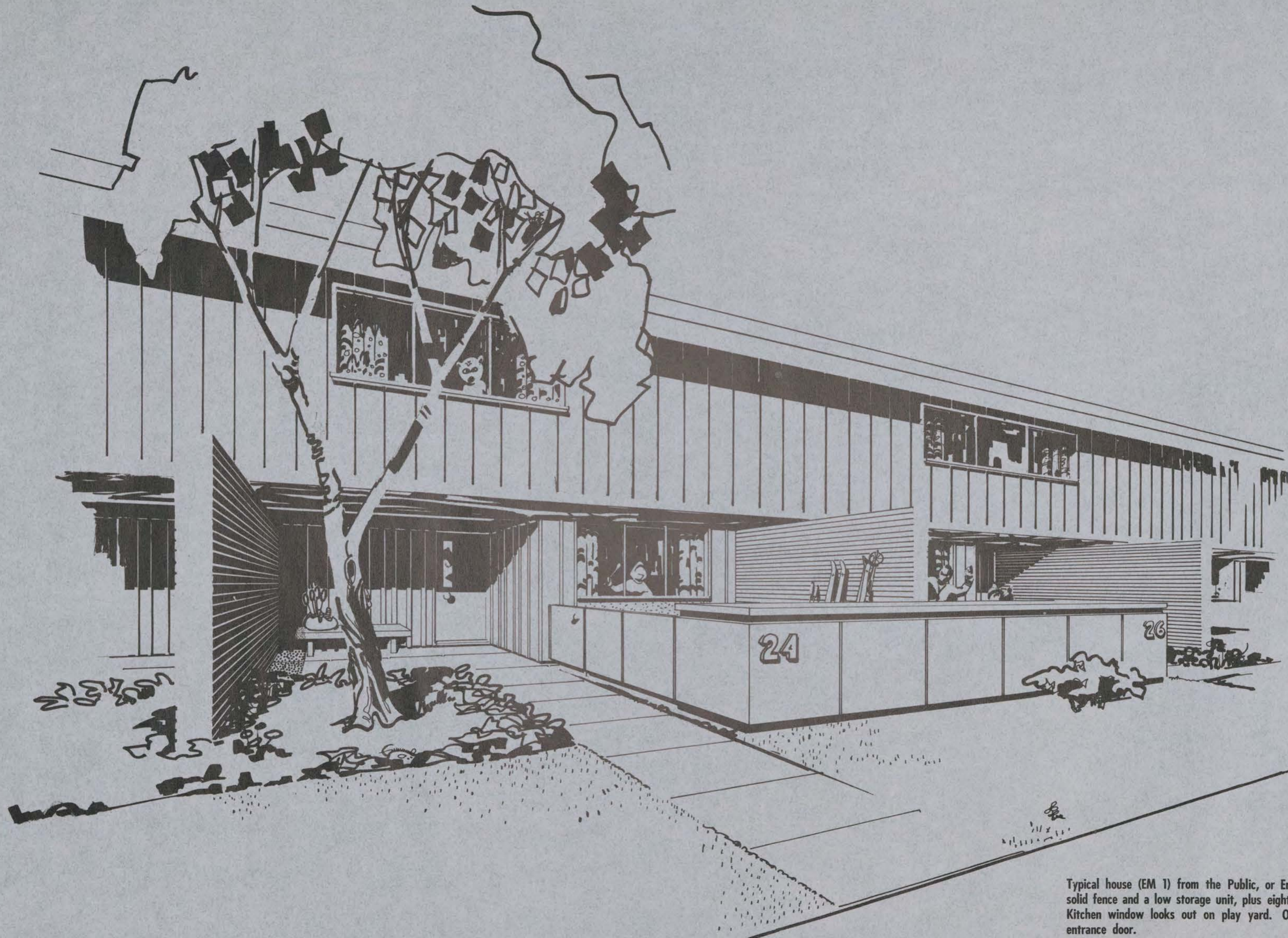
This diagram shows how like units of Design Group I may be combined in horizontal groups in even numbers up to ten, to fit a given site. At the bottom of the diagram, for example, are shown four units of I EM 1, two units of I EM 3, and eight units of I EM 2. These buildings are arranged around an Entrance Court (foreground) with parking for the families and their guests. In every case, the kitchen faces this entrance court and there is a front yard designed for children's play and for the storage of outdoor toys, furniture, and miscellaneous equipment. Extensions of the brick Party Walls are shown between units. These walls create Privacy and are vital to the scheme. A number of Front Yard Variations are shown at the left, and additional treatments are shown on the individual unit elevations. One or another of these variations should be used, dependent on the degree of privacy desired. Omission of these front yards and fences is not recommended. Carports or garages can be used interchangeably with the various yards, as indicated in the following drawings.

On the other side of these buildings, away from the Entrance Court, each unit has a rear garden for private outdoor living. This garden side of the houses faces a Pedestrian Park and playspaces, with no automobiles (see Plot Plan sheet). By the proper use of the front and rear yard variations shown on the

left of this diagram, with appropriate wall and fence extensions, planting and terraces, and by properly locating these buildings on a site, a high degree of comfort and privacy can be achieved both indoors and out. This same planning technique may be applied to any of the units in Design Group I which are shown at the top of this page (namely I EM 1 through I EM 6 & 7).

The fences, walls, gates, and gardens also become the most important visual feature of this architectural design. The long second floor blocks with their unbroken roofs create a unity and quiet "Country House" quality to the project. Opposed to the long lines of these upper-floor blocks, the variety of the first floor fences, walls, yards and storage units is a required contrast and relief. The intended materials are wood for the second floor block, with masonry and contrasting wood on the first floor. Generally it will be best to use one uniform light color for all roofs in a project, and not more than one or two colors for the second floor blocks. More variety of color and texture can be introduced on the ground floor walls, fences, and doors.

In the diagram, Enlisted Men's houses are shown for purposes of illustration, but the same scheme may of course be applied to Company Grade Officers' Houses as well. See following drawings for more detail.



Typical house (EM 1) from the Public, or Entrance, side, showing a low solid fence and a low storage unit, plus eight foot party wall extensions. Kitchen window looks out on play yard. Overhang provides shelter at entrance door.

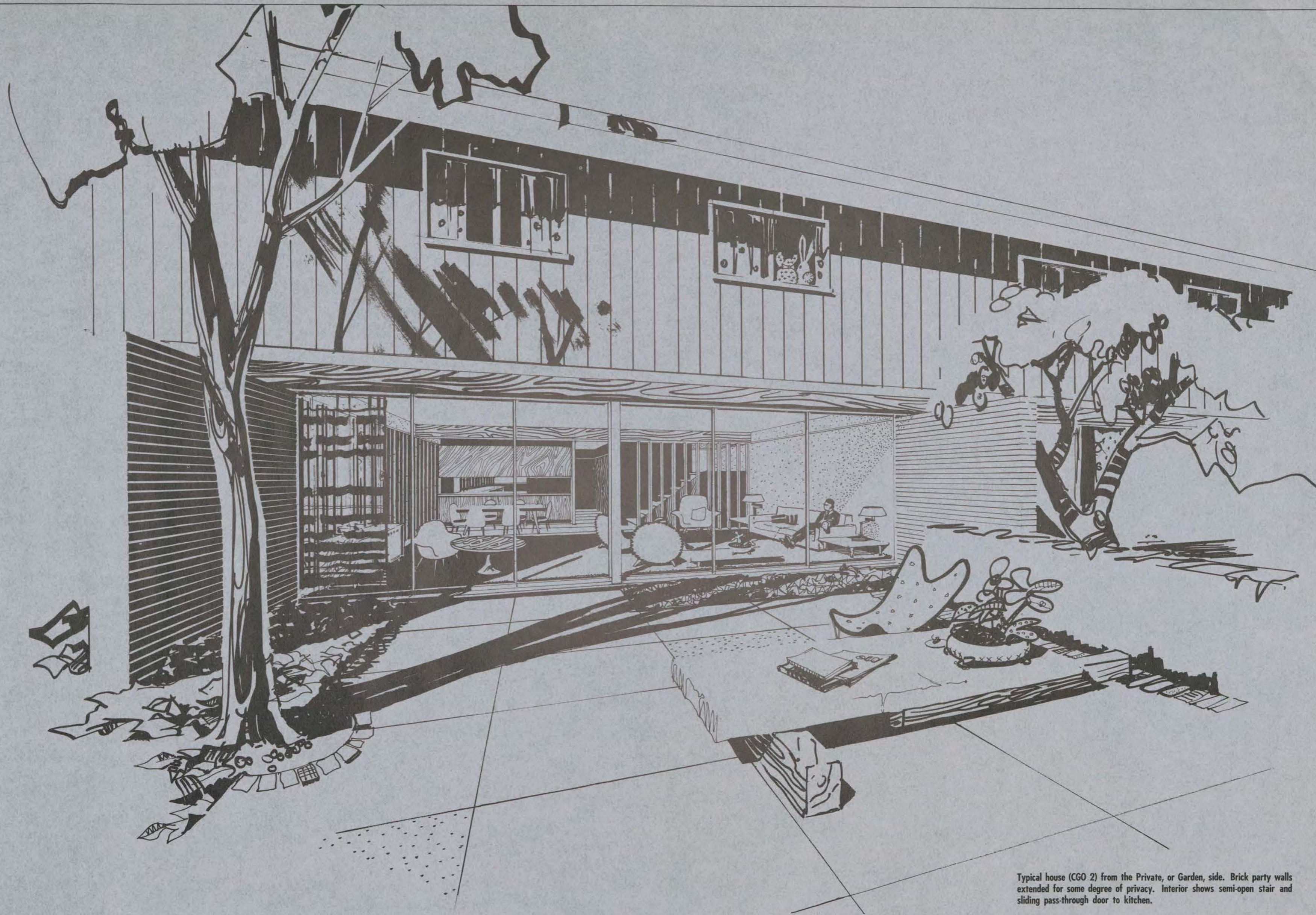
# DEPARTMENT OF DEFENSE — FAMILY HOUSING

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

**DESCRIPTION**  
 ENTRANCE VIEW

DESIGN GROUP  
**1 VIEW 1**  
 IDENTIFICATION SYMBOL



Typical house (CGO 2) from the Private, or Garden, side. Brick party walls extended for some degree of privacy. Interior shows semi-open stair and sliding pass-through door to kitchen.

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**ARCHITECTS**  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

**DESCRIPTION**  
 GARDEN VIEW

DESIGN GROUP  
**1 VIEW 2**  
 IDENTIFICATION SYMBOL



LAND DENSITY SCHEDULE

AREA A	= 3.0 ACRES, 44 UNITS = 14.6 UNITS / NET ACRE
AREA B	= 3.4 ACRES, 42 UNITS = 12.3 UNITS / NET ACRE
AREA C	= 3.8 ACRES, 46 UNITS = 12.1 UNITS / NET ACRE
AREA D	= 1.8 ACRES, 22 UNITS = 12.2 UNITS / NET ACRE

L = LAUNDROMAT BUILDING

0 50 100 200 300  
SCALE IN FEET

This plot plan shows how the buildings of the previous page might be located on typical gently rolling terrain. The purpose of the drawing is to show principles of site planning, not to represent any given actual locality.

Good siting for any housing should take full advantage of natural assets of the site as a first consideration—including drainage, views, slopes, water, trees, sun and wind directions. The design shown here provides for a community center located at a pond on the stream. In the main housing area at center left are Horizontal Groups of houses, each group located around its Entrance Court. This is the PUBLIC AREA of each group and contains parking for families and guests, as well as small laundromat buildings next to small tot lots. Each house has its own fenced front yard outside the kitchen window, facing the Entrance Court. Groups of houses are selected to fit the contours and to give variety. For example, groups of houses EM 1, 2 and 3 are on flat ground, while EM 4 is used on the hillside.

On the other side of each building is the PRIVATE AREA for each family. Here, each family has a walled or fenced garden outside its own Living Room. From each garden, one can go through a gate to the Community Park, which is a combined quiet and recreation area, and through which one can walk to the Community Center without crossing automobile traffic.

At the bottom of the drawing, steeper terrain is utilized for the other buildings designed for hillside conditions—EM 5, 6 and 7. At the upper right is the beginning of a separate community of detached houses—SO 1 and 2.

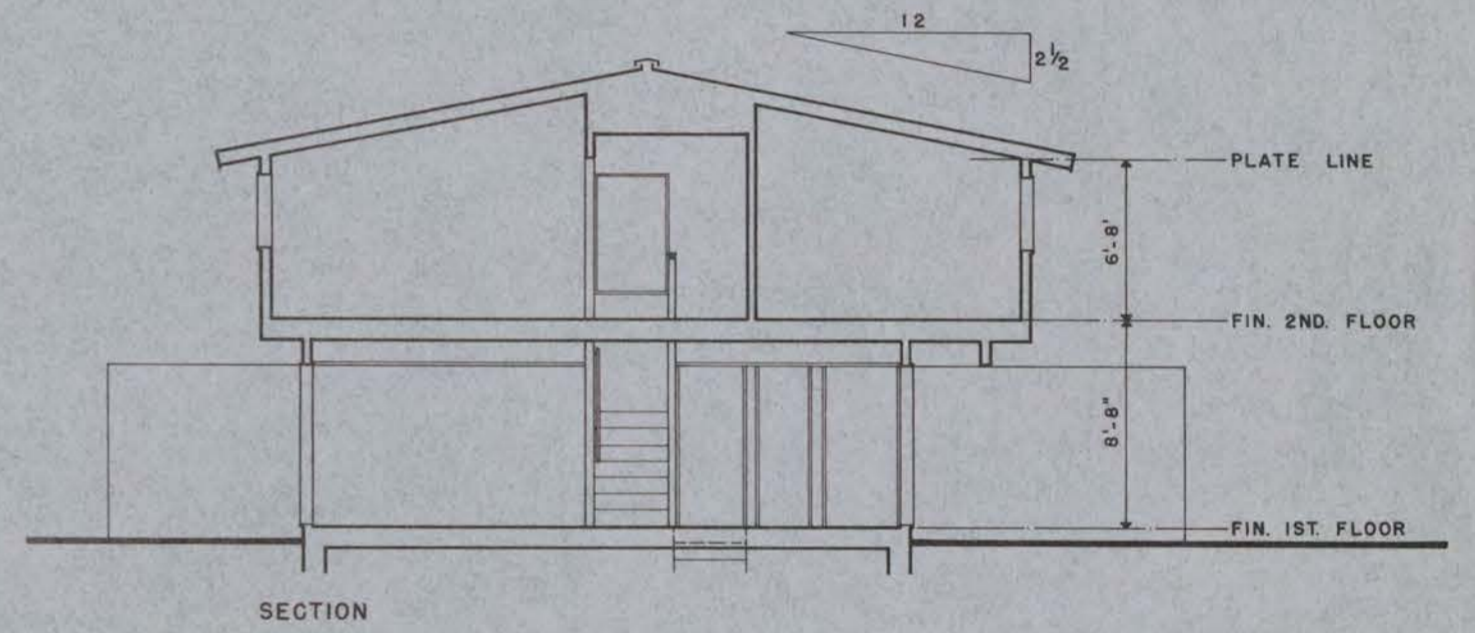
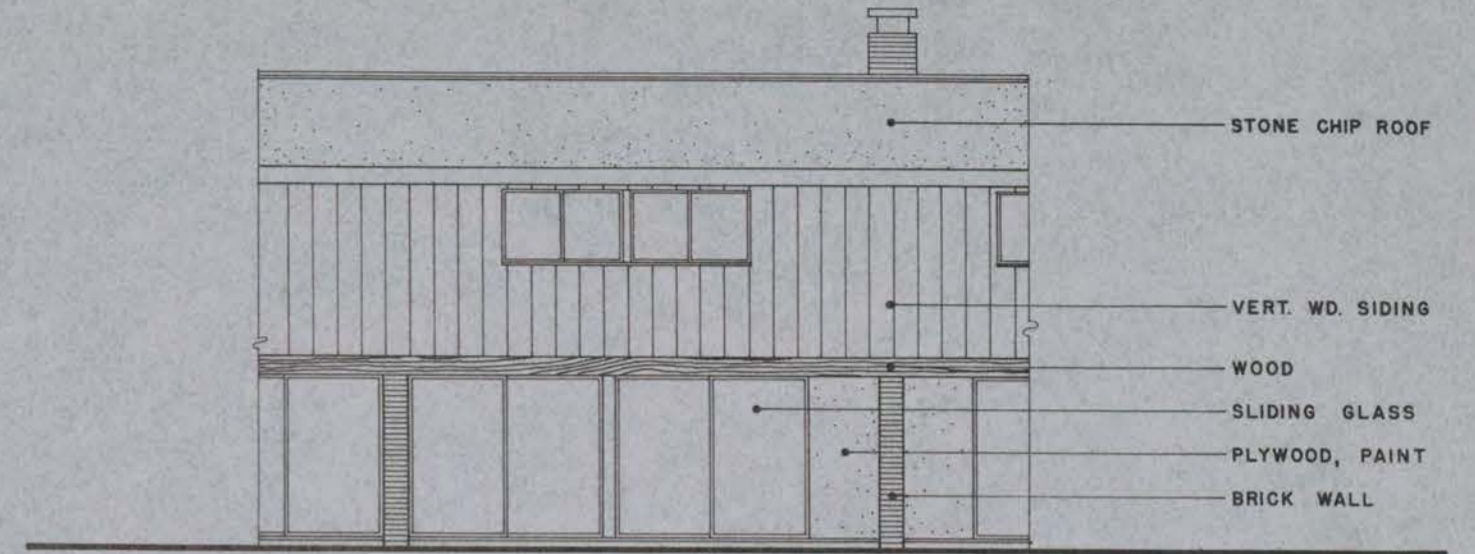
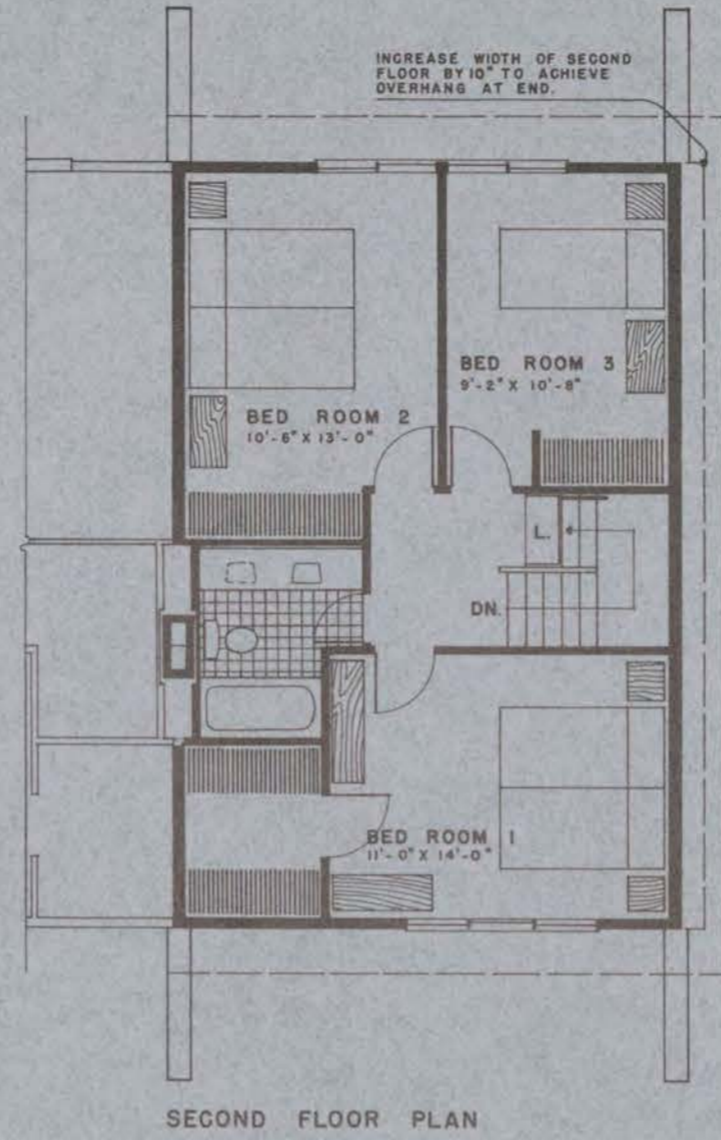
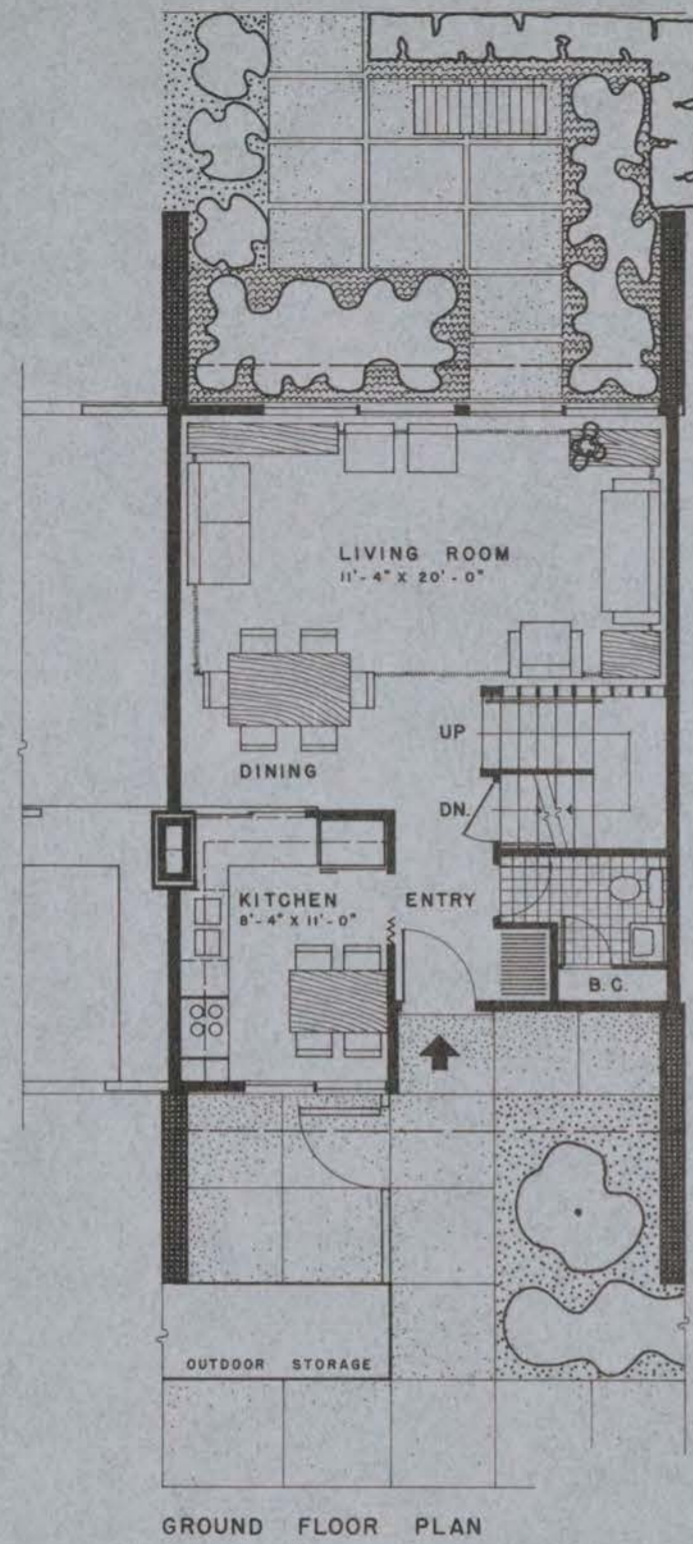
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**DESIGN GROUP I**  
**HORIZONTAL SCHEME**  
**SITE PLAN**

DESIGN GROUP  
**I SITE 1**  
 IDENTIFICATION SYMBOL





0 5 10 15  
SCALE IN FEET  
GROSS AREA 1136 SQ. FT.  
NET AREA 1042 SQ. FT.

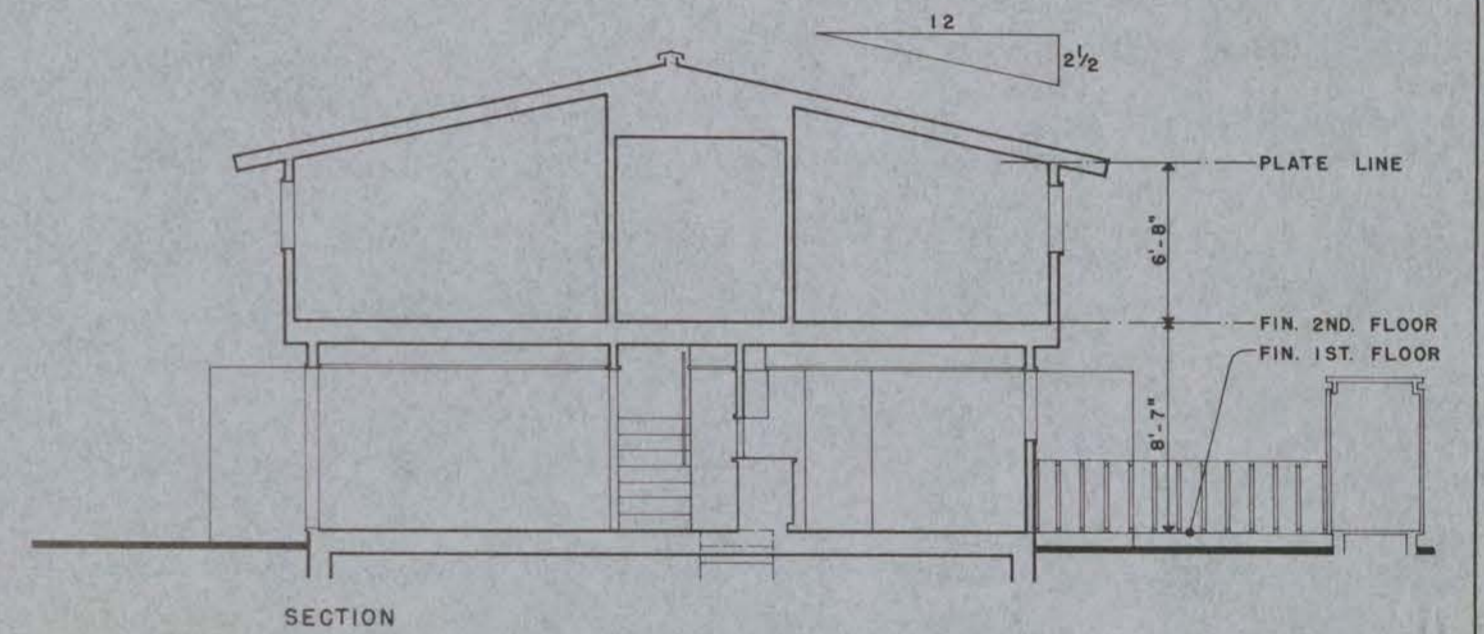
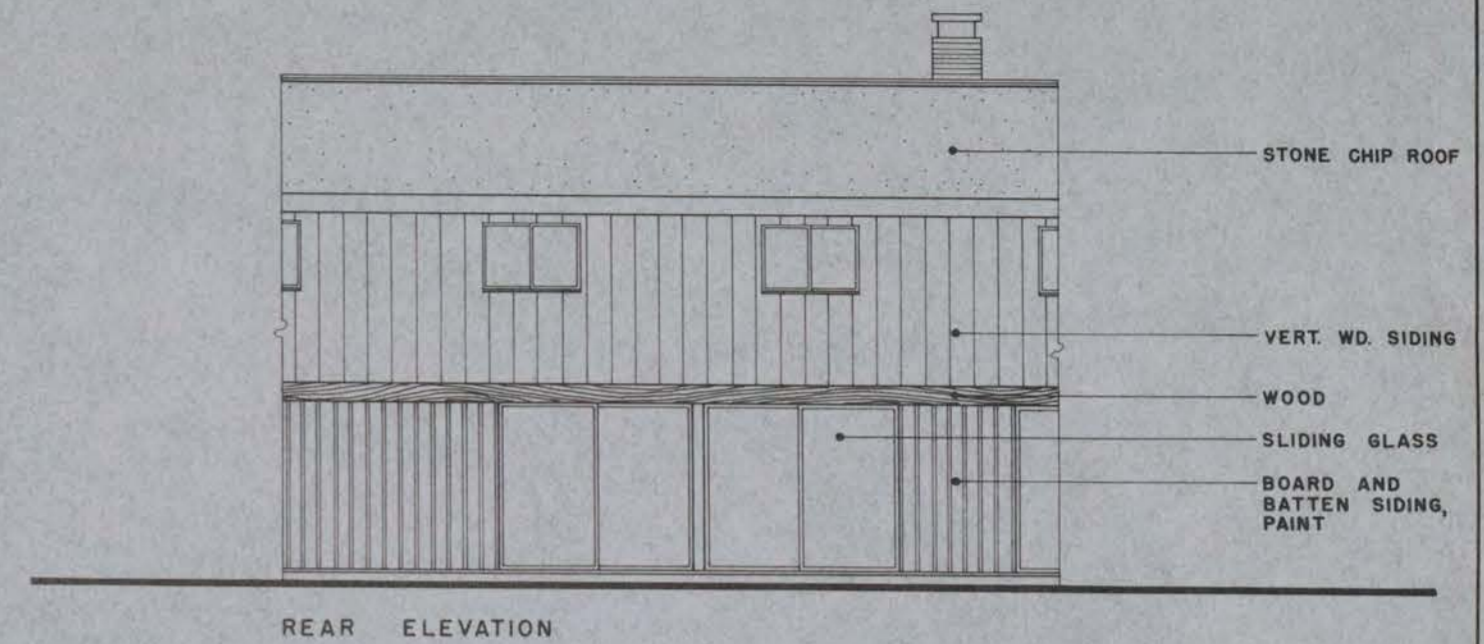
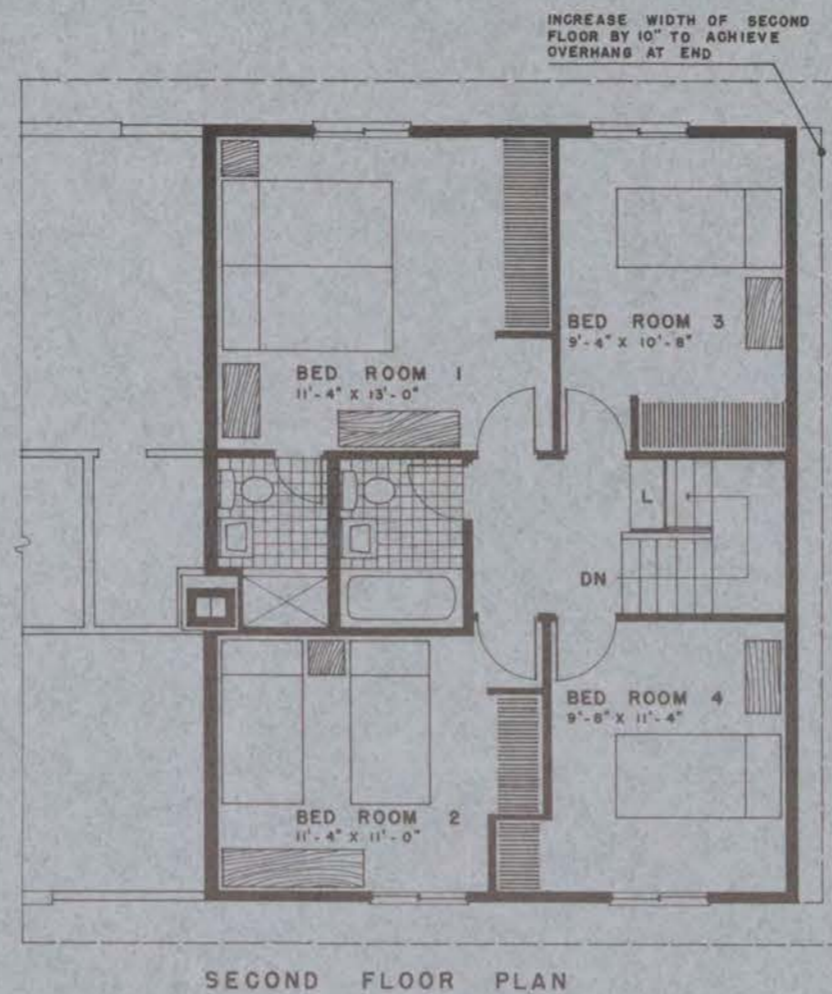
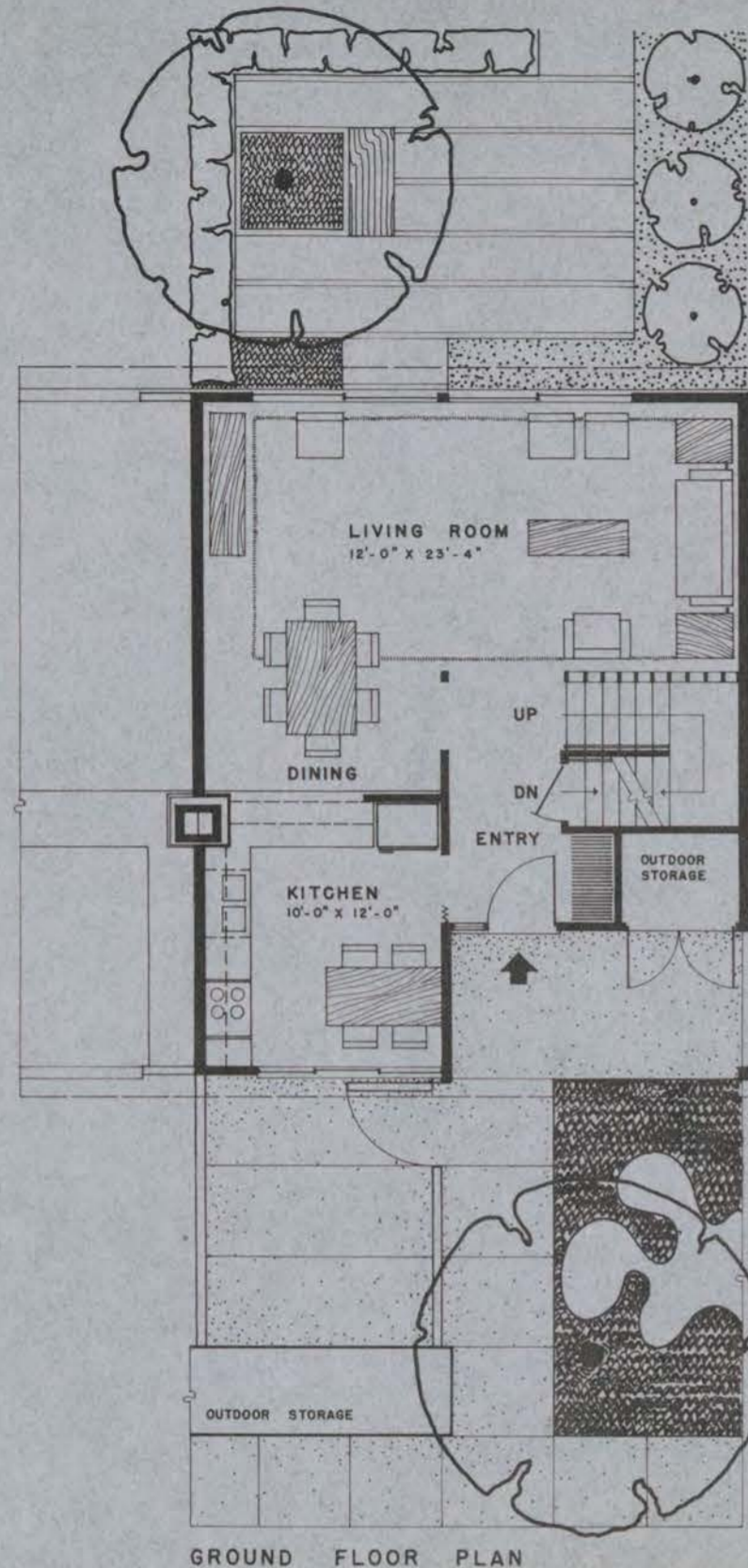
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES • ARCHITECTS  
CLEVELAND OHIO

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**I EM I** **1**  
IDENTIFICATION SYMBOL OF 1



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NET AREA 1212 SQ. FT.

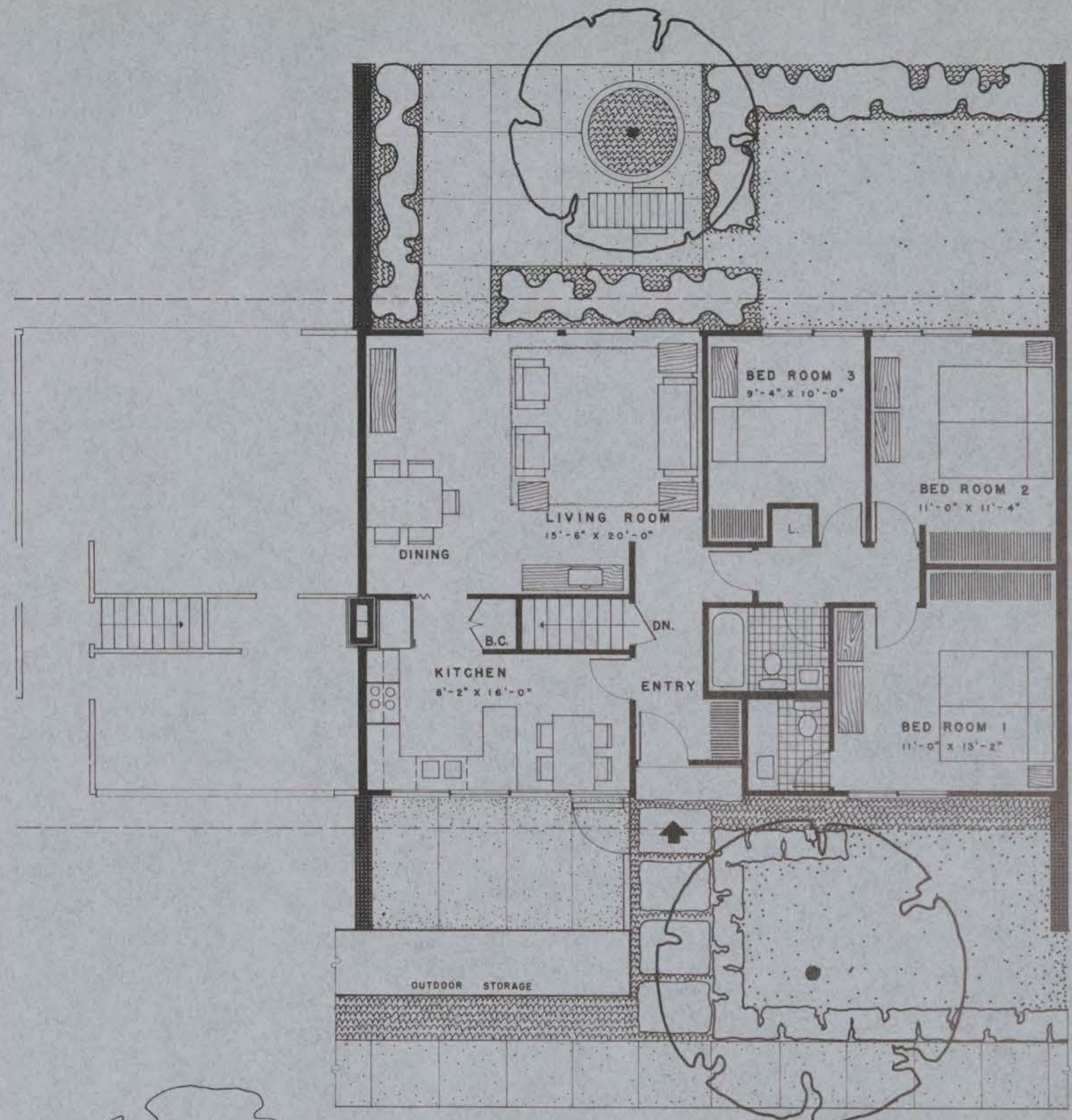
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

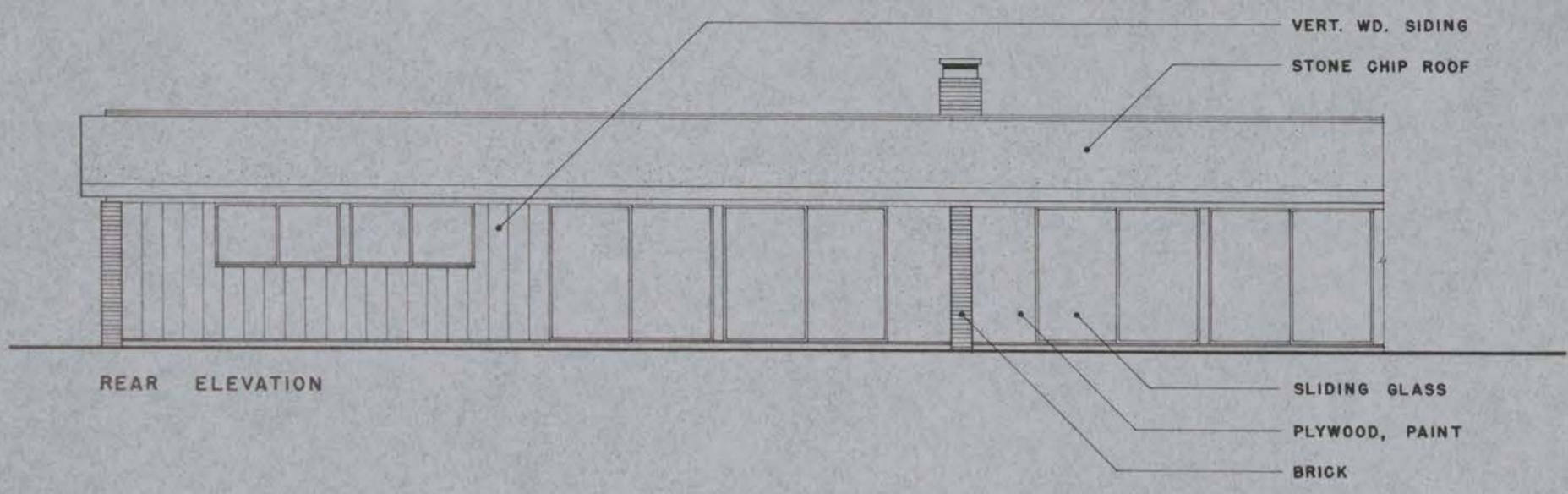
ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES - ARCHITECTS  
CLEVELAND OHIO

DESCRIPTION  
ENLISTED MEN  
4 BR. 2 STORY TOWNHOUSE  
FLAT SITE

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
1 EM 2 1  
IDENTIFICATION SYMBOL OF 1

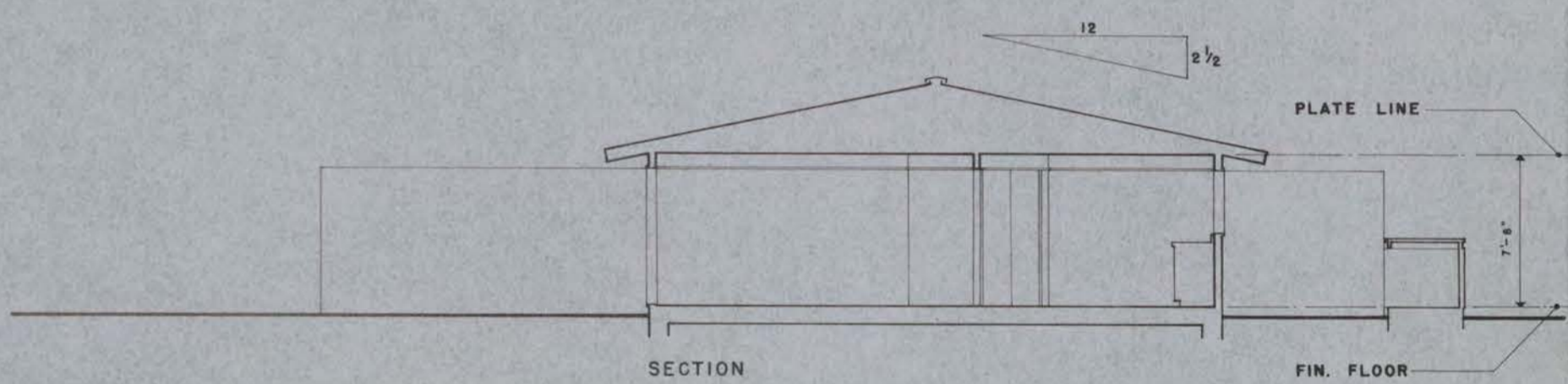


FLOOR PLAN



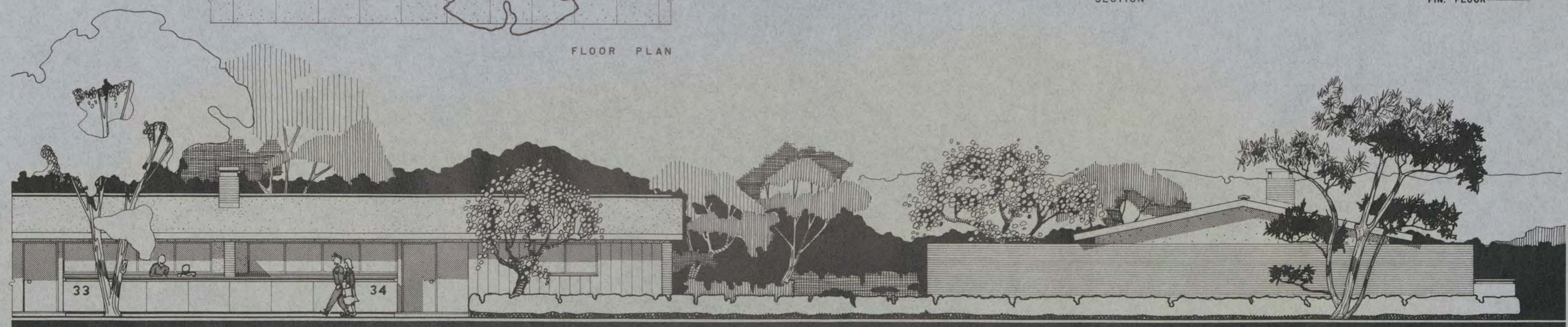
REAR ELEVATION

VERT. WD. SIDING  
 STONE CHIP ROOF  
 SLIDING GLASS  
 PLYWOOD, PAINT  
 BRICK



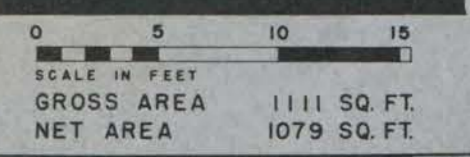
SECTION

12  
 2 1/2  
 PLATE LINE  
 7'-8"  
 FIN. FLOOR



FRONT ELEVATION

SIDE ELEVATION



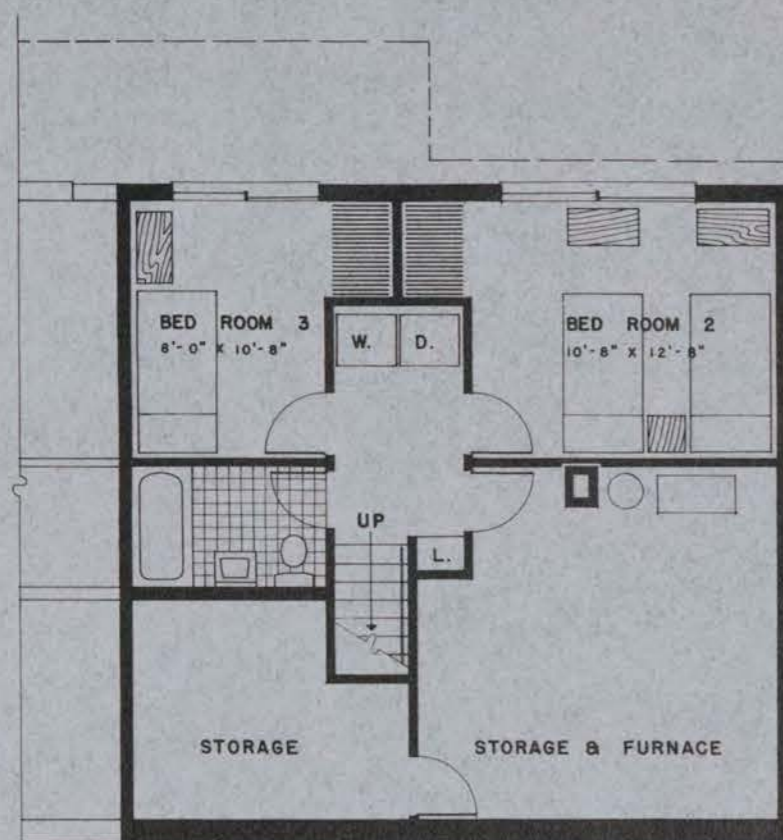
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Galt*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

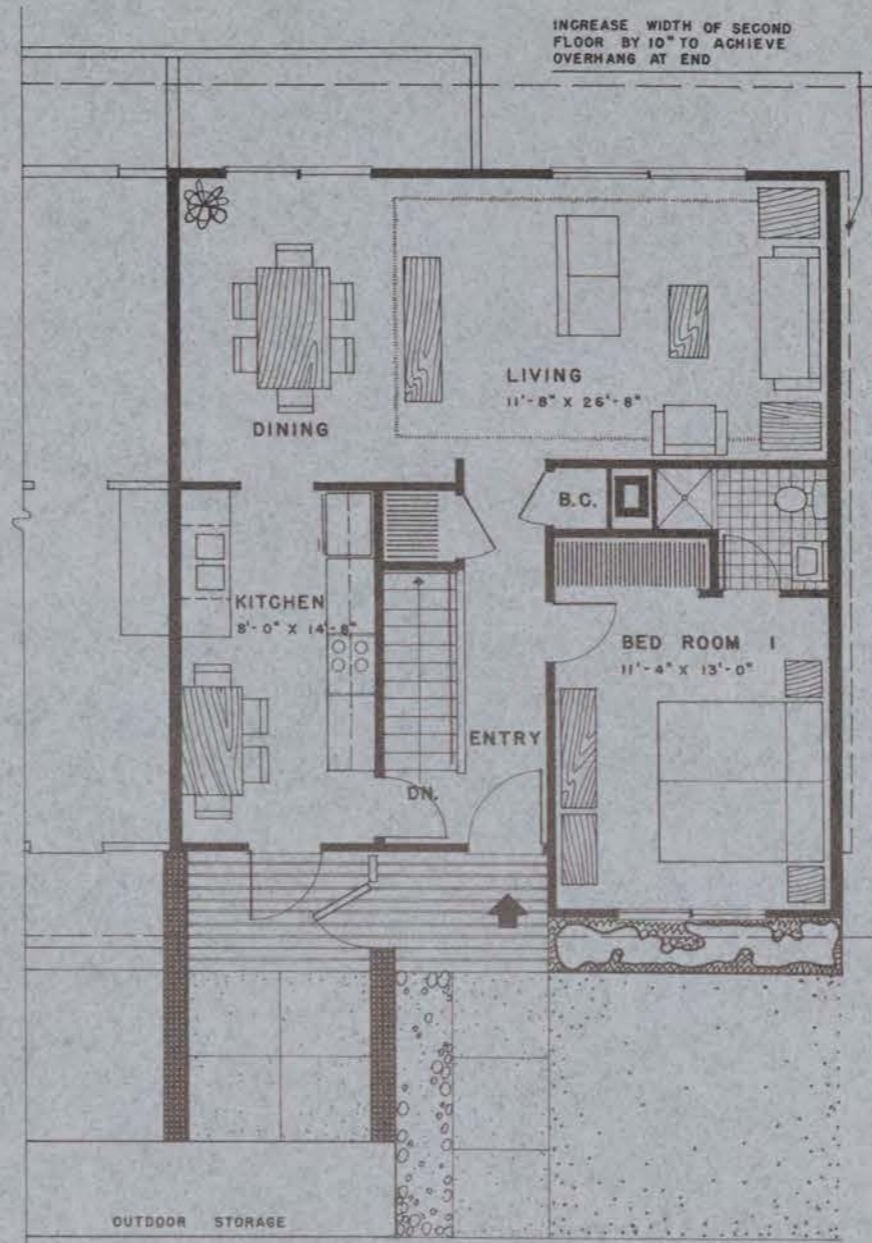
ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 1 STORY TOWNHOUSE**  
**FLAT SITE**

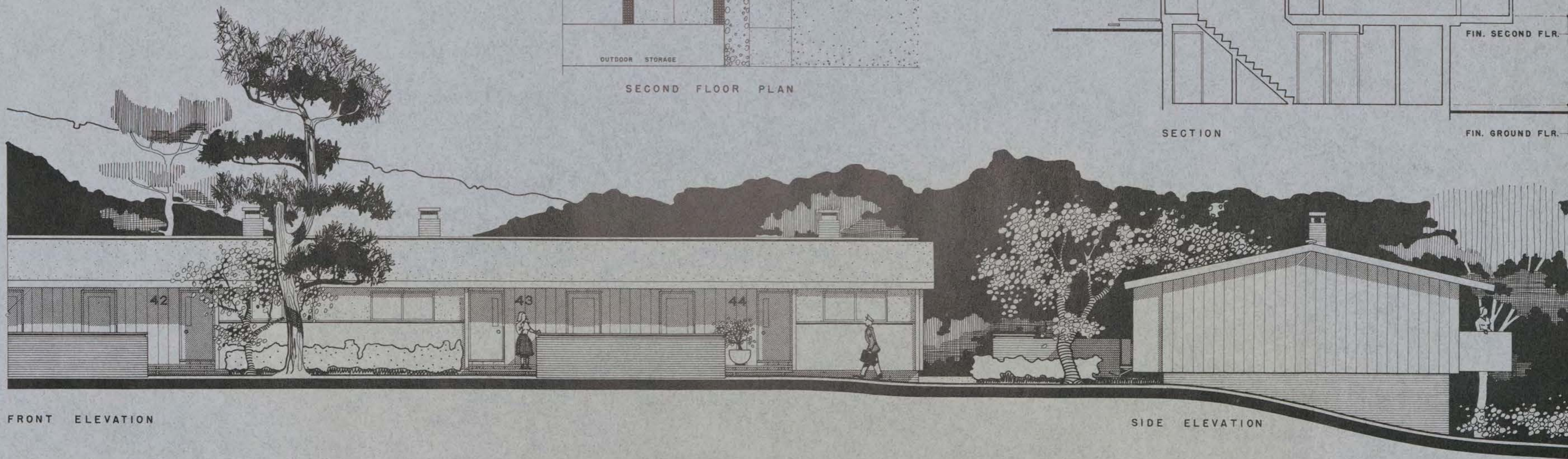
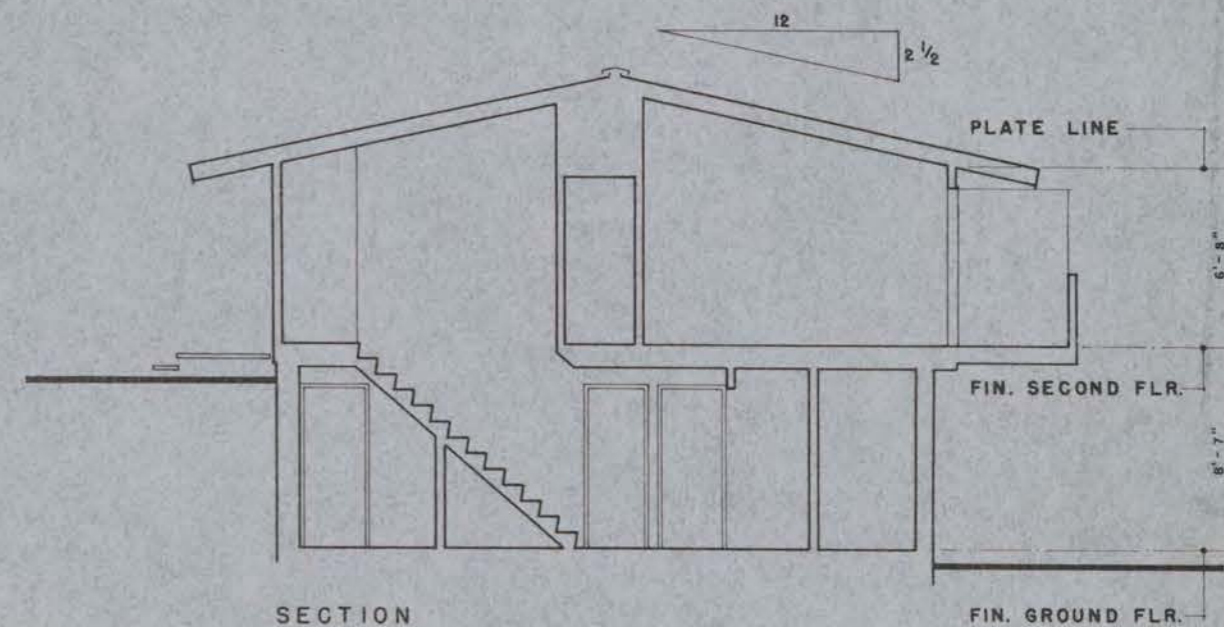
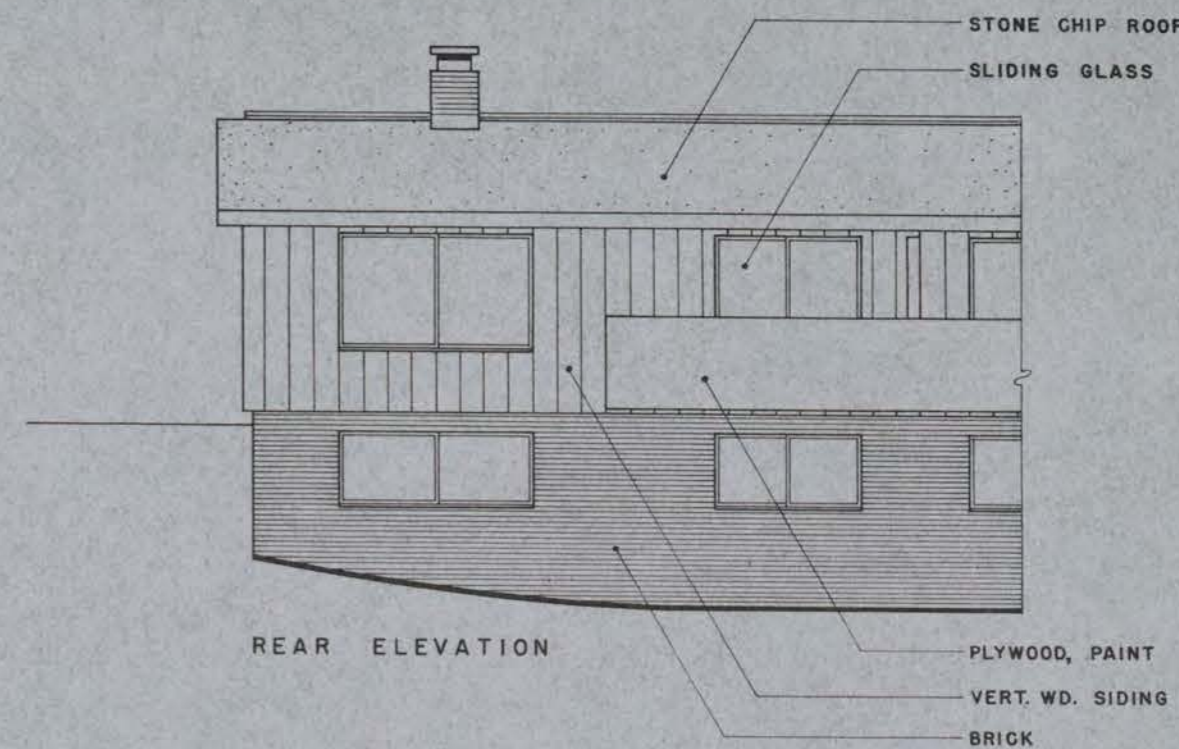
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**I EM 3 1**  
 IDENTIFICATION SYMBOL OF 1



GROUND FLOOR PLAN



SECOND FLOOR PLAN



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NET AREA 1035 SQ. FT.

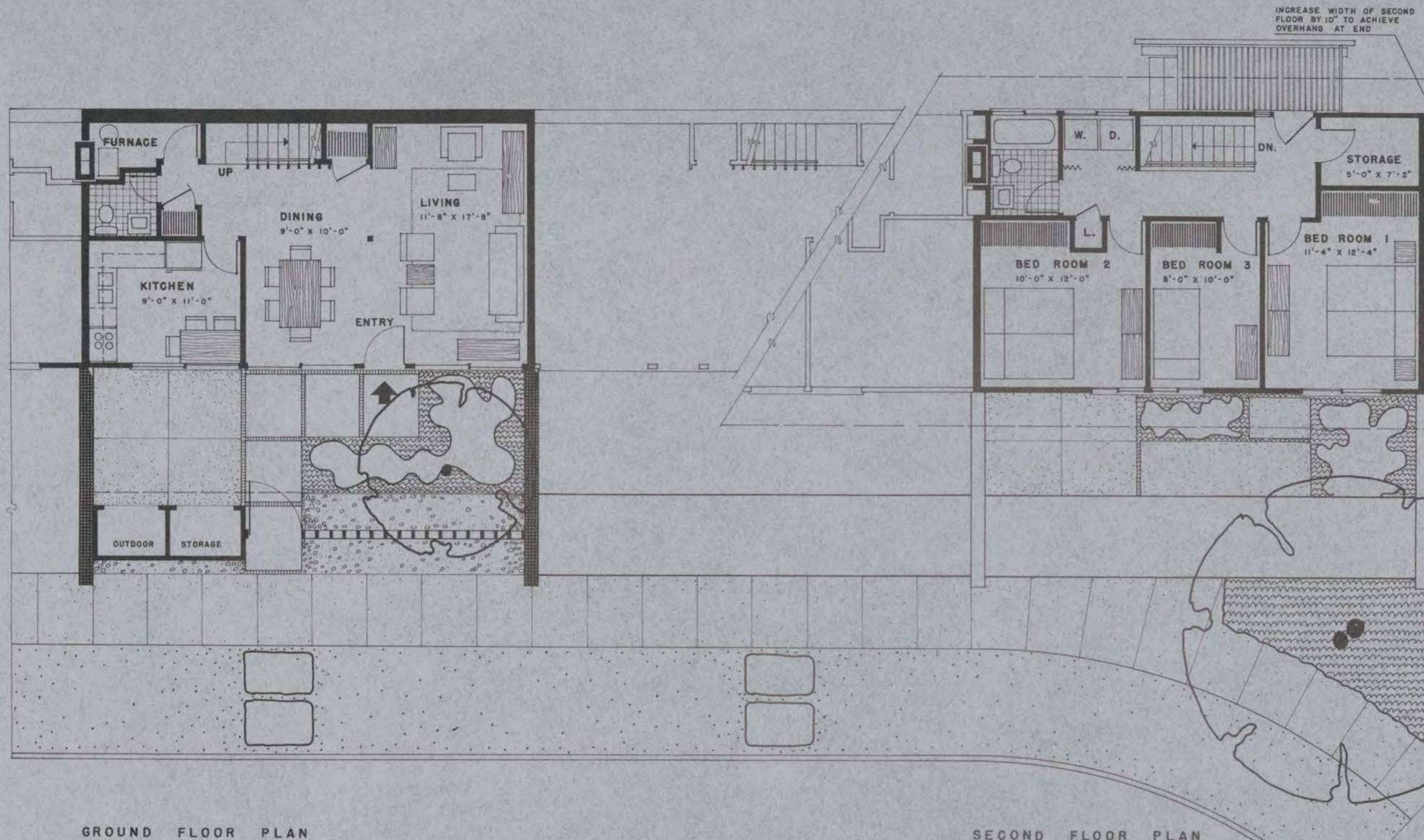
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES • ARCHITECTS  
CLEVELAND OHIO

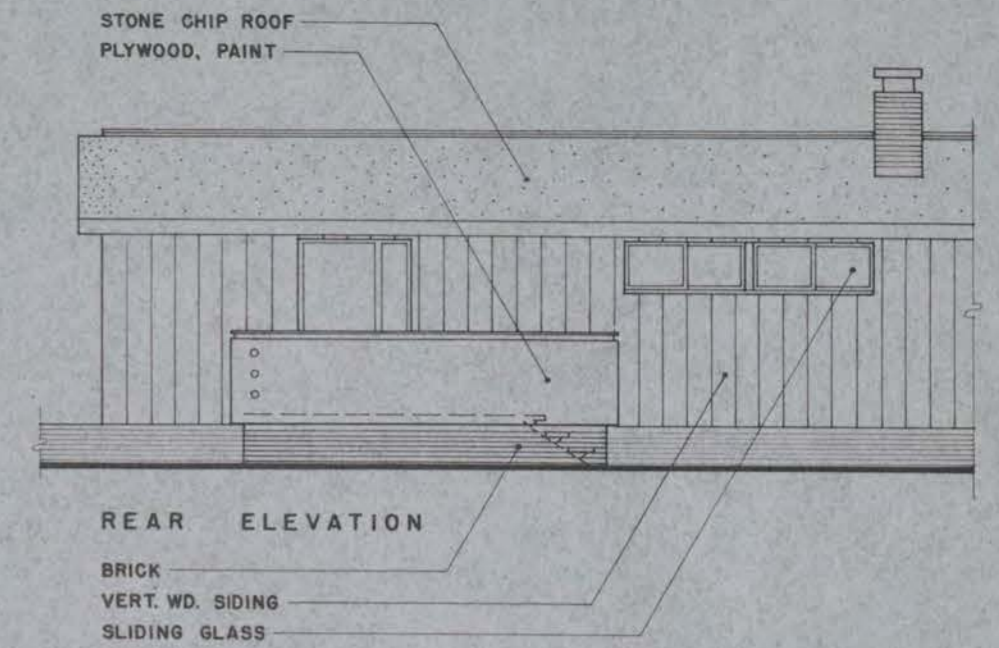
DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**HILLSIDE ENTER TOP FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**I EM 4 1**  
IDENTIFICATION SYMBOL OF 1

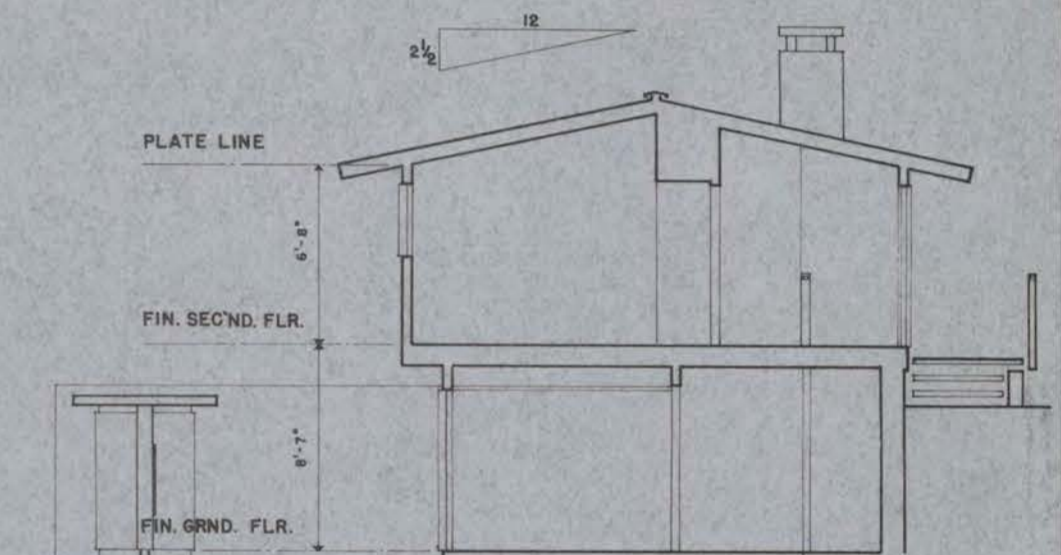


GROUND FLOOR PLAN

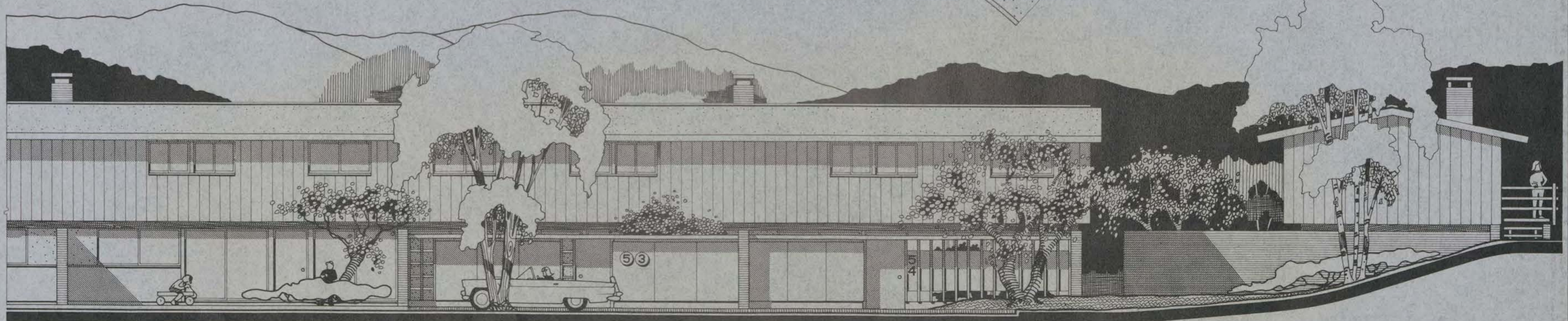
SECOND FLOOR PLAN



REAR ELEVATION

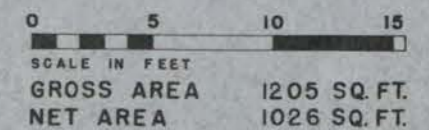


SECTION



FRONT ELEVATION

SIDE ELEVATION



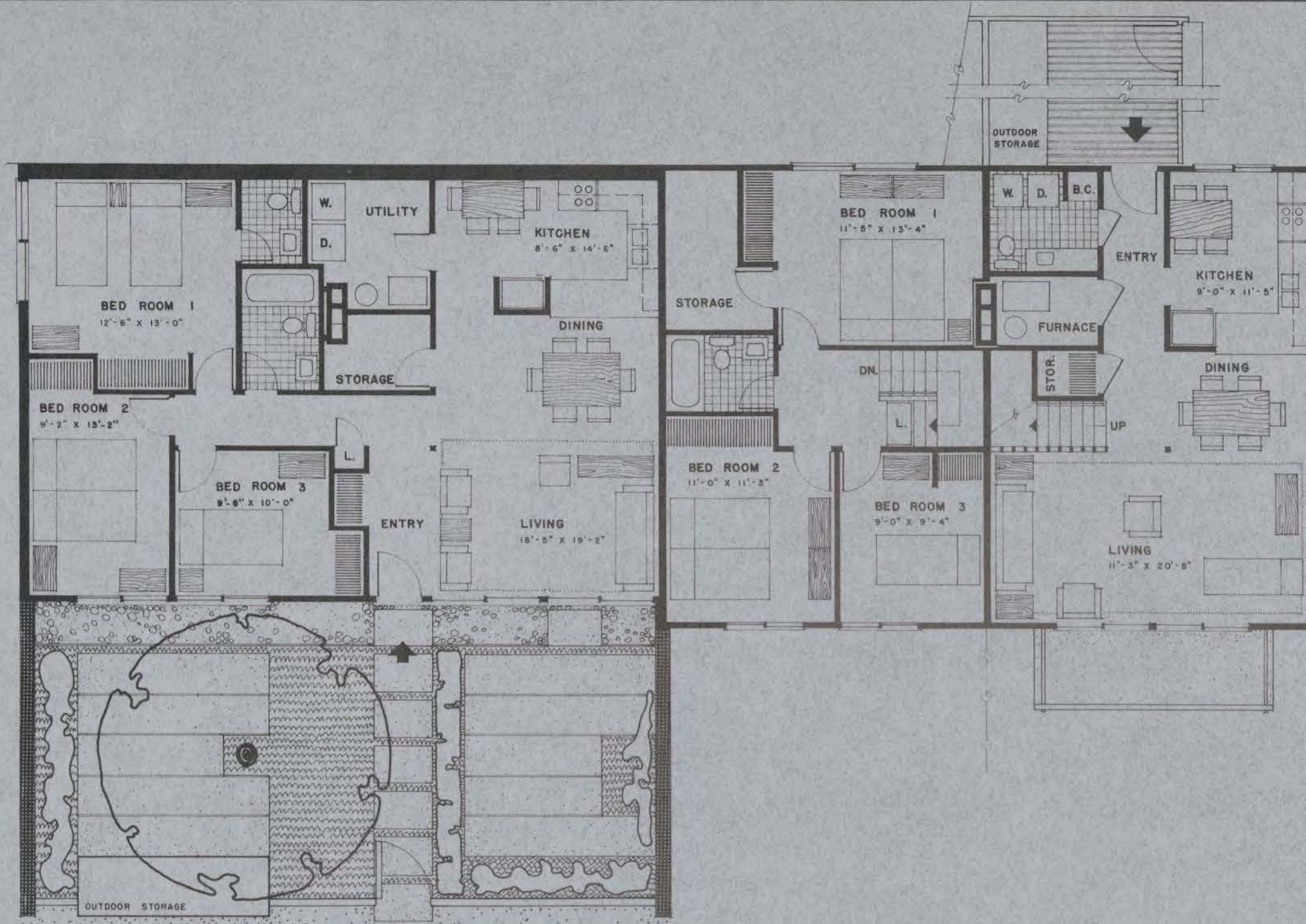
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Galt*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**HILLSIDE ENTER BOTTOM FLOOR**

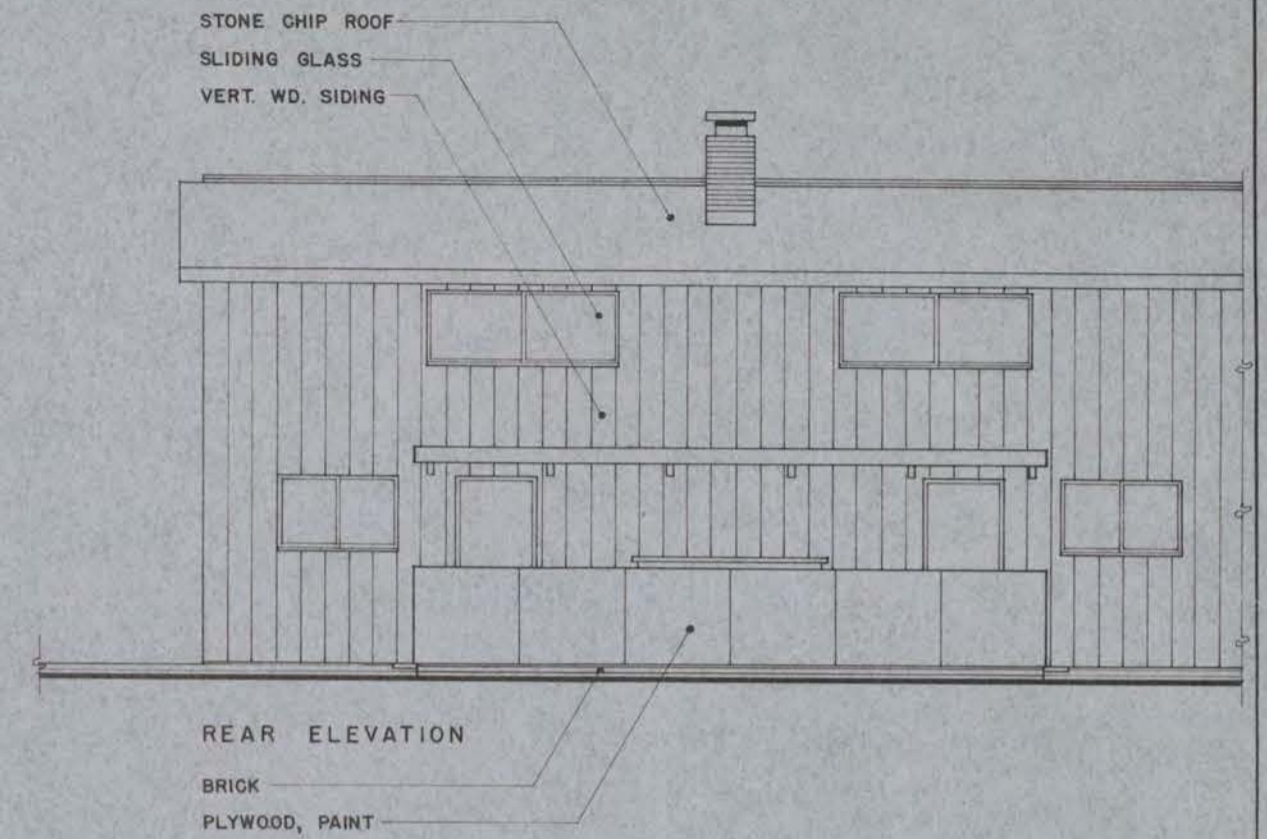
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<b>1</b>	<b>EM</b>	<b>5</b>	<b>1</b>
IDENTIFICATION SYMBOL			<b>1</b>



GROUND FLOOR PLAN

THIRD FLOOR PLAN

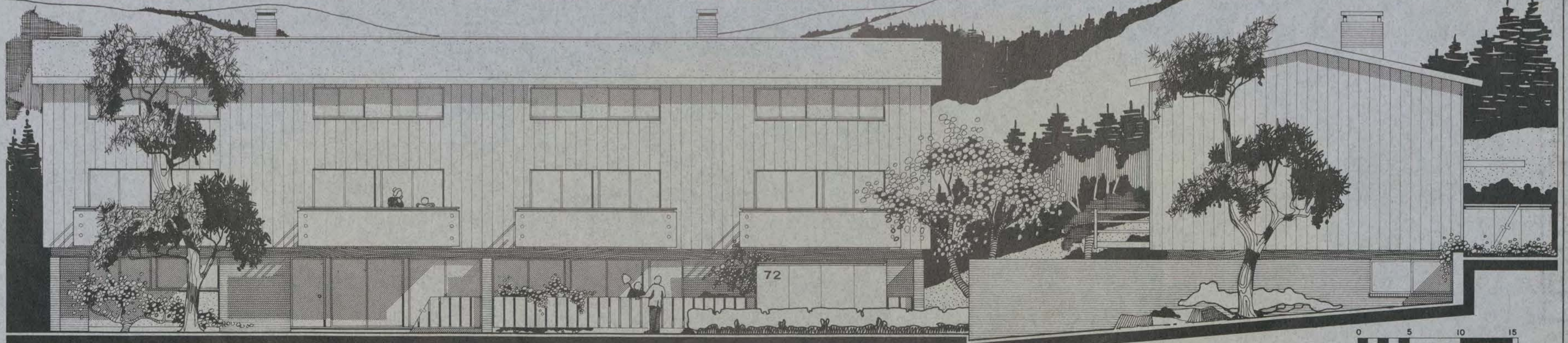
SECOND FLOOR PLAN



REAR ELEVATION

BRICK  
PLYWOOD, PAINT

UPPER UNIT  
GROSS AREA 1224 SQ. FT.  
NET AREA 1010 SQ. FT.



FRONT ELEVATION

SIDE ELEVATION

0 5 10 15  
SCALE IN FEET

LOWER UNIT  
GROSS AREA 1121 SQ. FT.  
NET AREA 1020 SQ. FT.

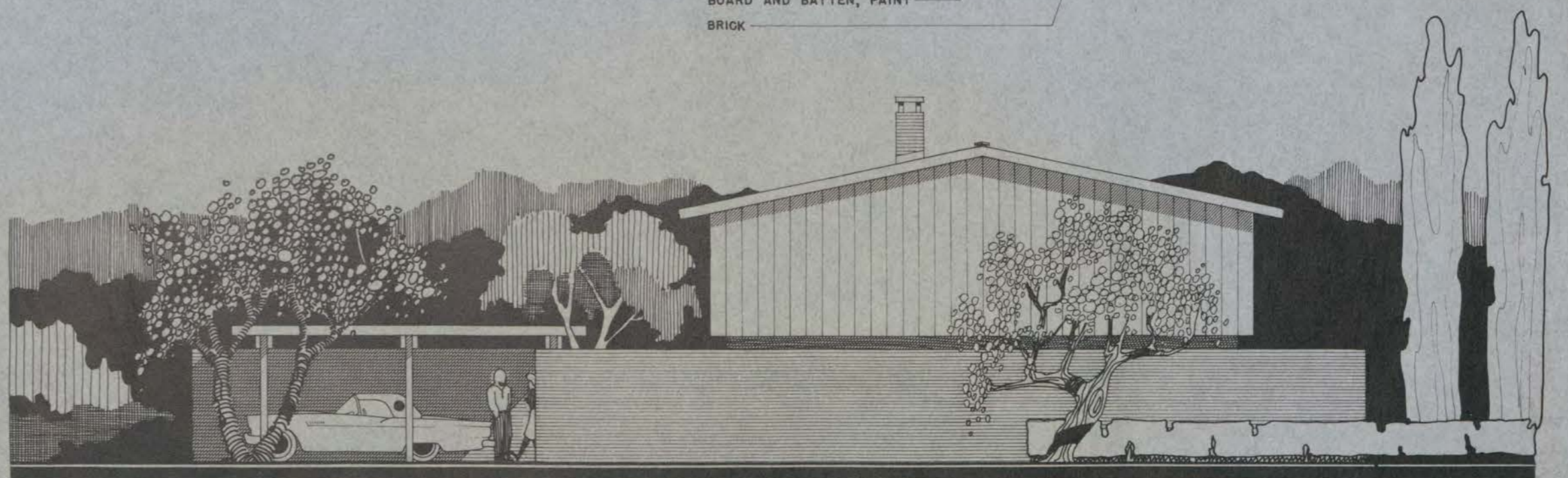
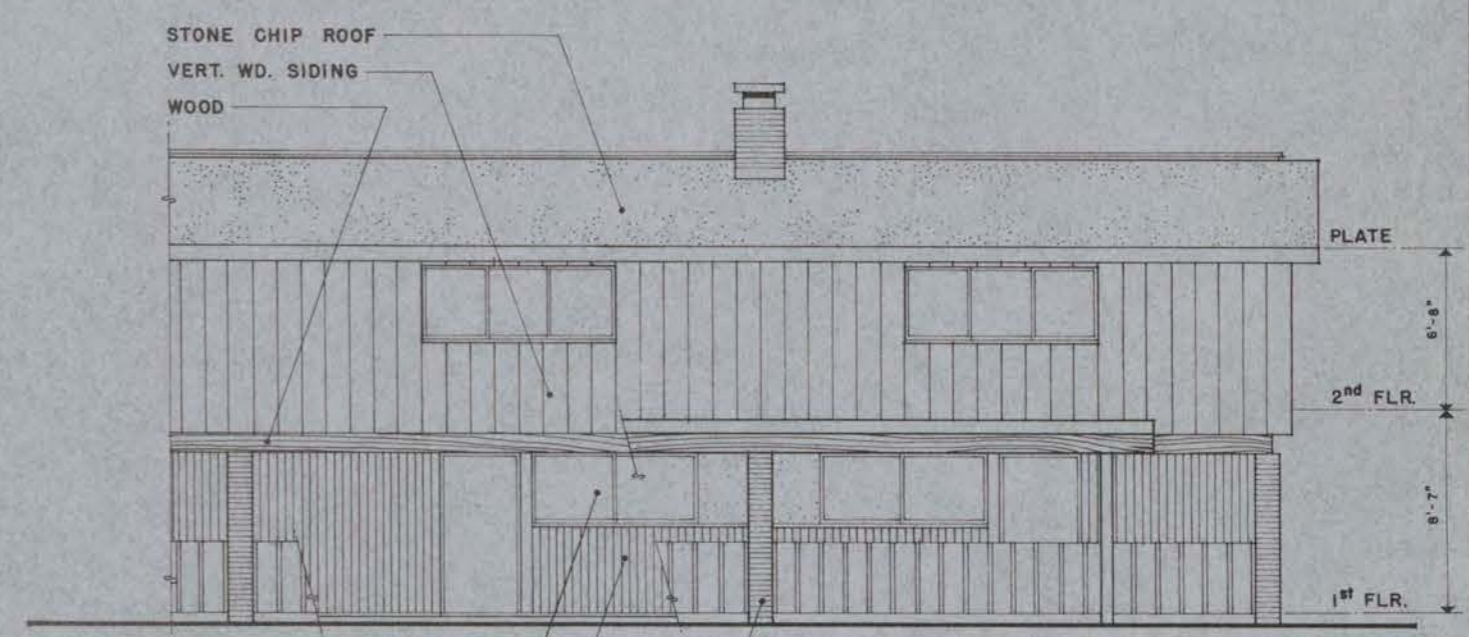
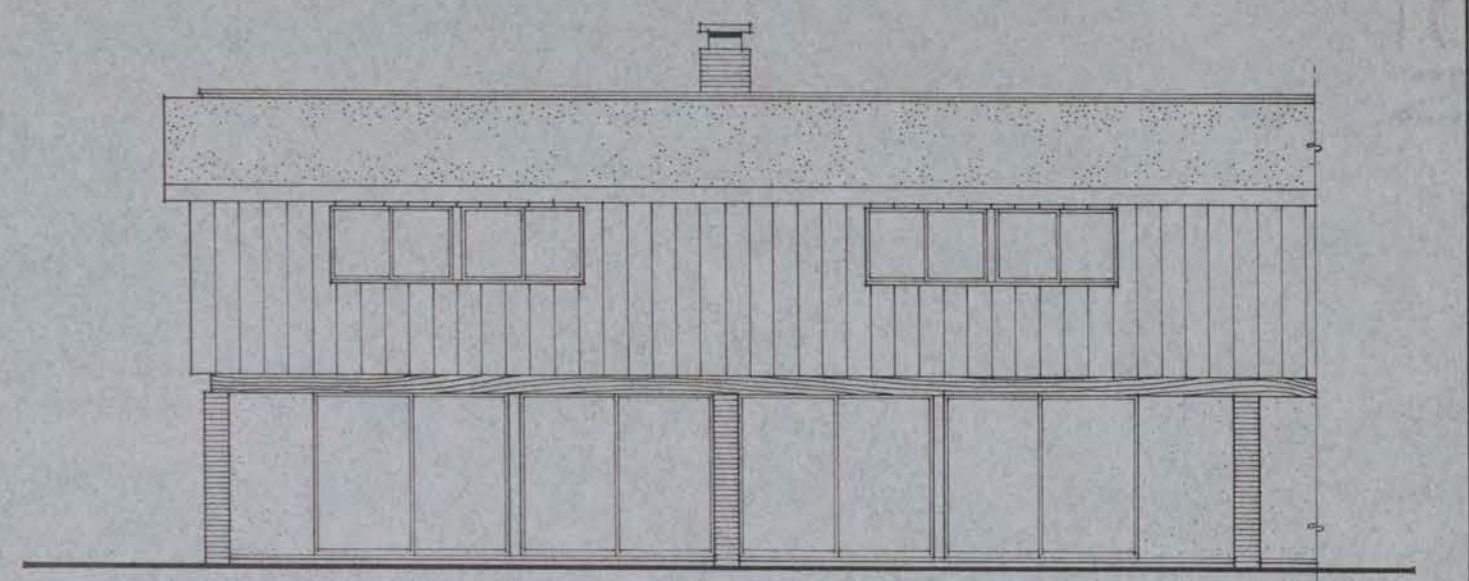
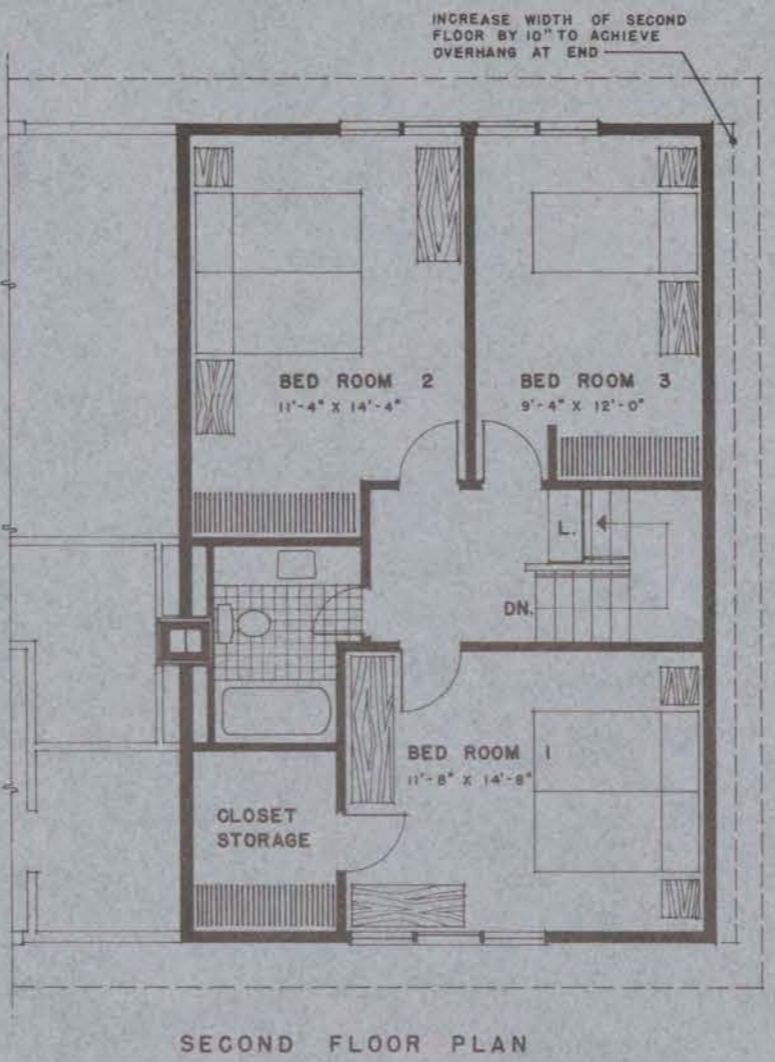
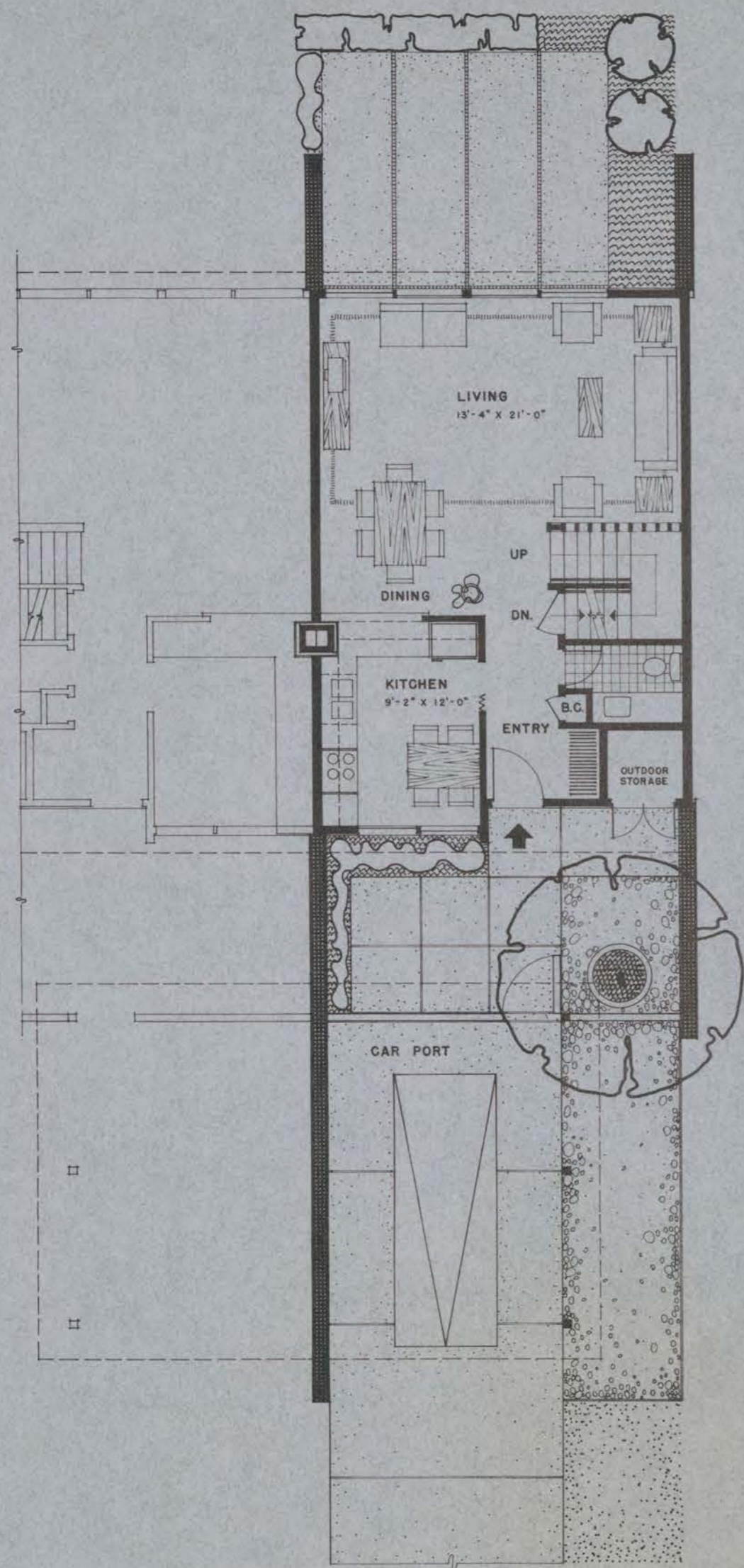
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signature*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES • ARCHITECTS  
CLEVELAND OHIO

DESCRIPTION  
**ENLISTED MEN  
3 BR. 3 STORY TOWNHOUSE  
HILLSIDE COMBINATION**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**1 EM 6&7** **1**  
IDENTIFICATION SYMBOL OF 1



0 5 10 15  
SCALE IN FEET  
GROSS AREA 1328 SQ. FT.  
NET AREA 1212 SQ. FT.

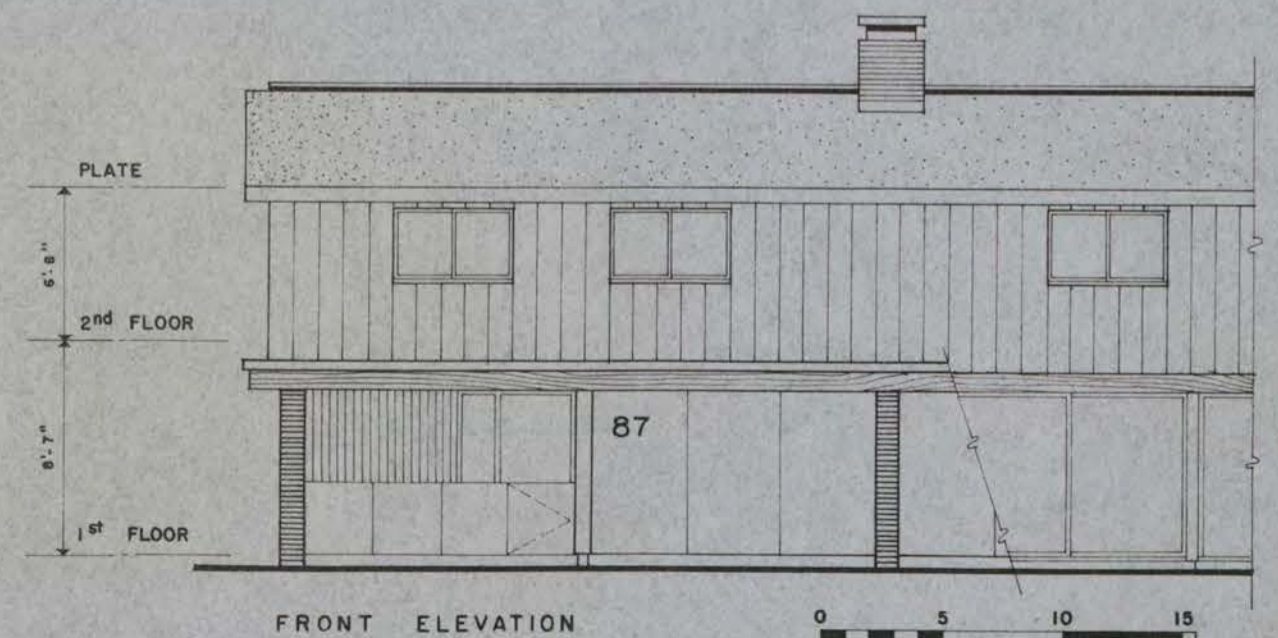
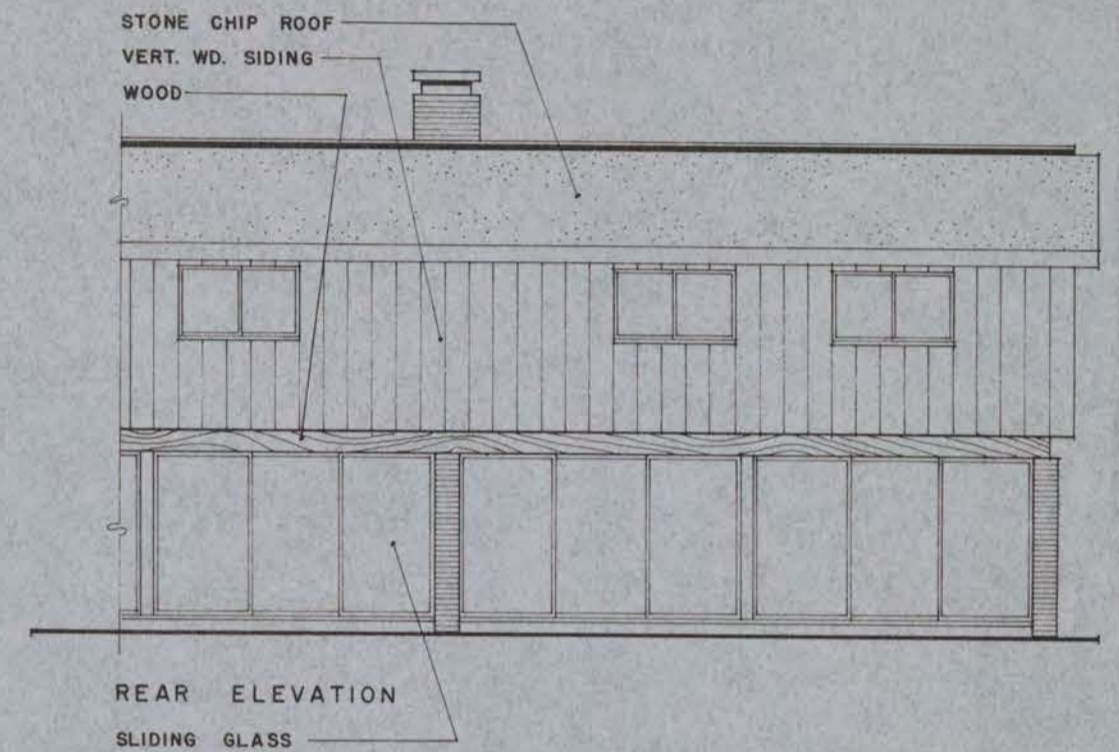
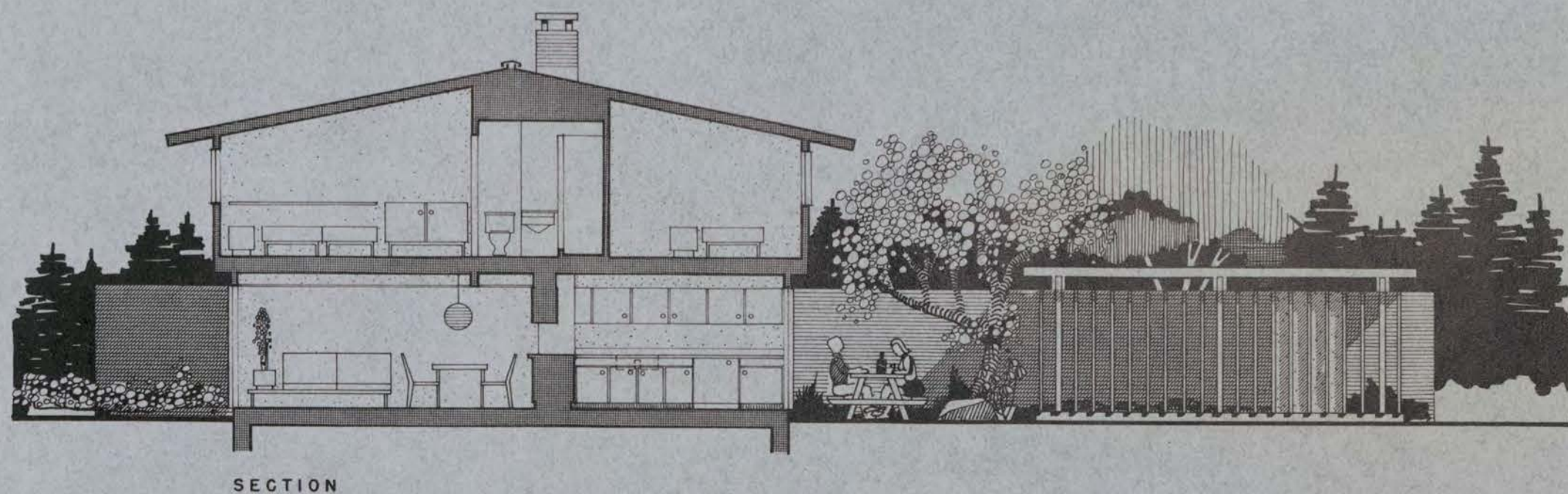
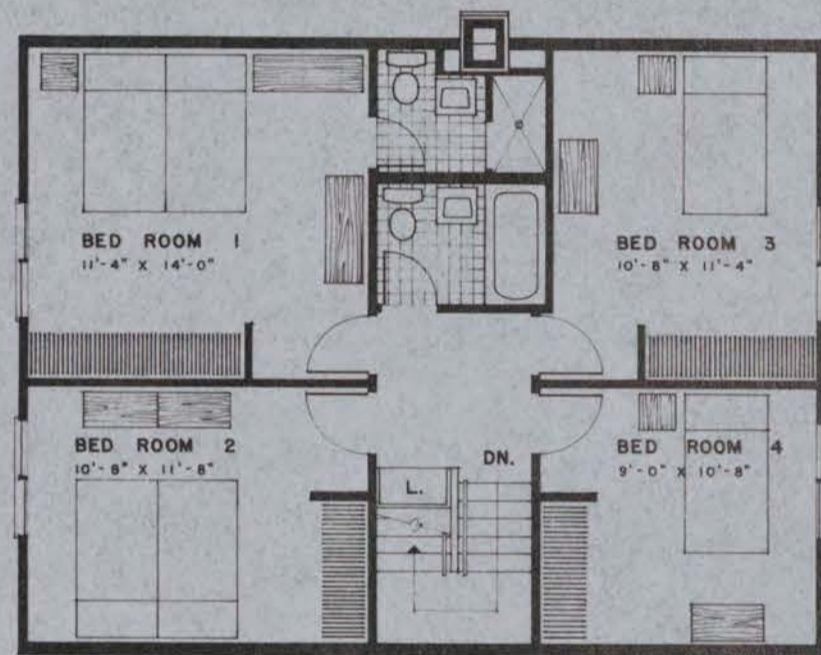
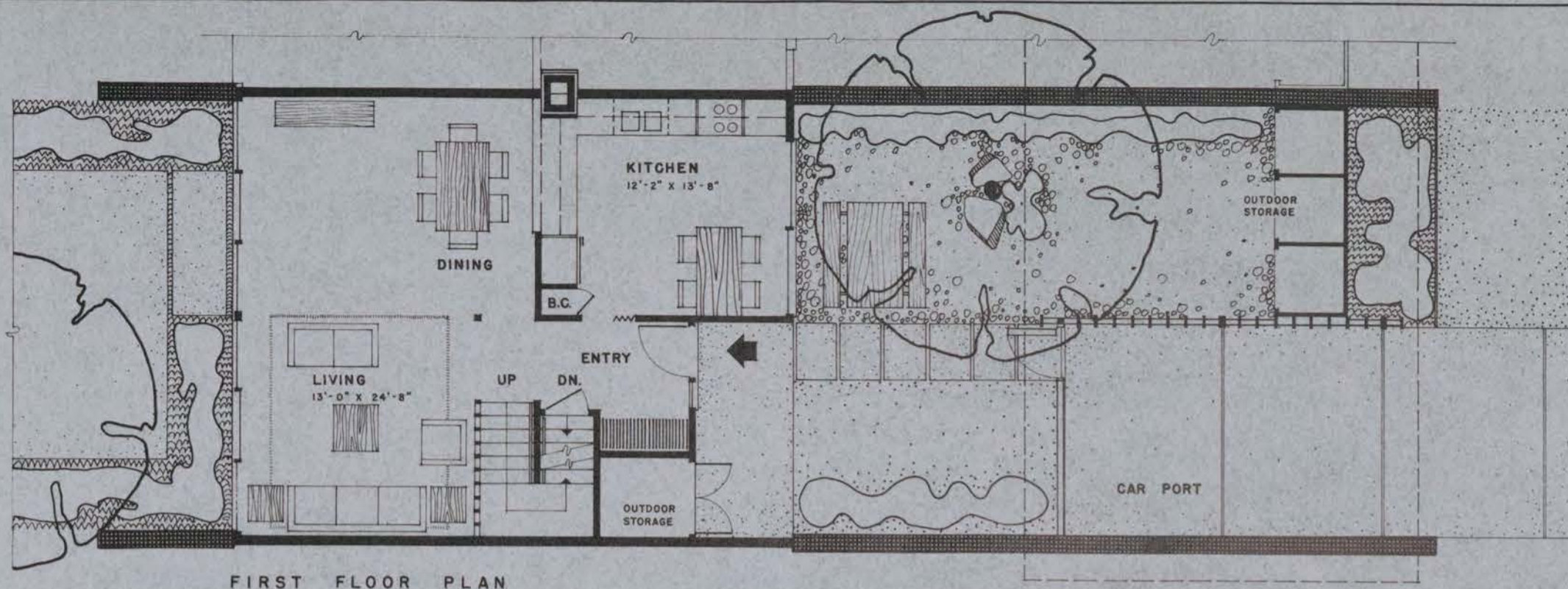
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signatures*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES • ARCHITECTS  
CLEVELAND OHIO

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**1 CGO 1 1**  
IDENTIFICATION SYMBOL **1**



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Galt*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

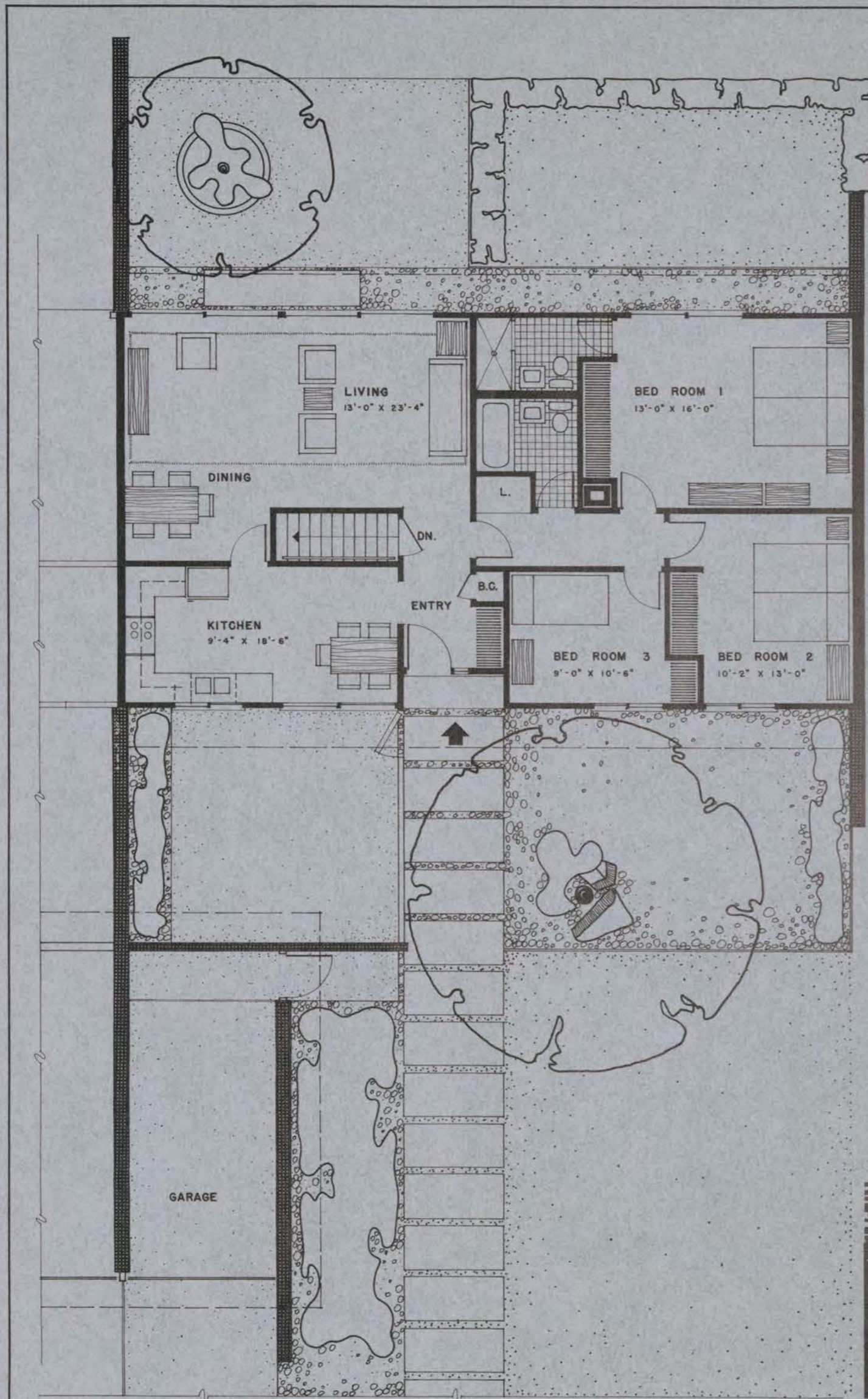
ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 4 BR. 2 STORY TOWNHOUSE  
 FLAT SITE**

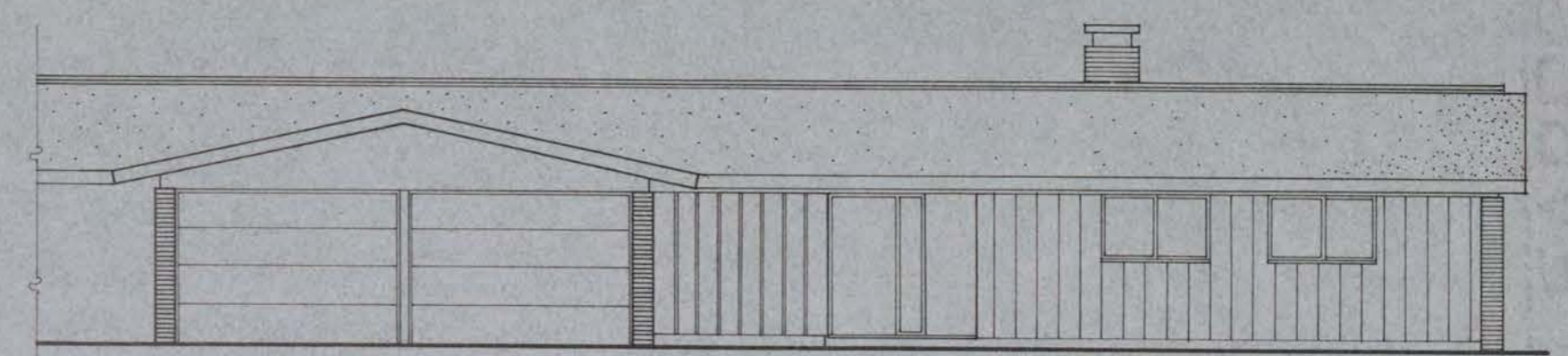
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**1 CGO 2** **1**  
 IDENTIFICATION SYMBOL **1**

SCALE IN FEET  
 GROSS AREA 1482 SQ. FT.  
 NET AREA 1361 SQ. FT.

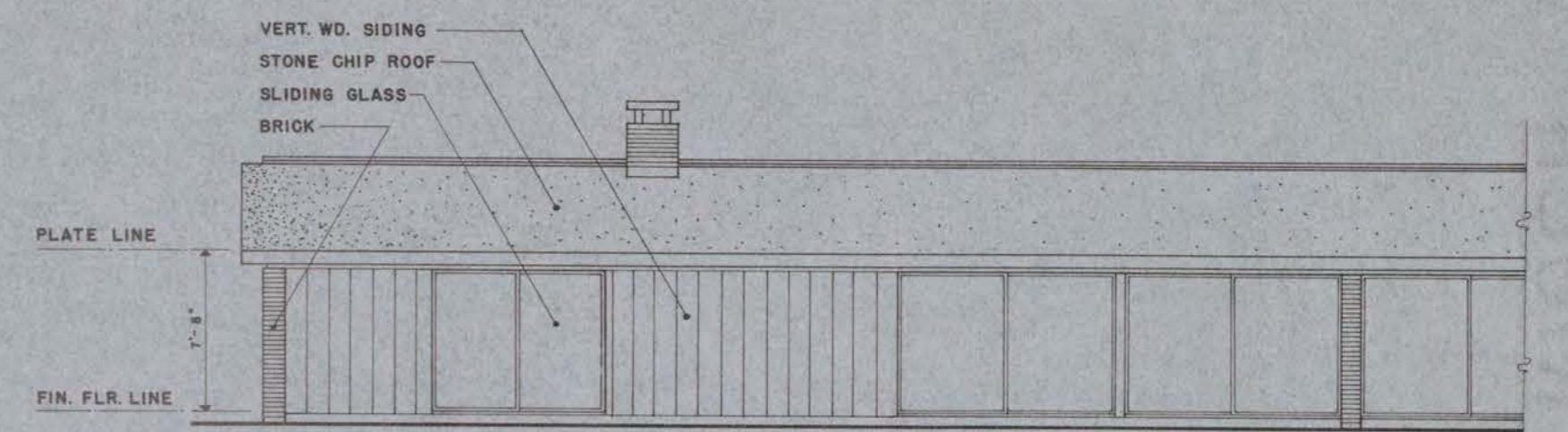




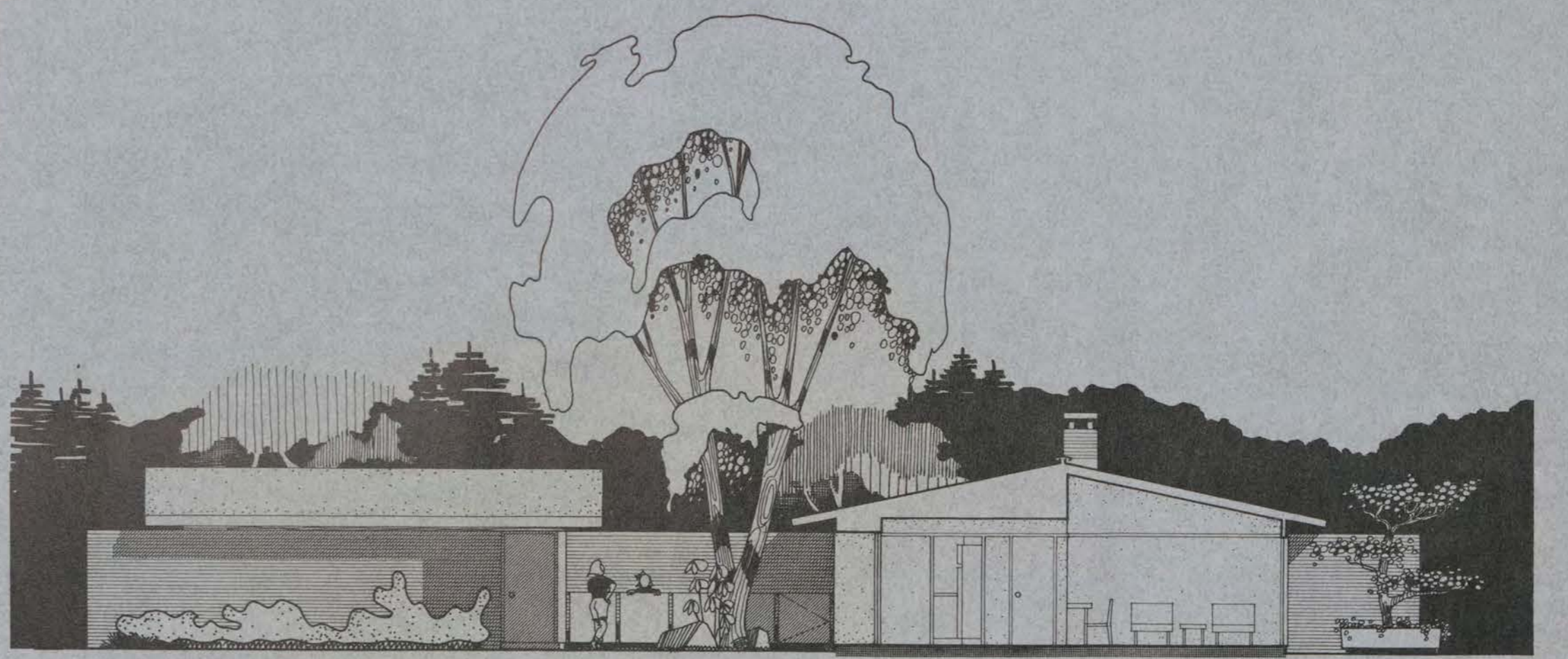
FLOOR PLAN



FRONT ELEVATION



REAR ELEVATION



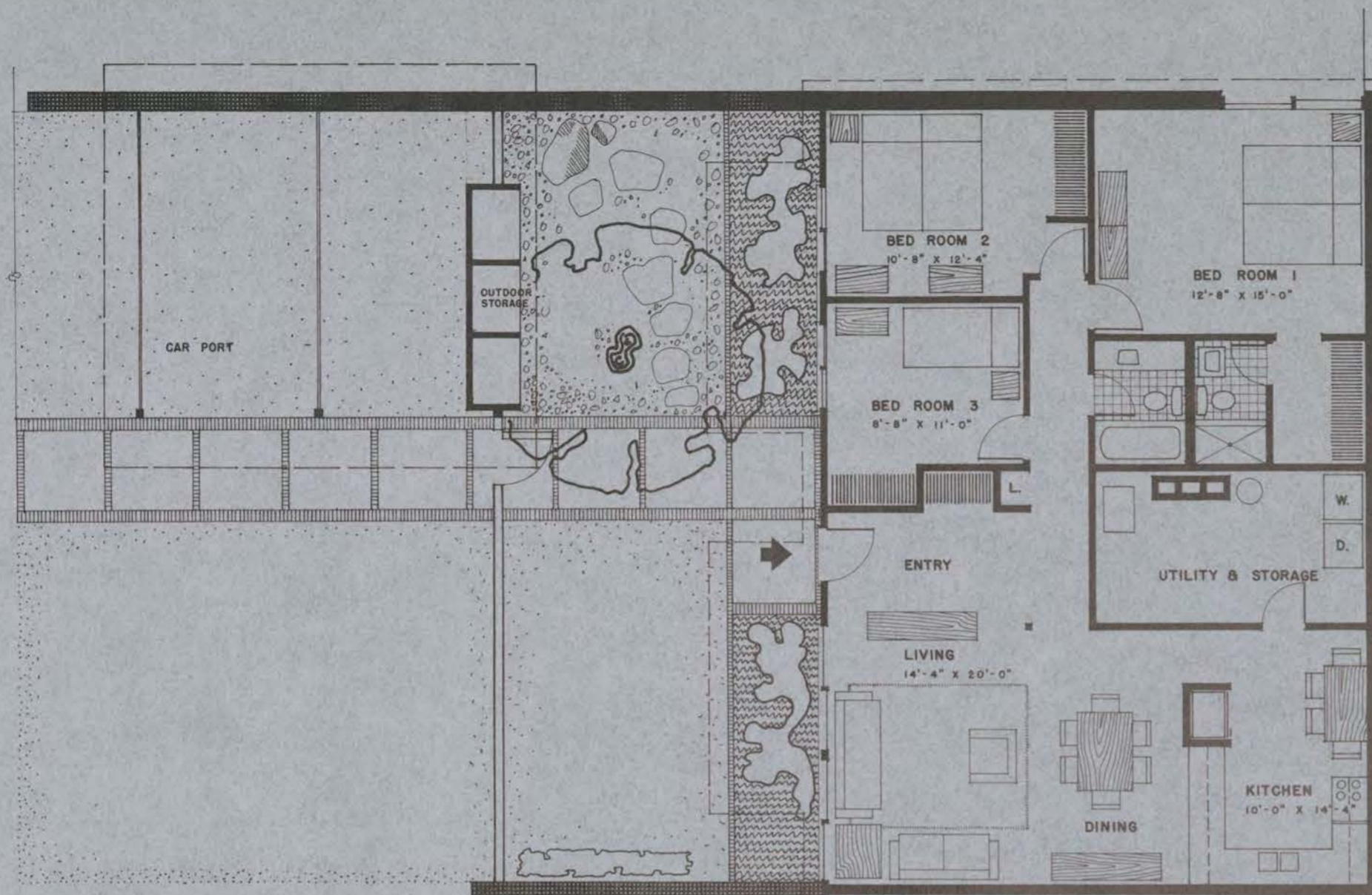
SECTION

0 5 10 15  
 SCALE IN FEET  
 GROSS AREA 1284 SQ. FT.  
 NET AREA 1248 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

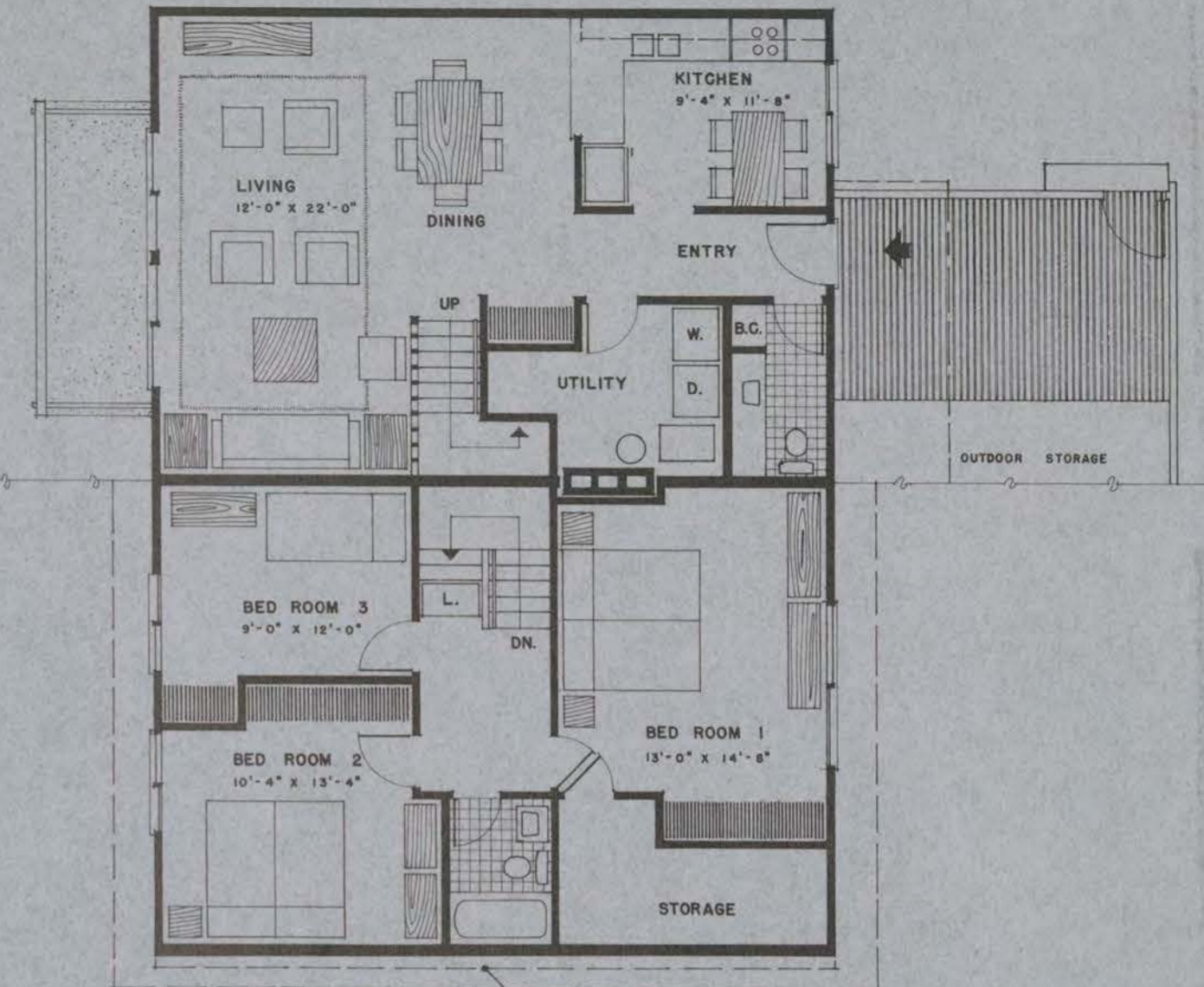
APPROVAL	ARCHITECTS	DESCRIPTION	DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
<i>Signed J. Halber</i> 20 FEBRUARY 1964 DIRECTOR, FAMILY HOUSING STANDARDS AND DESIGN	ROBERT A. LITTLE & GEORGE F. DALTON & ASSOCIATES - ARCHITECTS CLEVELAND OHIO	COMPANY GRADE OFFICERS 3 BR. 1 STORY TOWNHOUSE FLAT SITE	1	CGO	3	1 OF 1

IDENTIFICATION SYMBOL



GROUND FLOOR PLAN

SECOND FLOOR PLAN



THIRD FLOOR PLAN

INCREASE WIDTH OF SECOND FLOOR BY 10" TO ACHIEVE OVERHANG AT END

UPPER UNIT  
GROSS AREA 1408 SQ. FT.  
NET AREA 1172 SQ. FT.



THREE STORY ELEVATION

0 5 10 15  
SCALE IN FEET

LOWER UNIT  
GROSS AREA 1390 SQ. FT.  
NET AREA 1246 SQ. FT.

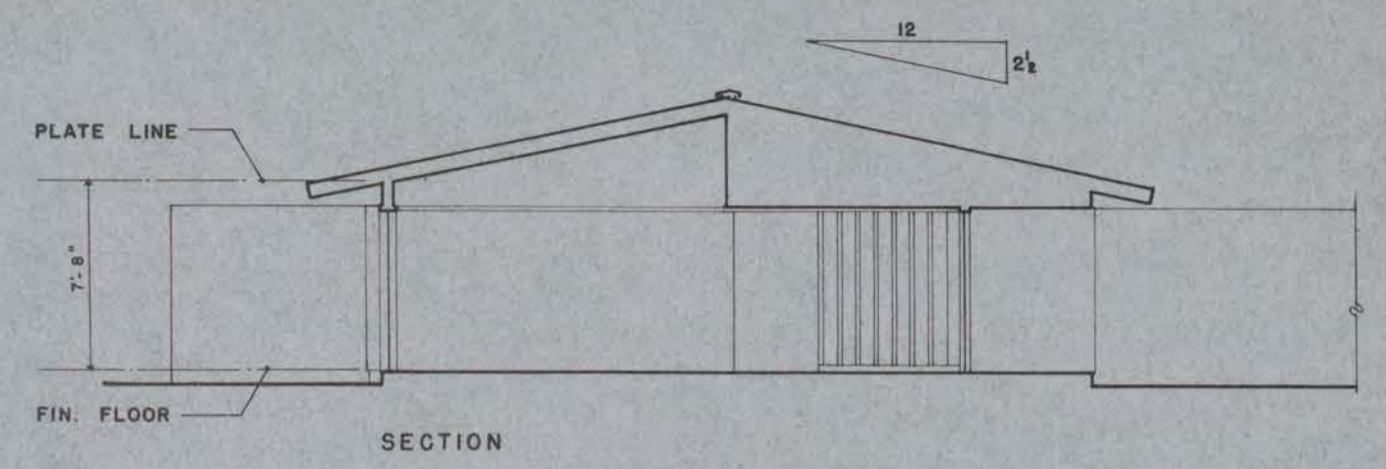
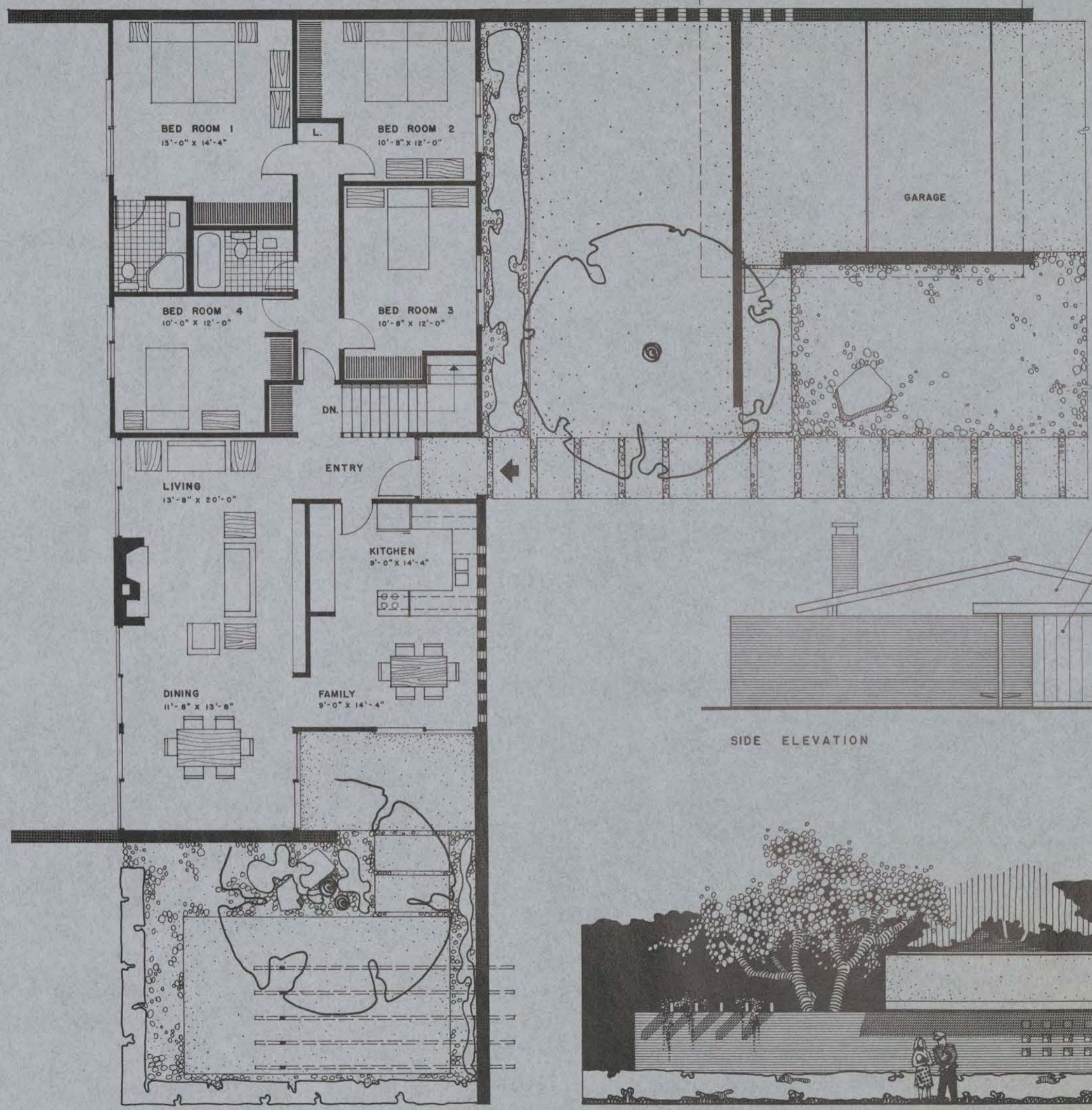
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
ROBERT A. LITTLE &  
GEORGE F. DALTON &  
ASSOCIATES - ARCHITECTS  
CLEVELAND OHIO

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 3 STORY TOWNHOUSE  
HILLSIDE COMBINATION**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**1 CGO 6&7** 1 OF 1  
IDENTIFICATION SYMBOL



FLOOR PLAN

FRONT ELEVATION

0 5 10 15  
 SCALE IN FEET  
 GROSS AREA 1721 SQ. FT.  
 NET AREA 1669 SQ. FT.

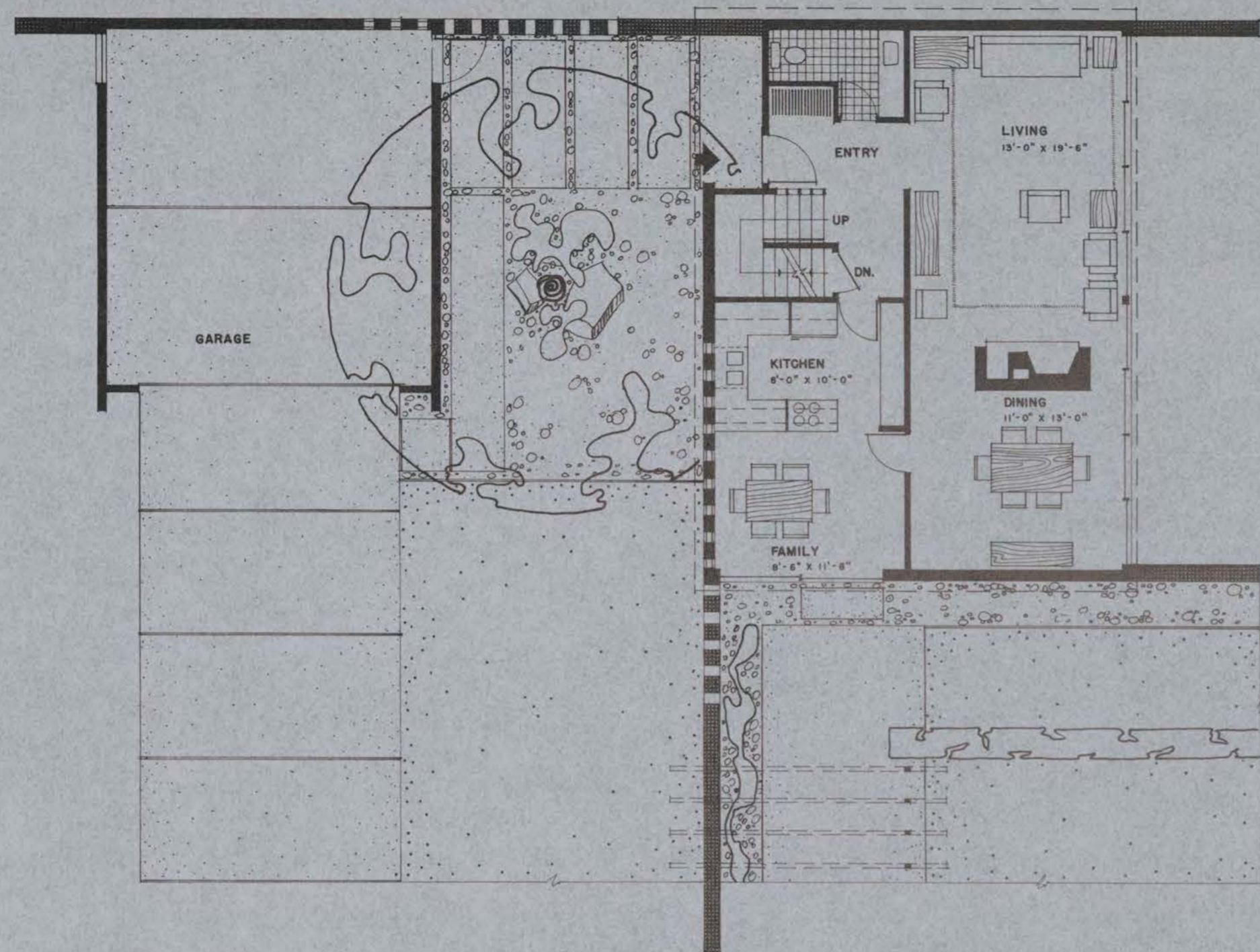
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Garber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

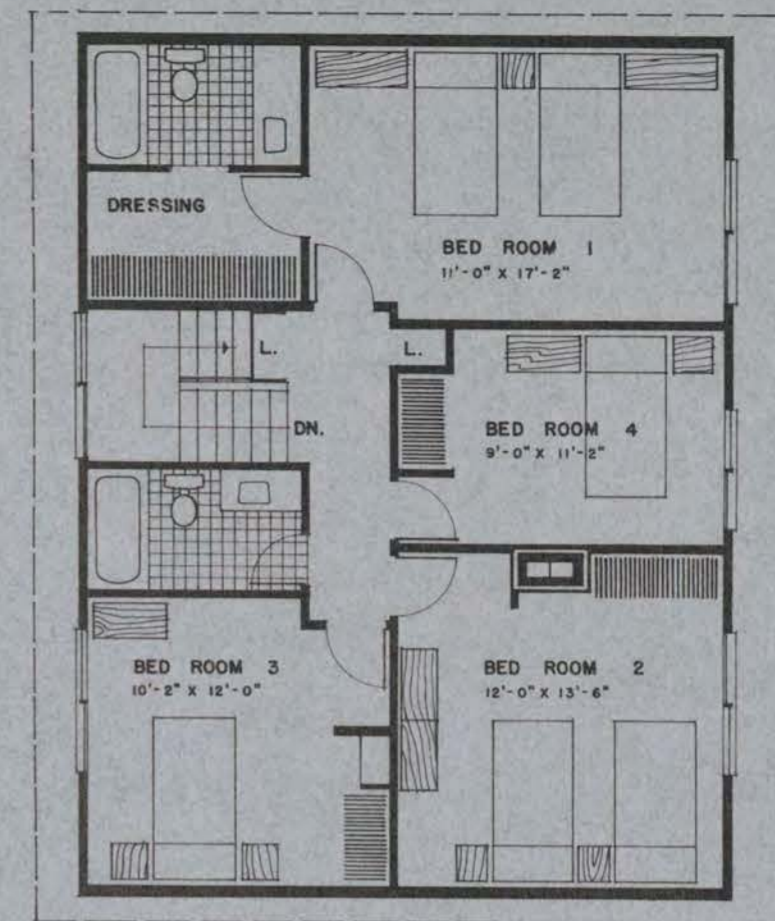
ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**SENIOR OFFICERS**  
**4 BR. 1 STORY SINGLE**

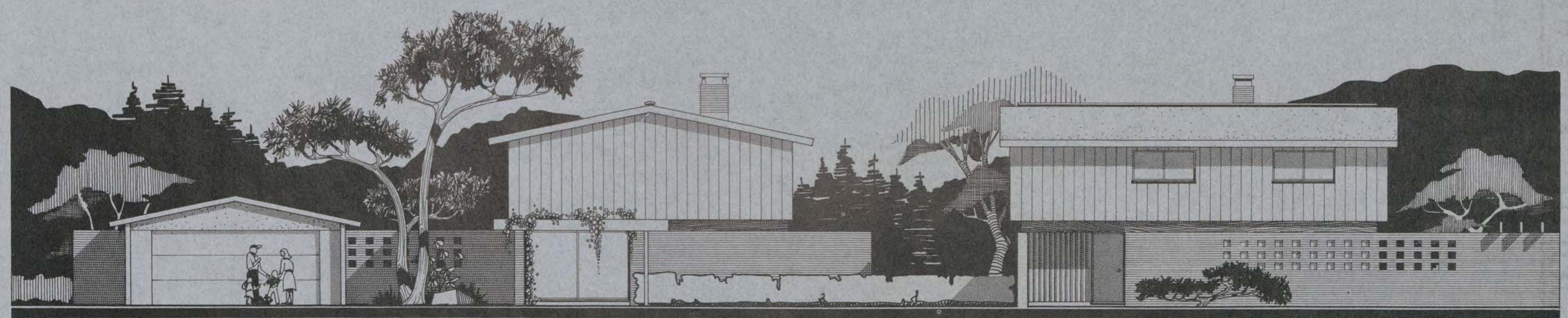
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
I	SO	1	1 OF 1
IDENTIFICATION SYMBOL			1



GROUND FLOOR PLAN

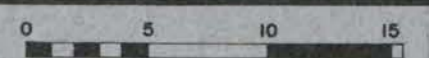


SECOND FLOOR PLAN



SIDE ELEVATION

FRONT ELEVATION



SCALE IN FEET  
 GROSS AREA 1722 SQ. FT.  
 NET AREA 1667 SQ. FT.

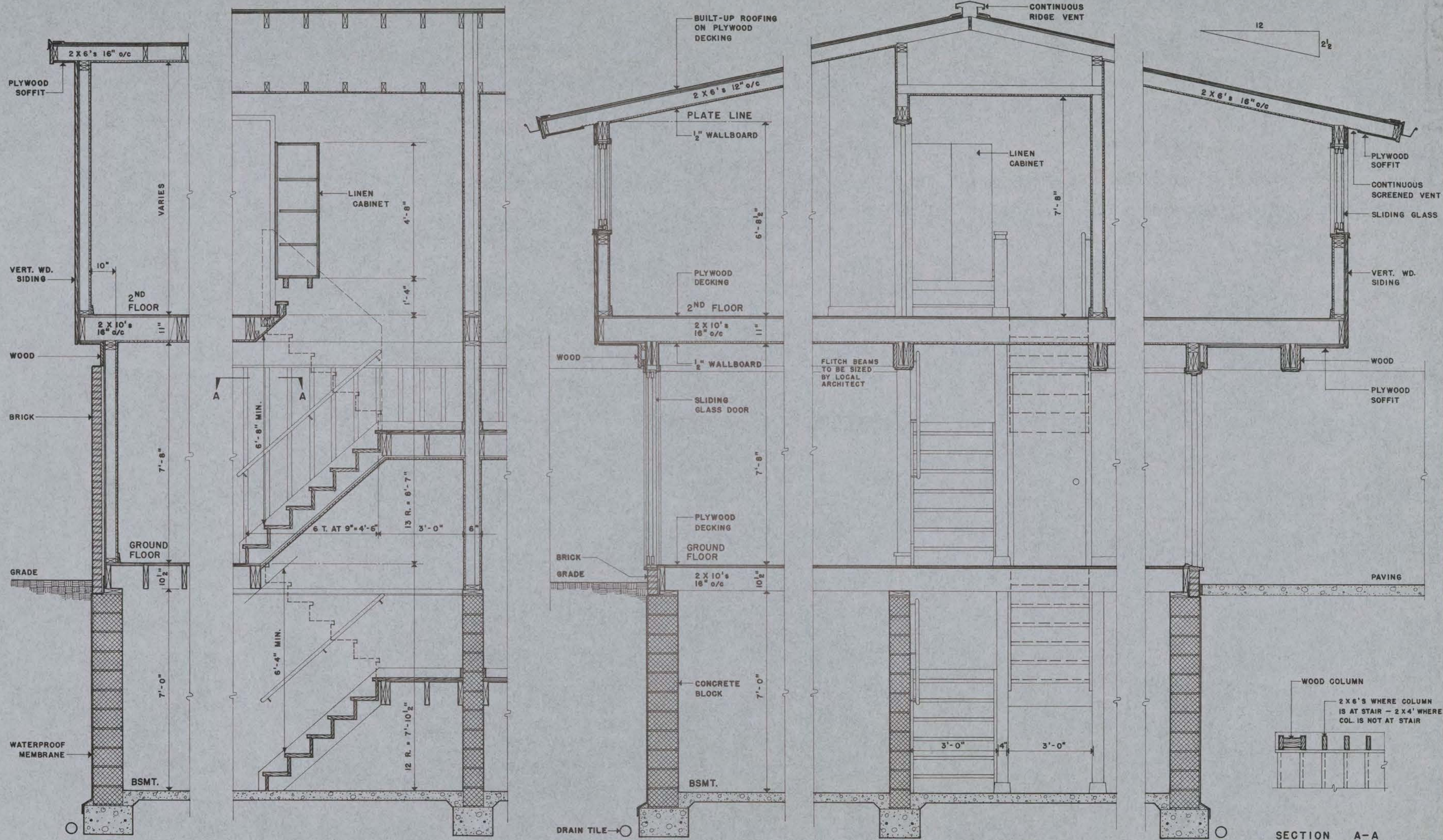
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. G. ...*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**SENIOR OFFICERS**  
**4 BR. 2 STORY SINGLE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**1 SO 2 1**  
 IDENTIFICATION SYMBOL OF 1

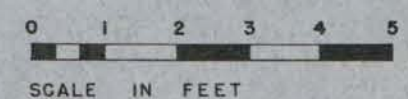


TYPICAL END WALL

SECTION THRU STAIR

BUILDING CROSS SECTION

SECTION A-A



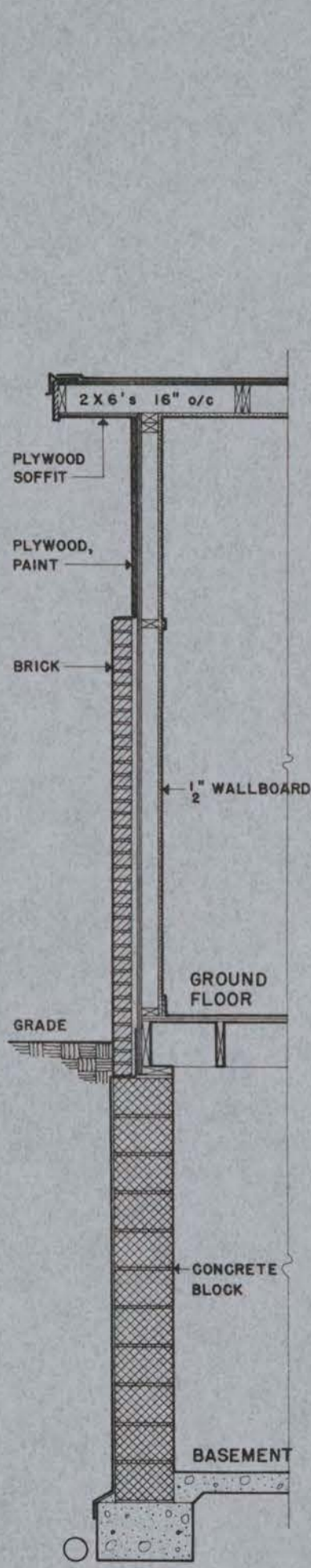
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

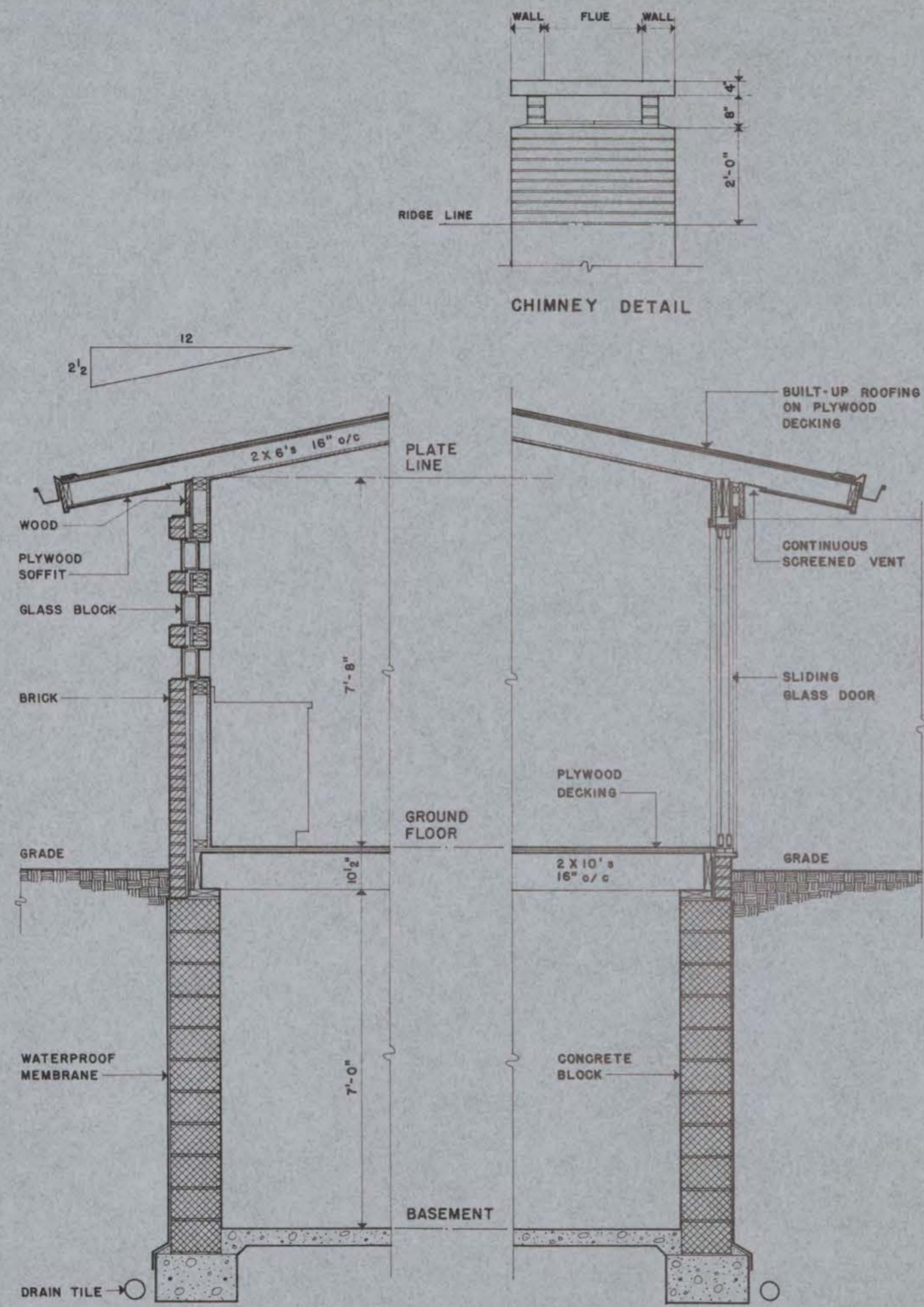
DESCRIPTION  
**DETAILS 2 STORY UNITS**

DESIGN GROUP  
**1 DETAILS**  
 IDENTIFICATION SYMBOL

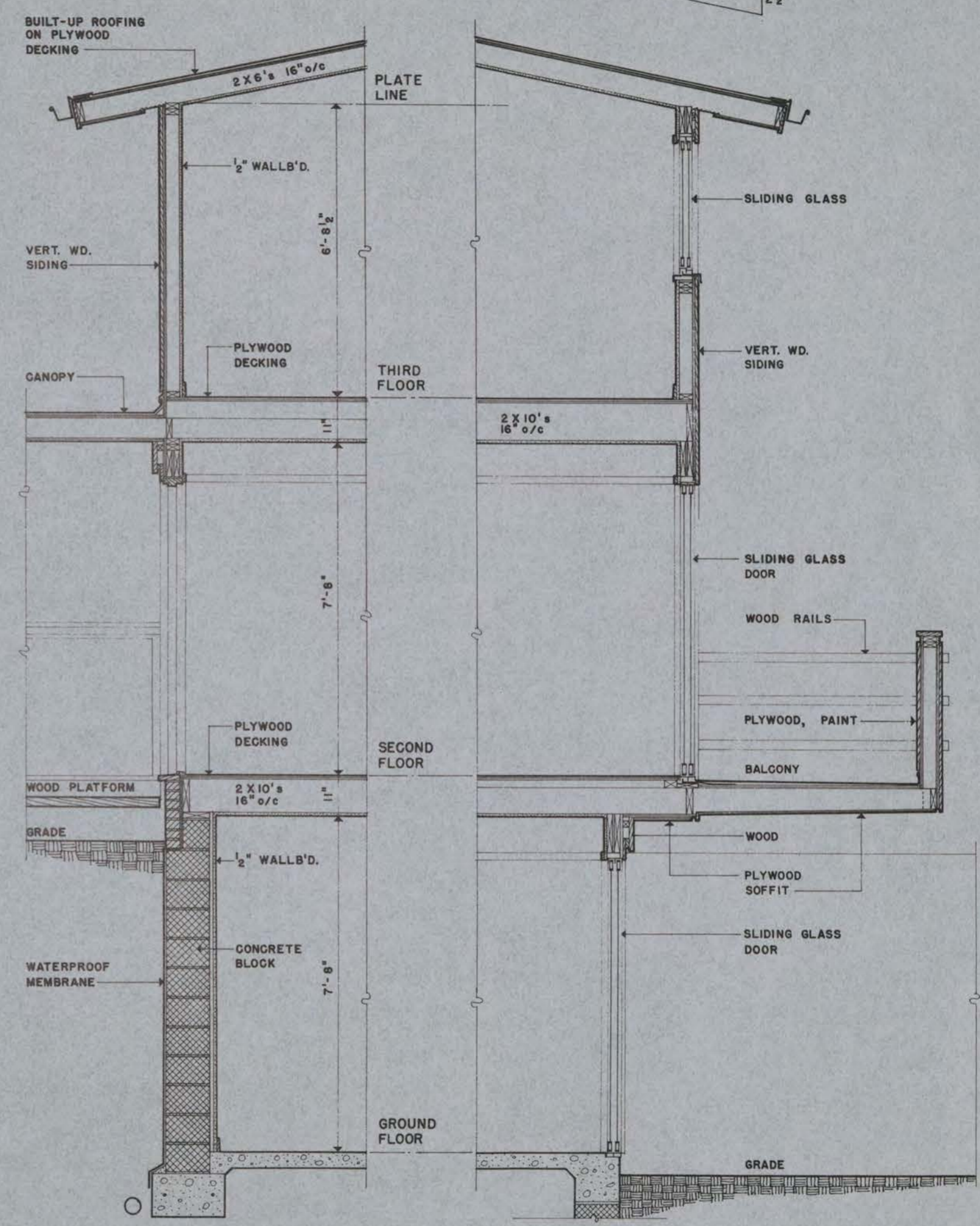
SHEET NO.  
**1 OF 3**



TYPICAL END WALL



BUILDING CROSS SECTION



BUILDING CROSS SECTION



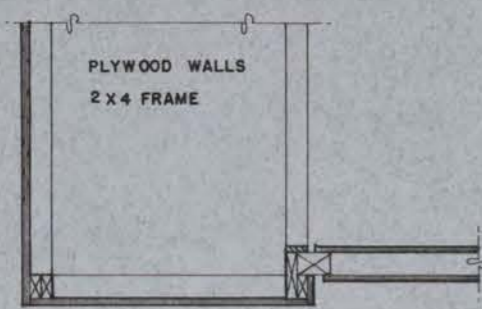
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

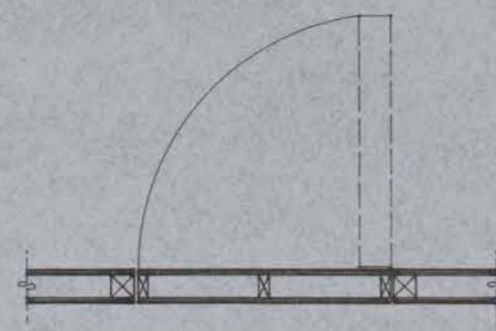
DESCRIPTION  
**DETAILS 1 & 3 STORY UNITS**

DESIGN GROUP  
**I DETAILS**  
 IDENTIFICATION SYMBOL

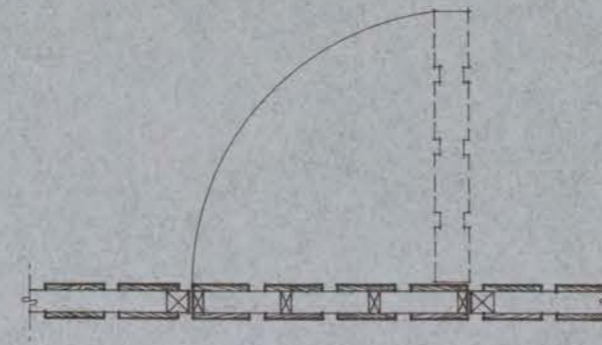
SHEET NO.  
**2 OF 3**



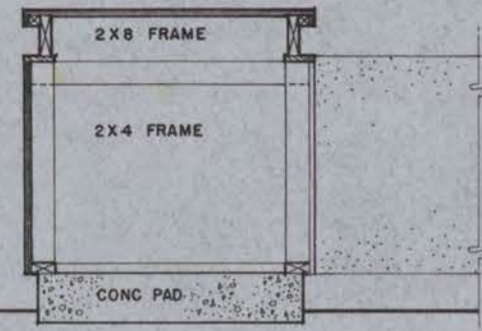
PLAN



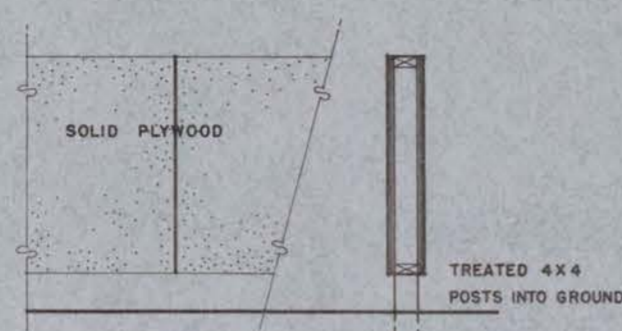
PLAN



PLAN

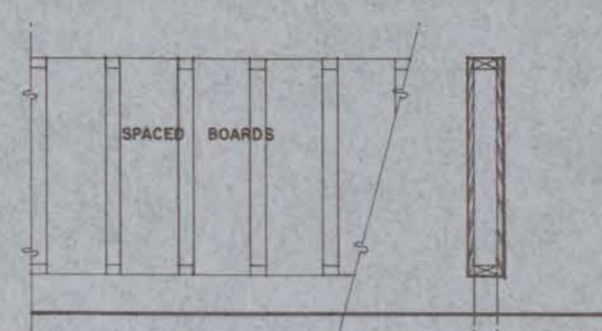


SECTION



ELEVATION

SECTION

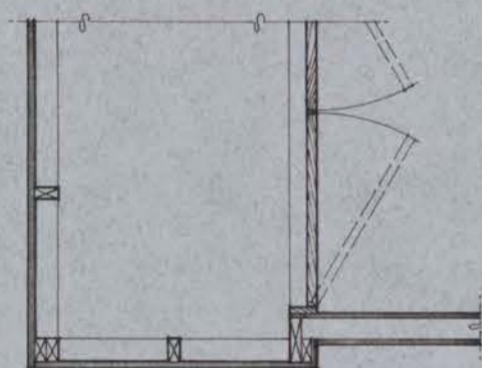


ELEVATION

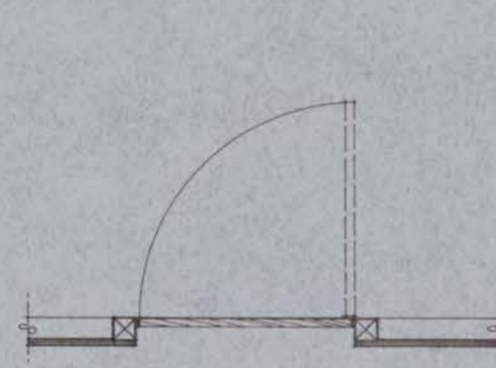
SECTION

STORAGE UNITS (LOW)

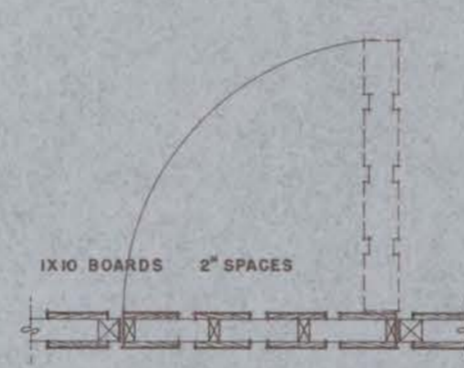
FENCES (LOW)



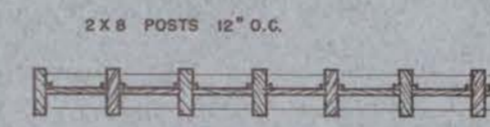
PLAN



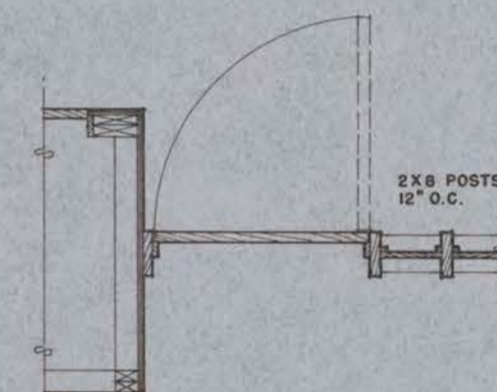
PLAN



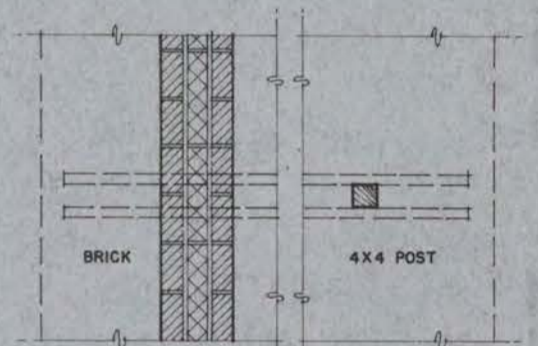
PLAN



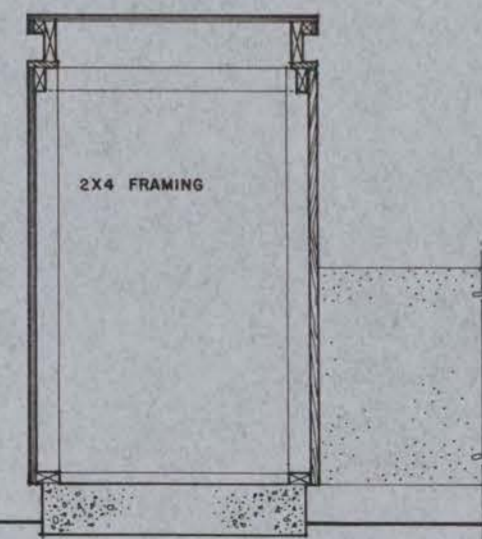
PLAN



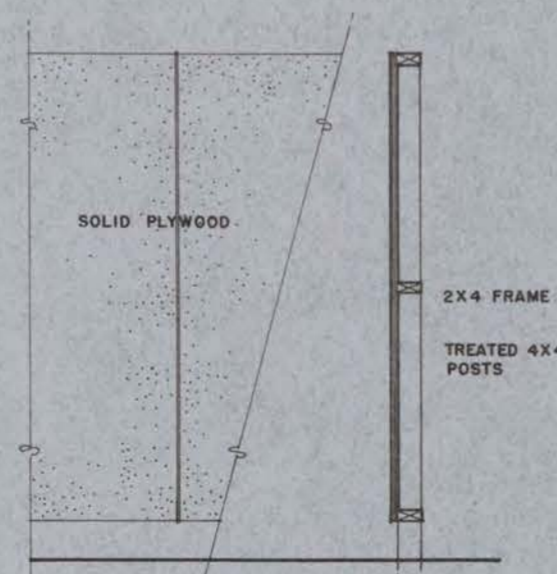
PLAN



PLAN

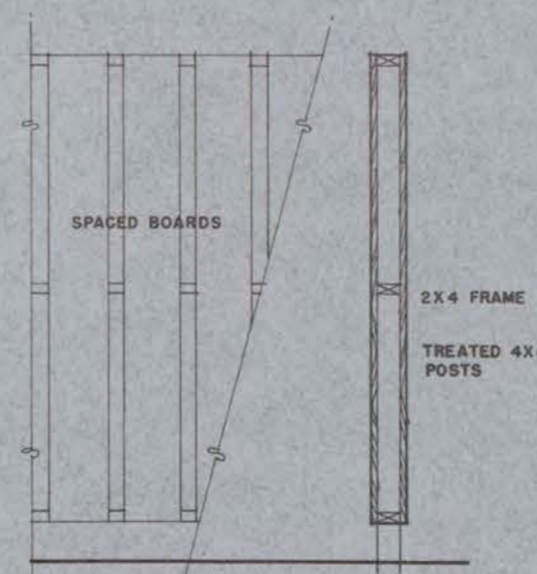


SECTION



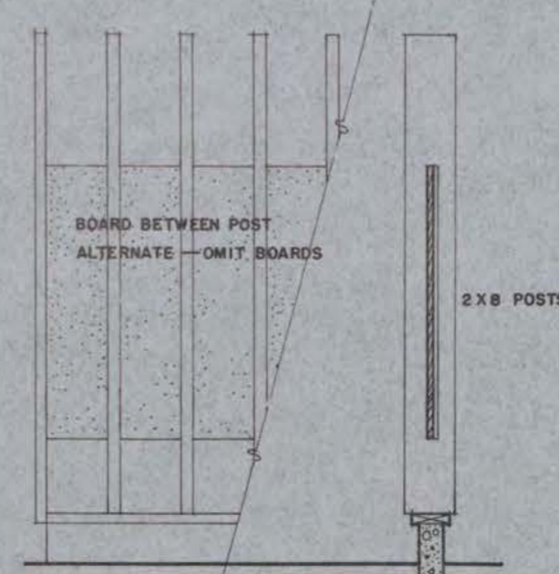
ELEVATION

SECTION



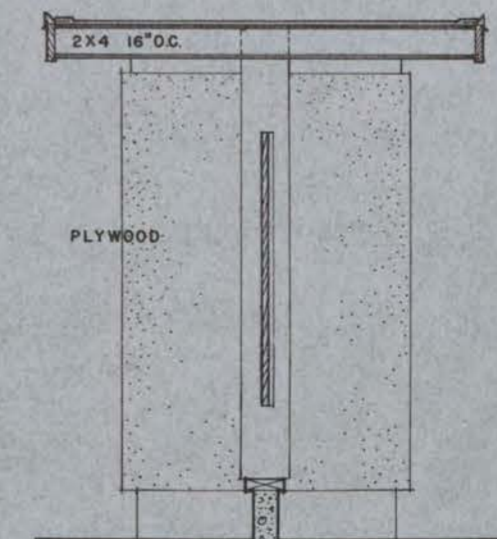
ELEVATION

SECTION

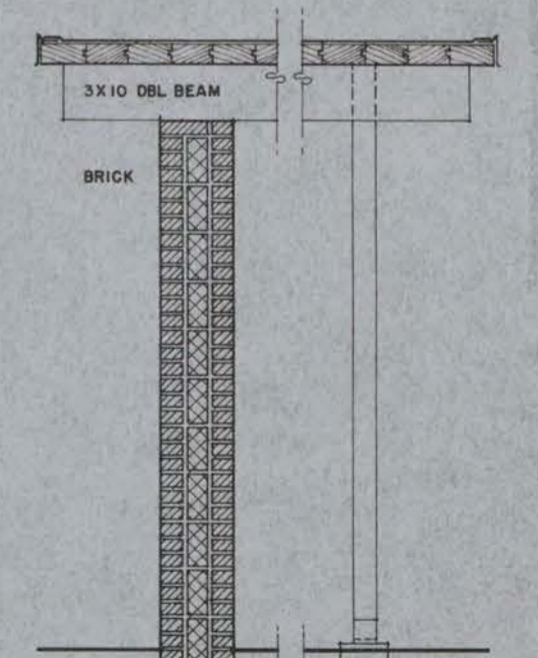


ELEVATION

SECTION



SECTION



SECTION

STORAGE UNITS (HIGH)

FENCES (HIGH)

CARPORTS



SCALE IN FEET

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**DETAILS STORAGE UNITS  
 FENCES, CARPORT**

DESIGN GROUP  
**1 DETAILS**  
 IDENTIFICATION SYMBOL

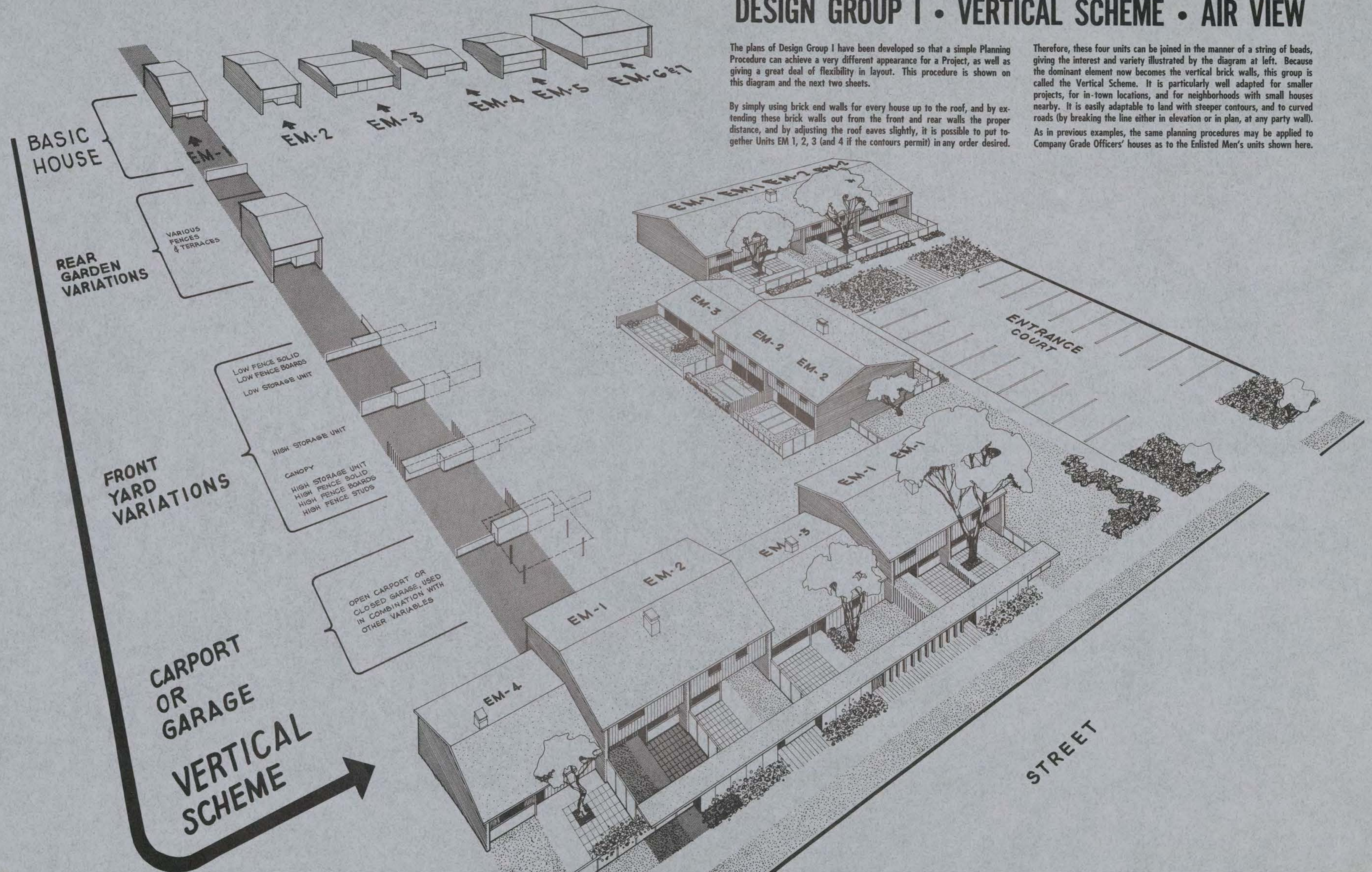
SHEET NO.  
**3  
 OF  
 3**

# DESIGN GROUP I • VERTICAL SCHEME • AIR VIEW

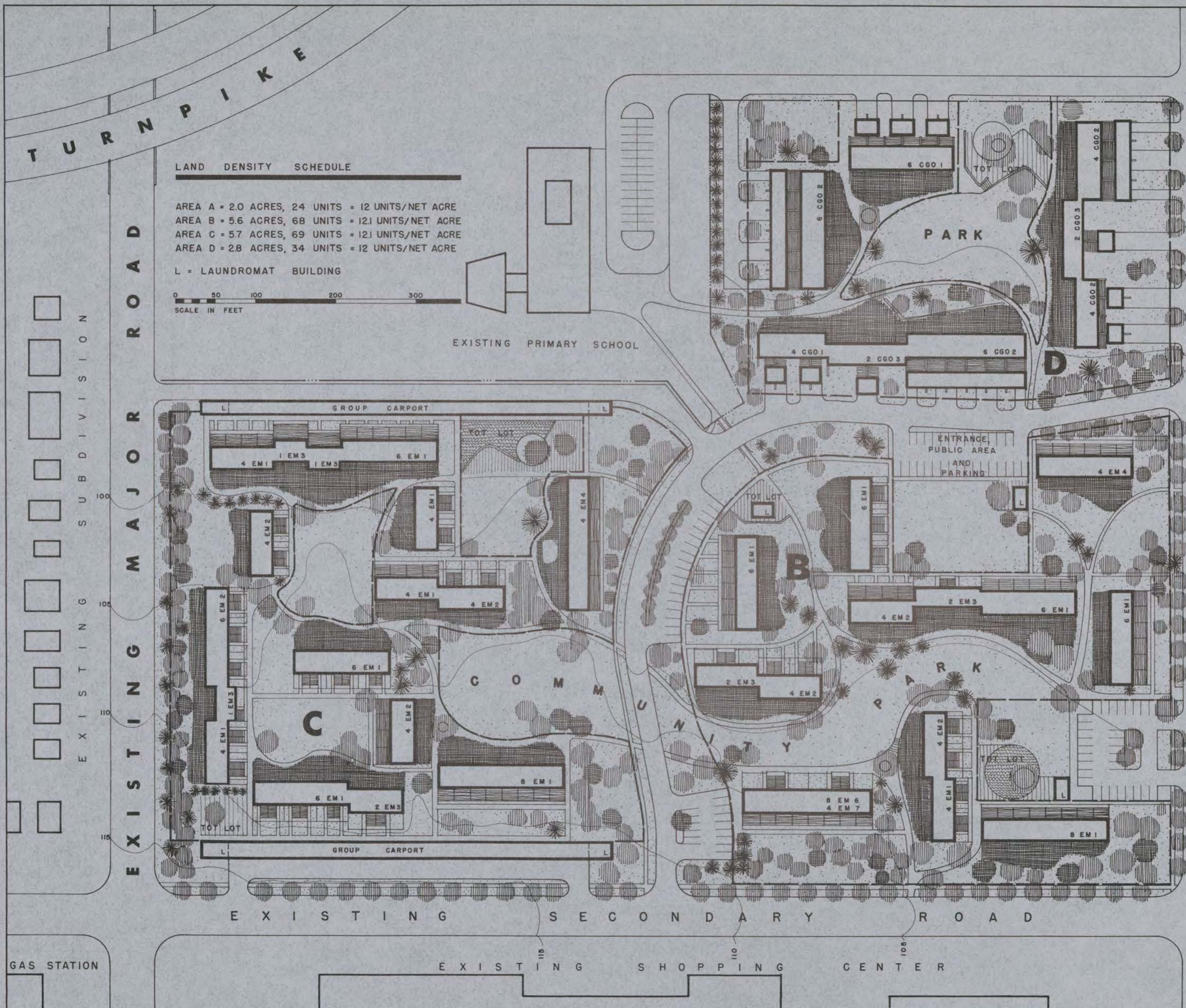
The plans of Design Group I have been developed so that a simple Planning Procedure can achieve a very different appearance for a Project, as well as giving a great deal of flexibility in layout. This procedure is shown on this diagram and the next two sheets.

By simply using brick end walls for every house up to the roof, and by extending these brick walls out from the front and rear walls the proper distance, and by adjusting the roof eaves slightly, it is possible to put together Units EM 1, 2, 3 (and 4 if the contours permit) in any order desired.

Therefore, these four units can be joined in the manner of a string of beads, giving the interest and variety illustrated by the diagram at left. Because the dominant element now becomes the vertical brick walls, this group is called the Vertical Scheme. It is particularly well adapted for smaller projects, for in-town locations, and for neighborhoods with small houses nearby. It is easily adaptable to land with steeper contours, and to curved roads (by breaking the line either in elevation or in plan, at any party wall). As in previous examples, the same planning procedures may be applied to Company Grade Officers' houses as to the Enlisted Men's units shown here.







**LAND DENSITY SCHEDULE**

AREA A = 2.0 ACRES, 24 UNITS = 12 UNITS/NET ACRE  
 AREA B = 5.6 ACRES, 68 UNITS = 12.1 UNITS/NET ACRE  
 AREA C = 5.7 ACRES, 69 UNITS = 12.1 UNITS/NET ACRE  
 AREA D = 2.8 ACRES, 34 UNITS = 12 UNITS/NET ACRE

L = LAUNDROMAT BUILDING

0 50 100 200 300  
 SCALE IN FEET

This site plan shows various siting arrangements of buildings according to the Vertical Scheme.

The locale is a nearly flat property on the outskirts of a town. At the left and bottom are fairly busy traffic streets, at the right is a quiet street.

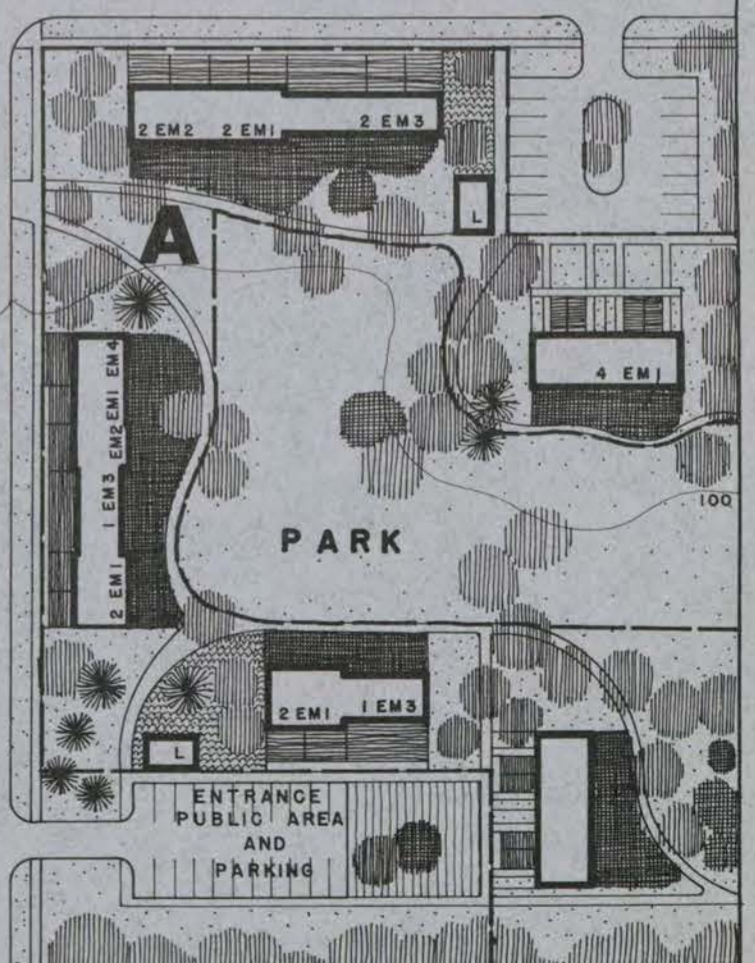
The buildings are sited on a rectangular pattern consistent with the surrounding buildings and streets. Access to the property is a minimum on the busy streets at left and at bottom. Where the property is surrounded by streets and traffic, the living is oriented inward away from the noise and danger.

Area A, lower right, is an example of a very small, much varied, housing group such as might be placed in any small community. Twenty-four families are housed on a small partial block, with houses placed near the quiet street to provide the maximum interior back yard, or Community Park. Parking is concentrated on the outside perimeter, also in order to save as much land as possible for the Private Area or Community Park. Some of these buildings are shown in the Air View on the preceding page.

Area B is a combination of the Vertical Scheme houses in larger strings of similar units. It is easy to alter these combinations at will, as previously indicated.

Area C combines houses of the Vertical and Horizontal Schemes in the same block, with some fairly long Horizontal Houses contrasted to the intimate pattern of the varied Vertical Houses. In Area C, carports are placed near the property line, with a six foot fence or wall screening them from the public streets, as well as protecting the residents from outside traffic and nuisance. Privacy, again, is the aim in plot plan as well as individual houses.

Area D is an Officers' group, which is similar in planning principle to the other areas.

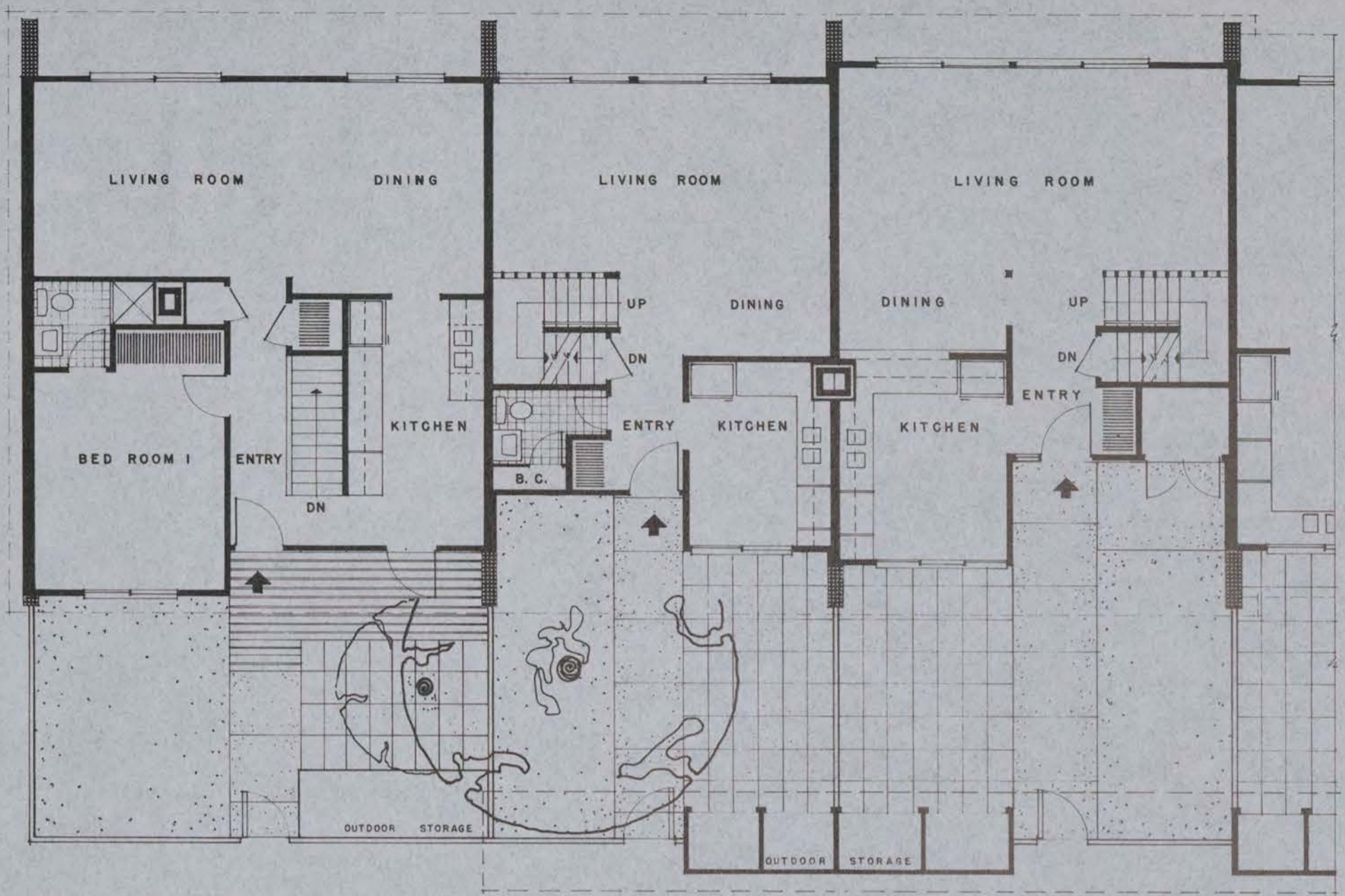


**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES • ARCHITECTS  
 CLEVELAND OHIO

**DESCRIPTION**  
 DESIGN GROUP I  
 VERTICAL SCHEME SITE PLAN

**DESIGN GROUP**  
 1 SITE 2  
 IDENTIFICATION SYMBOL



FLOOR PLAN EM-4                      EM-1                      EM-2

This drawing shows at left and below how various units of EM 1, 2, 3 and 4 can be placed together with the vertical brick walls expressed in plan and elevation.

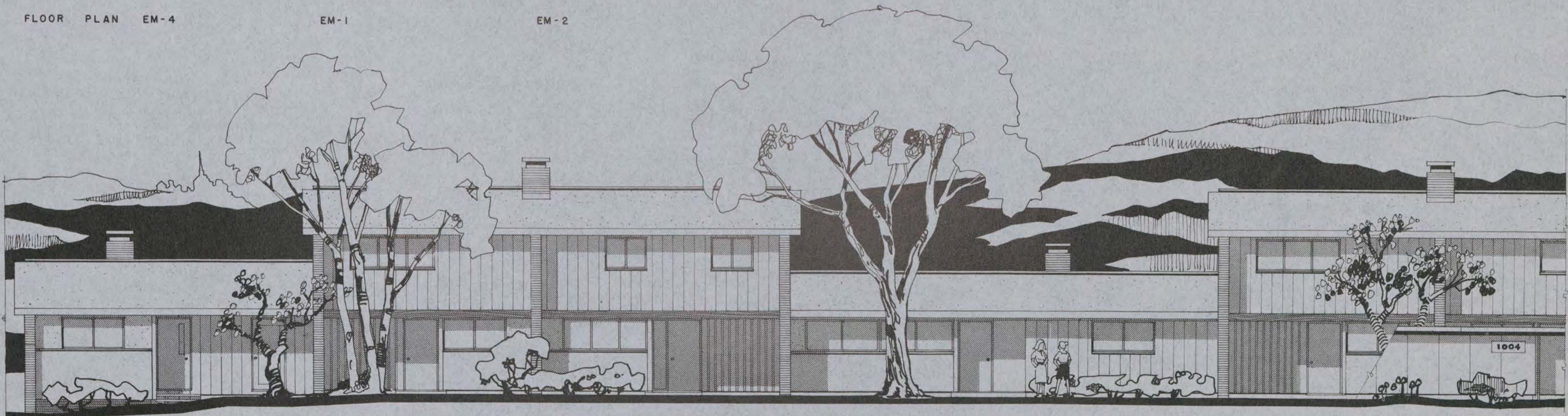
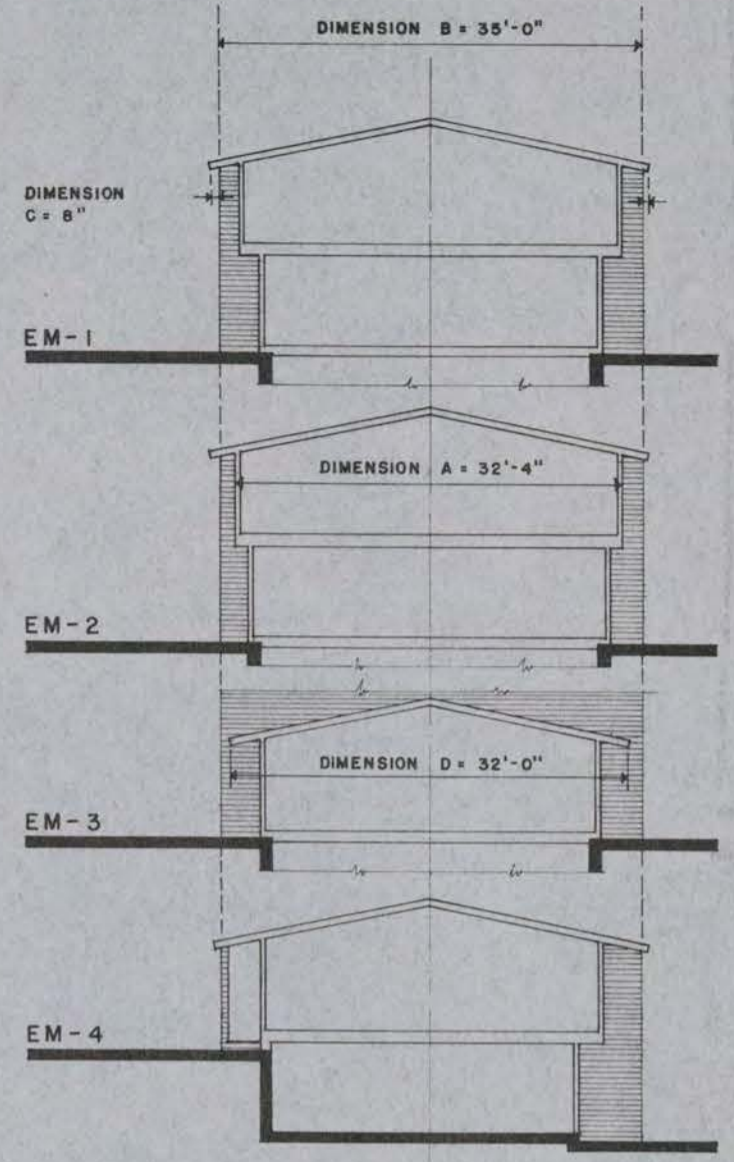
The diagrams at right indicate the simple means by which this "string of beads" concept may be accomplished.

The out-to-out depth dimensions of these four units vary from 28'-0" to 32'-4". See Dimension A.

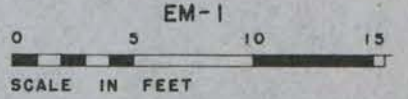
The brick party walls extend 8" beyond each side of the deepest unit, therefore, the brick wall dimension is constant for all houses at 35'-0". See Dimension B.

The roofs of Units EM 1, 2, and 4 overhang the brick party walls by 8", thus allowing the roofs and fascia lines to be continuous. See Dimension C.

The roof of Unit EM 3 butts into the brick party walls. It is 32'-0". See Dimension D.



FRONT ELEVATION EM-4                      EM-1                      EM-2                      EM-3                      EM-1



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 ROBERT A. LITTLE &  
 GEORGE F. DALTON &  
 ASSOCIATES - ARCHITECTS  
 CLEVELAND OHIO

DESCRIPTION  
**VERTICAL SCHEME  
 ELEVATION VARIATIONS**

DESIGN GROUP  
**I VARIATIONS**  
 IDENTIFICATION SYMBOL

SHEET NO.  
**1 OF 1**

## DESIGN GROUP II

### GENERAL REMARKS

Design Group II contains a three-bedroom Town House for Enlisted Men, a similar Town House for Company Grade Officers, six Field Grade Officers' houses, two houses for Senior Officers, and two houses for General Officers. These houses have been designed for a Cold Climate, and most of them have basements.

#### SITE PLANNING

One element of the site planning shown for Design Group II deserves special emphasis. Many traditional urban row houses have a raised first floor, above an "english" basement, not only to provide a greater amount of light and air to the lower floor, but also to raise the first floor above the street and sidewalk level for greater privacy. Although the planning program, as well as the cost and area limitations of the greater part of military family housing, does not readily lend itself to that type of design, some effective means must be used to insure adequate privacy for each dwelling from the public areas in the front and rear of the house and from its neighbors on either side. A courtyard at the front of the house, entered from the public walk by a gate or door, surrounded by walls or well-constructed fences at a height sufficient to provide privacy without blocking out too much light and air from the court, (about 5'-8" to 6'-0" high), can answer this purpose well. It can provide an enclosed area for supervised play of small children or pets, a convenient combined construction for tool storage and trash removal and, most importantly, a small buffer zone of privacy between the public areas and the house itself. This form of total enclosure may not be necessary on the other side of the house, although the usefulness of a terrace or sitting area on the off-street side does depend upon adequate walls or fences between adjoining houses. It should be cautioned that these courtyards and walls or fences become a dominant feature of the exterior facades of the houses and must be of sound, permanent construction, attrac-

tive in appearance, and be a part of the basic design. On a steep or rugged site, such as the one illustrated, a multi-level or split-level plan might be developed to advantage.

The plans of Design Group II present a variety of unit plans which can be used to create a neighborhood of economy and grace. The elevations of these houses reflect the simple use of a few attractive, durable building materials which, in a large or small housing project, will look better and age better than an attempt to achieve variety by the use of a greater range of building materials.

These designs are based on a domestic, rather than an institutional scale. It is generally better to break up the facade to emphasize the individual unit. The designs are based on the use of good proportion, light and shadow, and appropriately scaled detail. The combination balcony-sunshade-canopy is intended to improve the looks of the house by providing a proportioning device, a shadow and a bit of smaller scaled detail. It also protects the doors and openings below, and improves the privacy, usefulness, and apparent size of the rooms that open onto it.

Construction of these houses is indicated throughout as wood frame with wood, plywood or brick exterior veneer. This is done largely as a matter of convenience since the interior dimensions and areas can remain constant despite the use of various types of exterior materials shown as options on the plans and elevations. The method of construction selected for any particular project should be that which is most suitable and economical in its locality.



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**GENERAL VIEW  
 ENLISTED MEN'S HOUSING**

DESIGN GROUP  
**II VIEW 1**  
 IDENTIFICATION SYMBOL



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**ENTRANCE COURT VIEW**  
**ENLISTED MEN'S HOUSING**

DESIGN GROUP  
**11 VIEW 2**  
 IDENTIFICATION SYMBOL



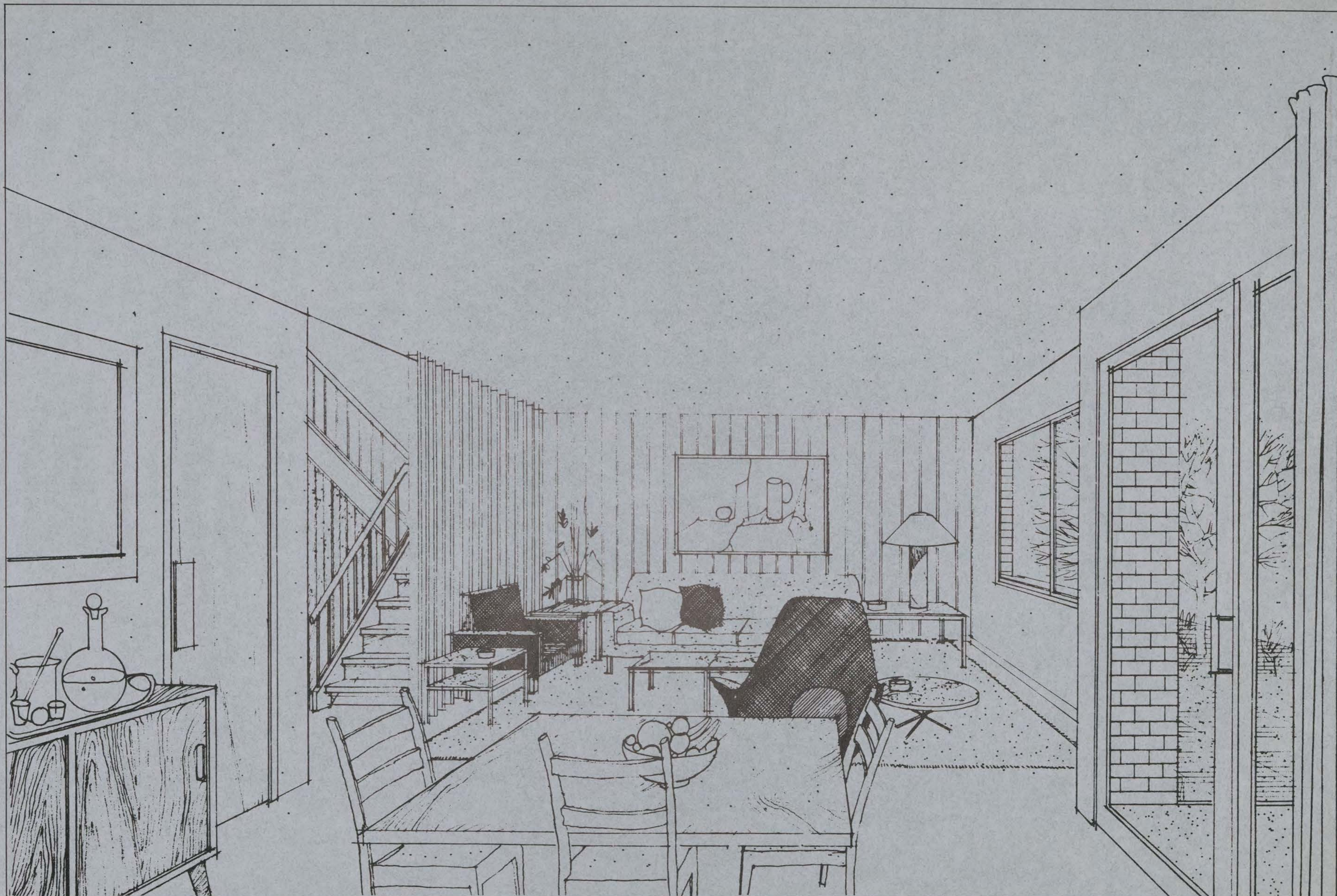
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

**DESCRIPTION**  
STREET VIEW  
OFFICERS HOUSING

DESIGN GROUP  
**II VIEW 3**  
IDENTIFICATION SYMBOL



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)






ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

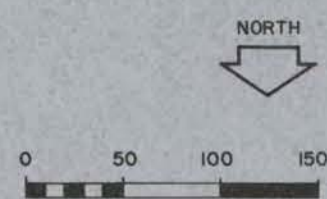
DESCRIPTION  
**INTERIOR VIEW  
ENLISTED MENS UNITS**

DESIGN GROUP  
**II VIEW 4**  
IDENTIFICATION SYMBOL

TOTAL SITE ACREAGE	28.3 ACRES	
TOTAL NET ACREAGE	16.7 ACRES	
AVERAGE DENSITY	5.5 UNITS GROSS ACRE	9.4 UNITS NET ACREAGE
TOWN HOUSE DENSITY	12 UNITS ACRE	
SINGLE UNIT DENSITY	4 UNITS ACRE	
NCO UNITS	116	
CGO UNITS	25	
FGO UNITS	13	
SO UNITS	3	
GO UNITS	1	
	158 TOTAL NO. OF UNITS	

LEGEND

- GENERAL OFFICERS 
- SENIOR OFFICERS 
- FIELD GRADE OFFICERS 
- COMPANY GRADE OFFICERS 
- ENLISTED MEN 



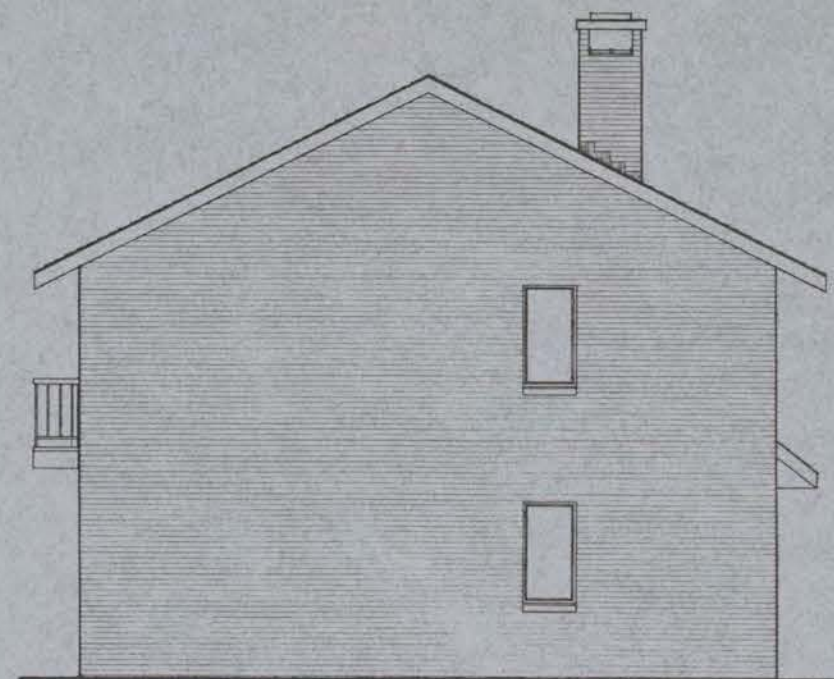
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

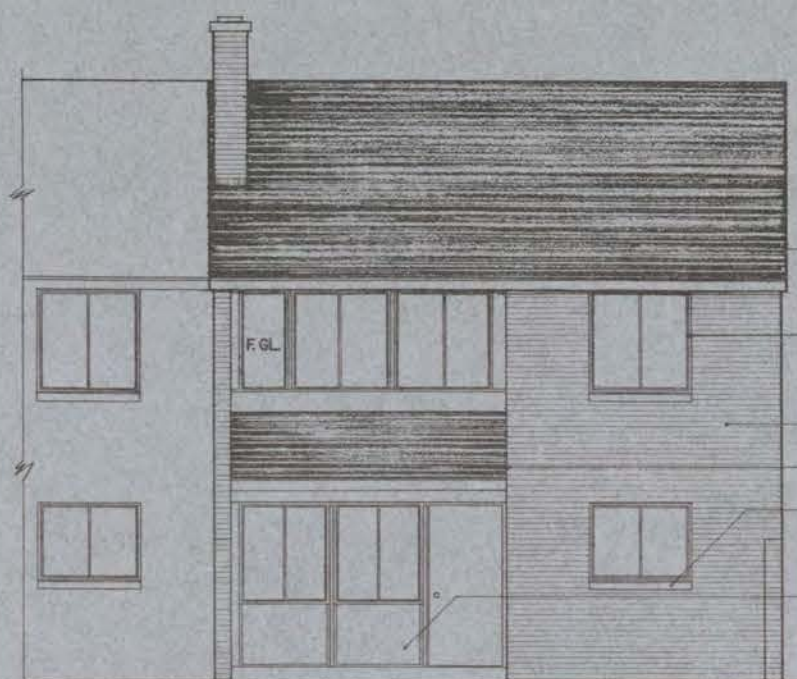
DESCRIPTION  
**DESIGN GROUP II**  
**ILLUSTRATIVE SITE PLAN**

DESIGN GROUP  
**II SITE**  
 IDENTIFICATION SYMBOL

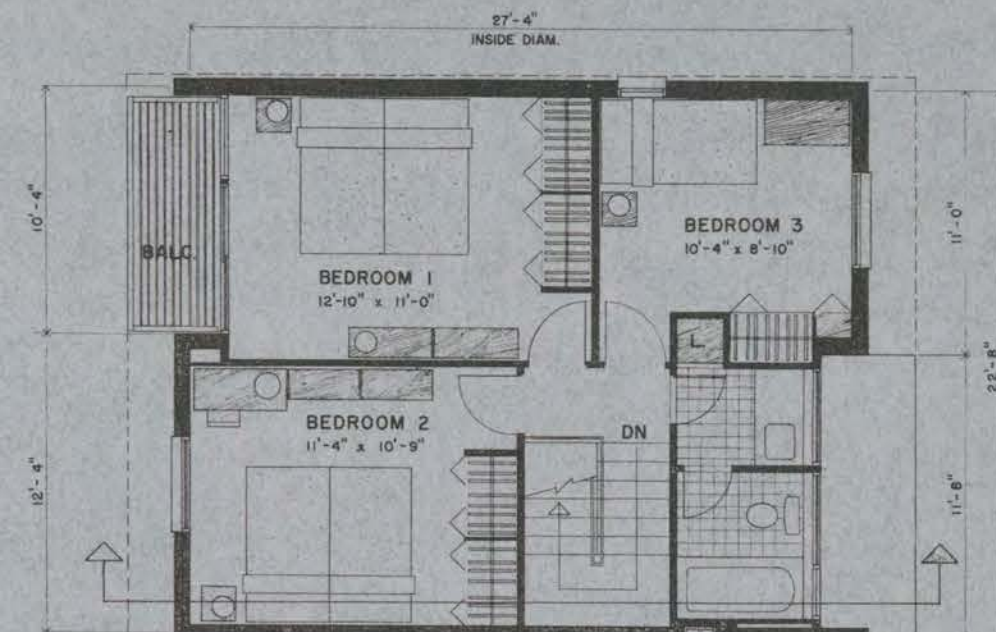




END ELEVATION



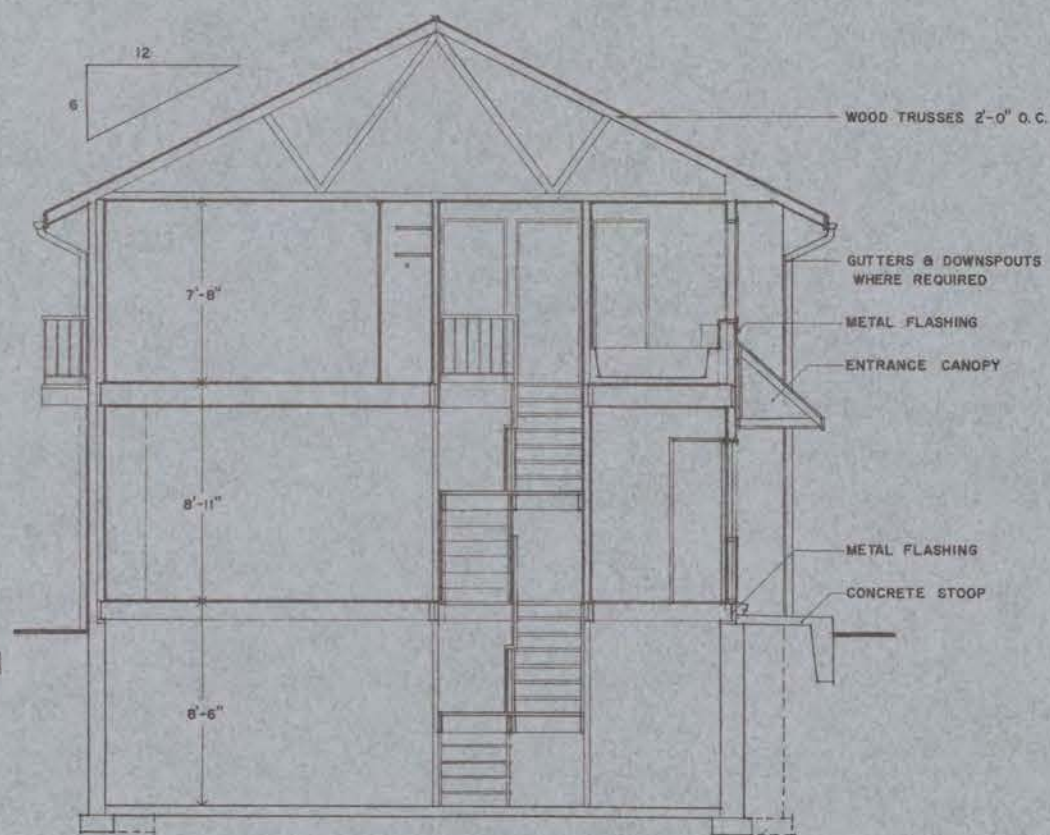
FRONT ELEVATION



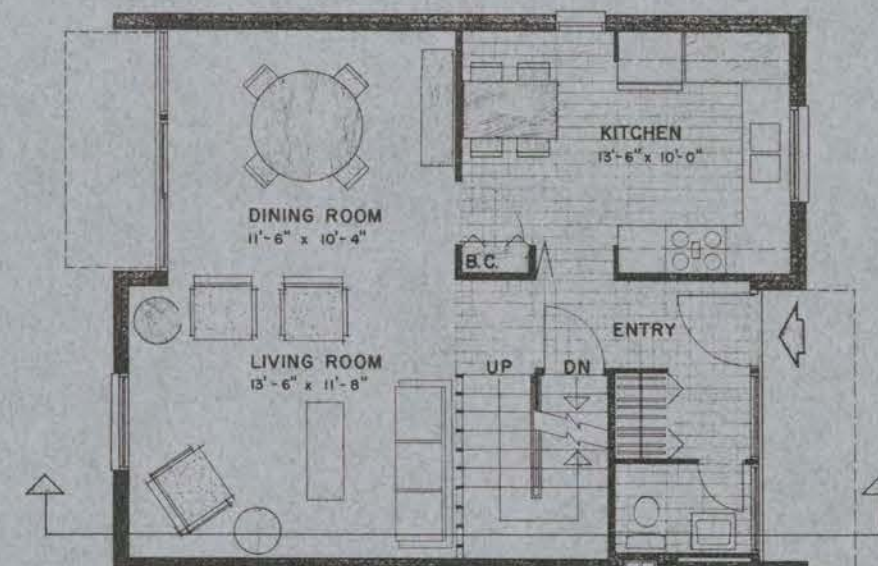
SECOND FLOOR PLAN



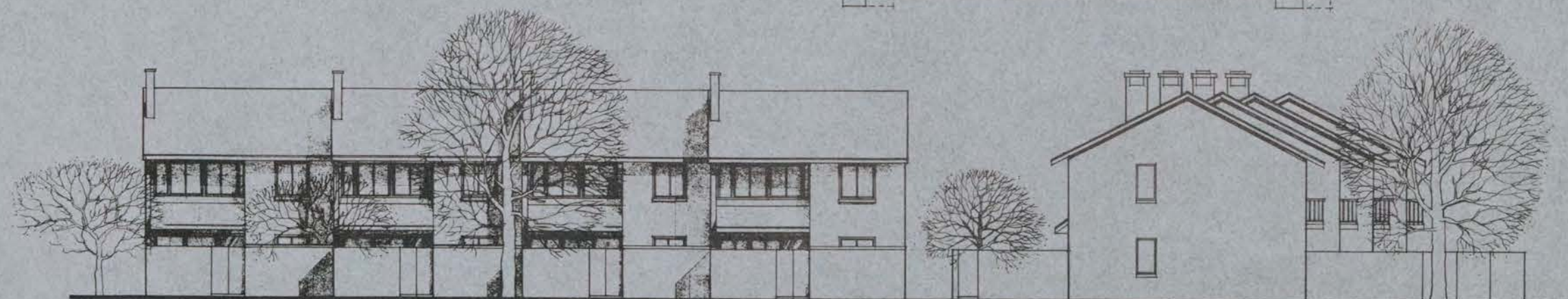
REAR ELEVATION



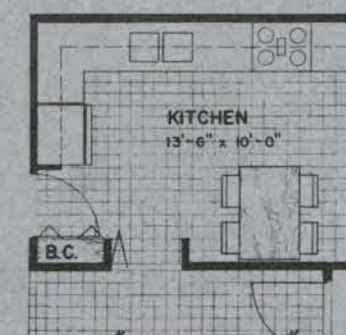
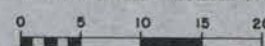
SECTION



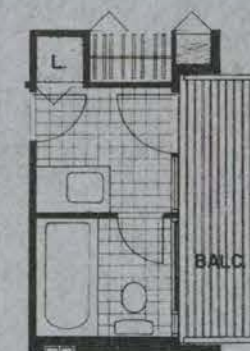
GROUND FLOOR PLAN



TYPICAL ELEVATIONS



ALTERNATE KITCHEN



ALTERNATE BATH

GROSS AREA 1194 SQ. FT.  
NET AREA 1034 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

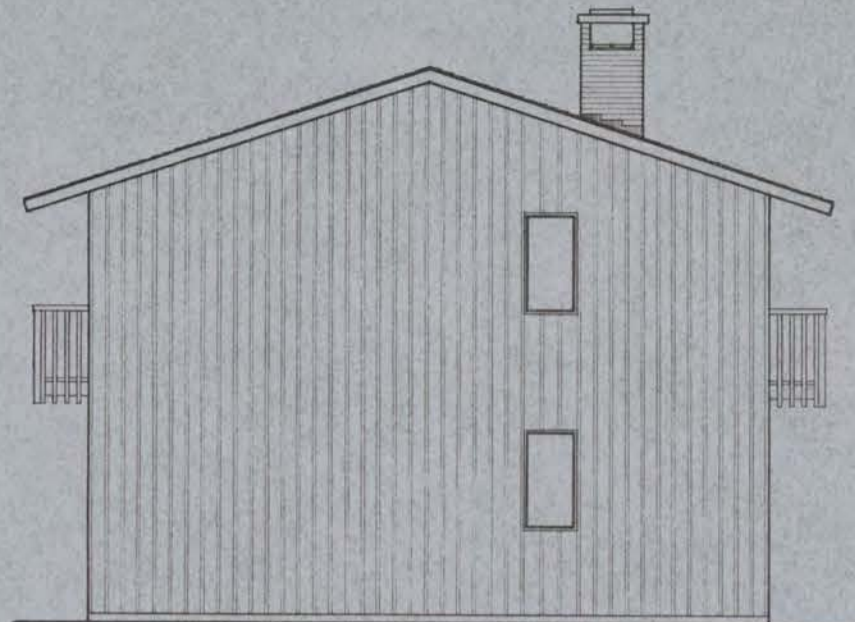
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynwood J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
II	EM	1	1 OF 2
IDENTIFICATION SYMBOL			2



END ELEVATION

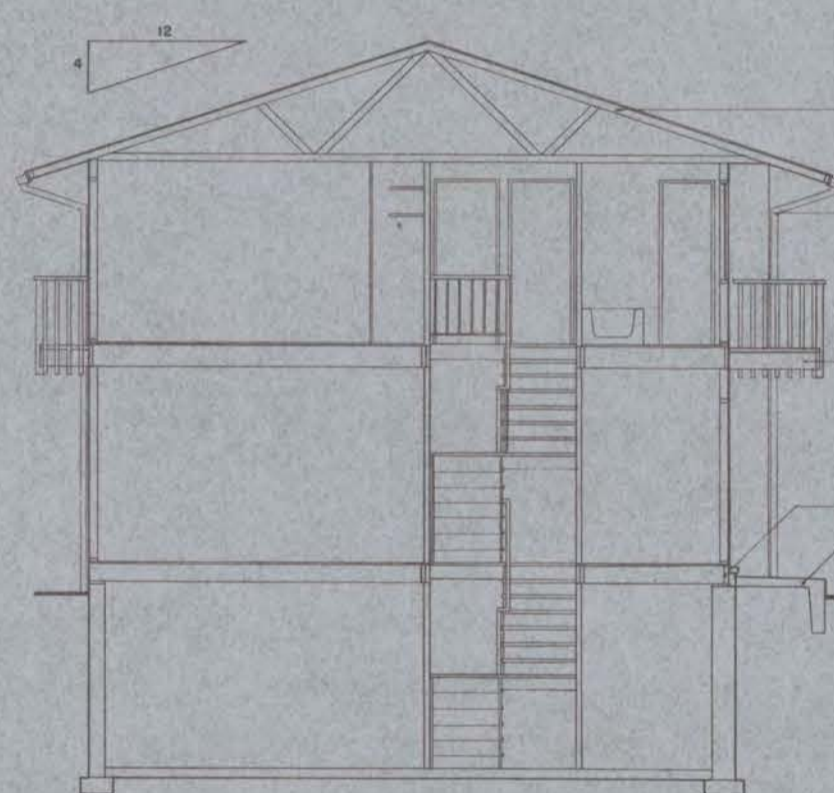


FRONT ELEVATION

- COMPOSITION SHINGLES
- SLIDING OR CASEMENT WINDOWS IN WOOD FRAMES
- BALCONY - ENTR. CANOPY
- WOOD SIDING, BOARD & BATTEN, SHINGLE, ETC.
- SLIDING DOOR
- PLYWOOD, FIBREBOARD, OR CEMENT ASBESTOS PANEL

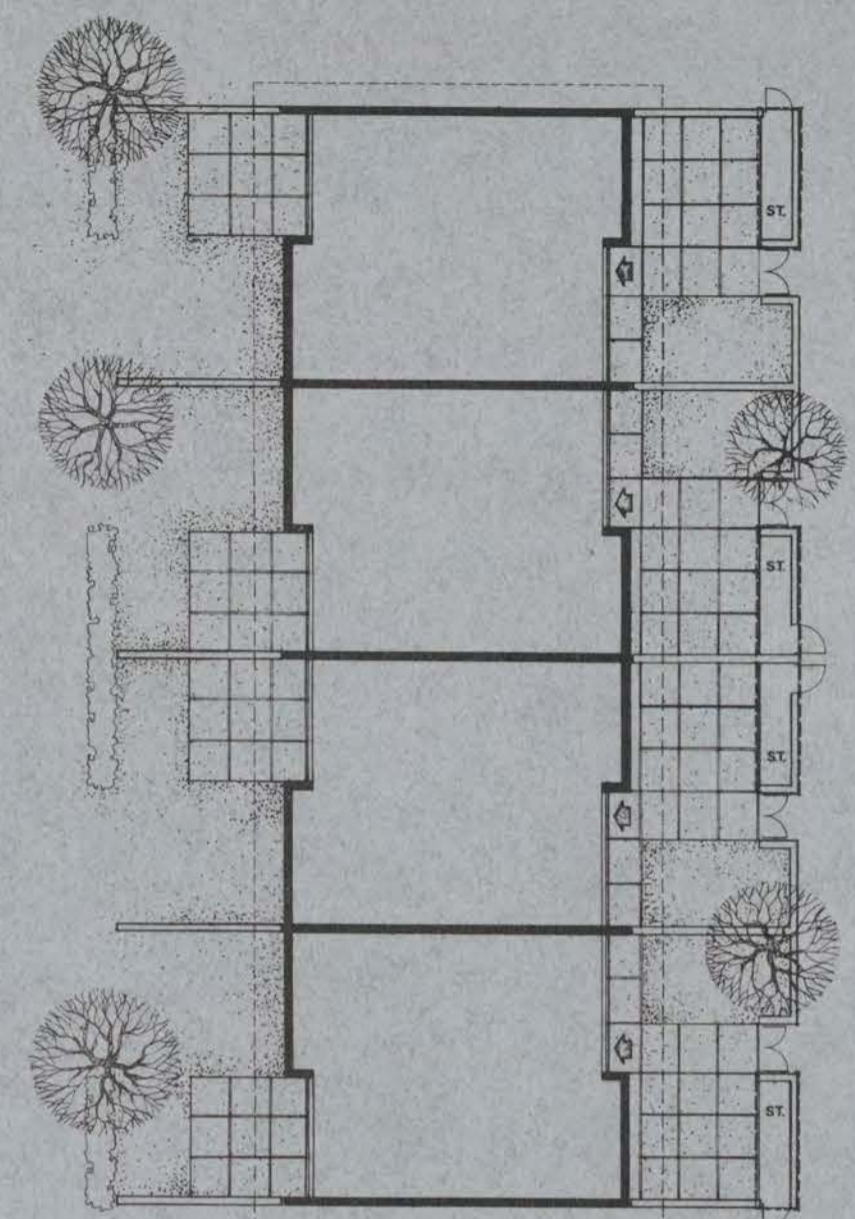


REAR ELEVATION

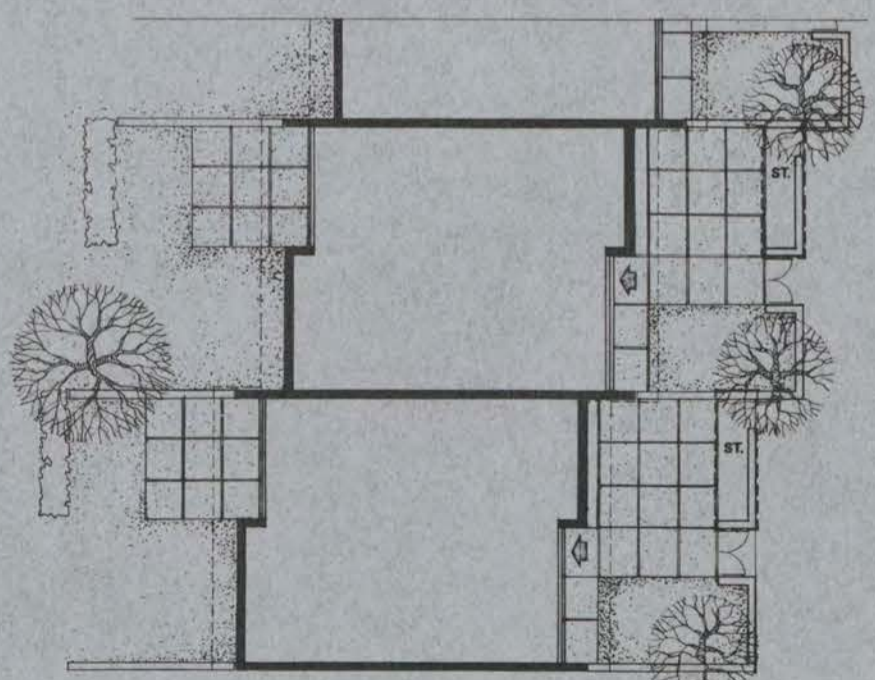
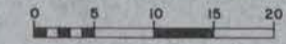


SECTION

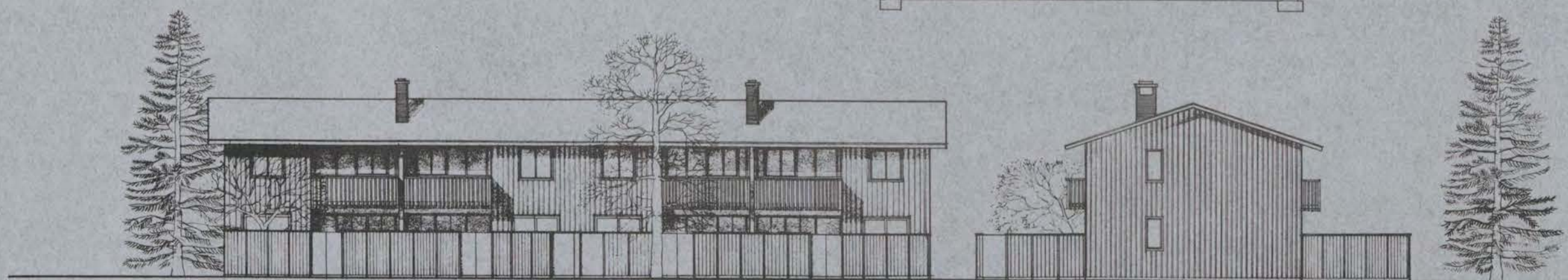
- WOOD TRUSS ROOF FRAMING
- GUTTERS & DOWNSPOUTS WHERE REQUIRED
- BALCONY - ENTR. CANOPY
- METAL FLASHING
- CONCRETE STOOP



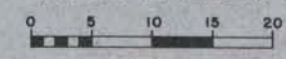
TYPICAL GROUP SITING PAIRED UNITS - IN LINE



TYPICAL GROUP SITING SINGLE UNITS - STAGGERED



TYPICAL ELEVATIONS



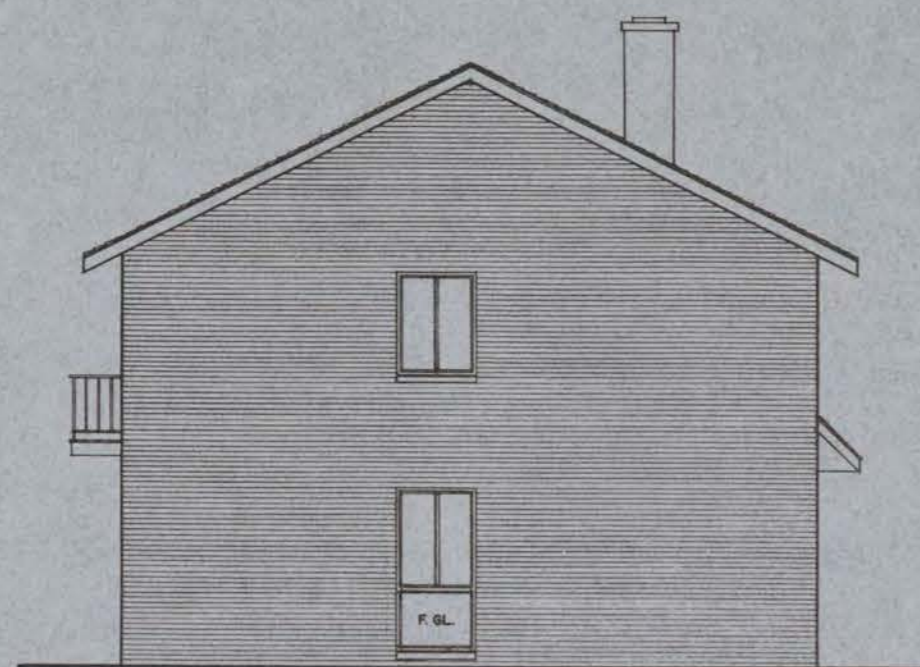
**DEPARTMENT OF DEFENSE - FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**ENLISTED MEN  
 3 BR. 2 STORY TOWNHOUSE  
 FLAT SITE**

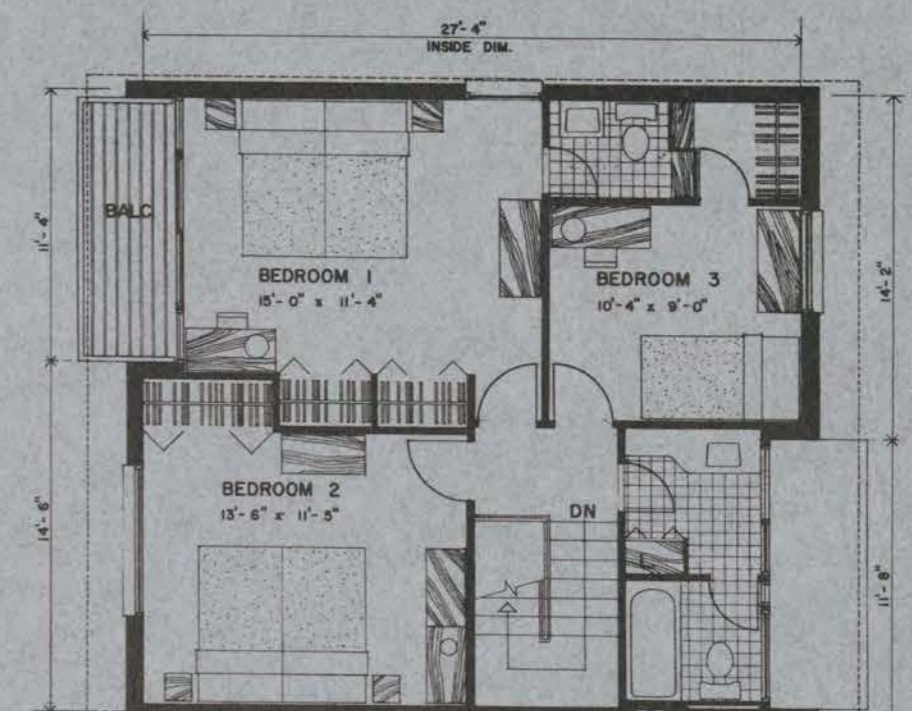
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
II	EM	1	2 OF 2
IDENTIFICATION SYMBOL			



END ELEVATION



FRONT ELEVATION

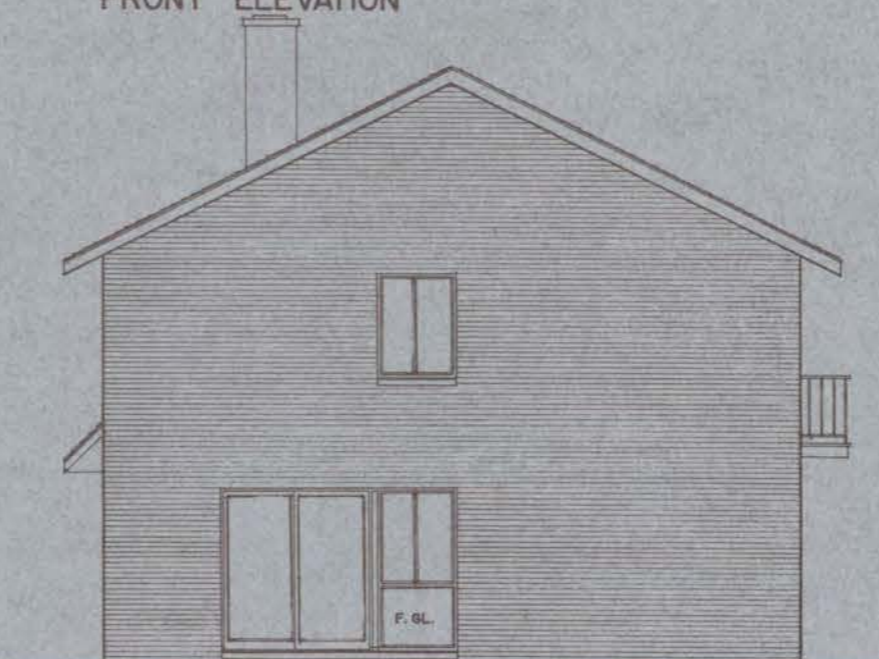


SECOND FLOOR PLAN

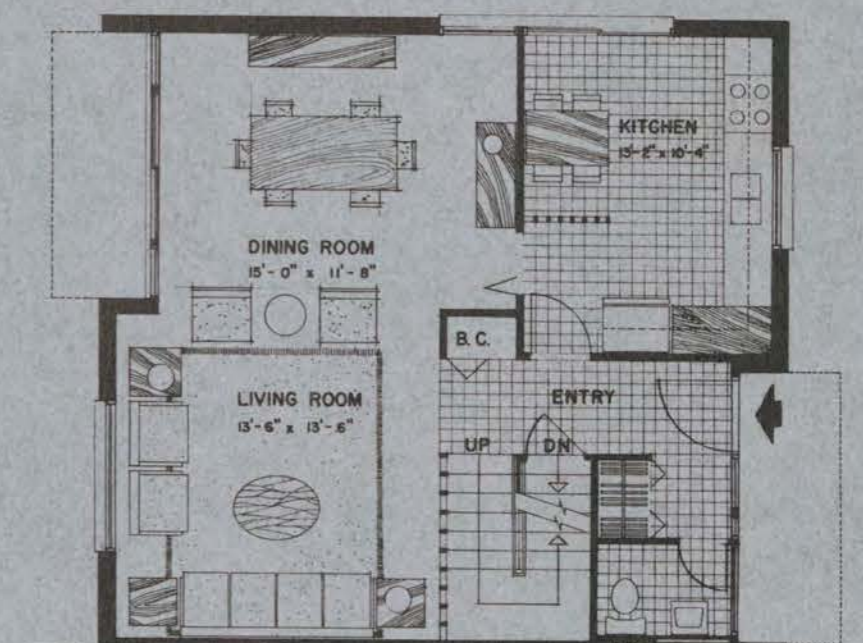


REAR ELEVATION

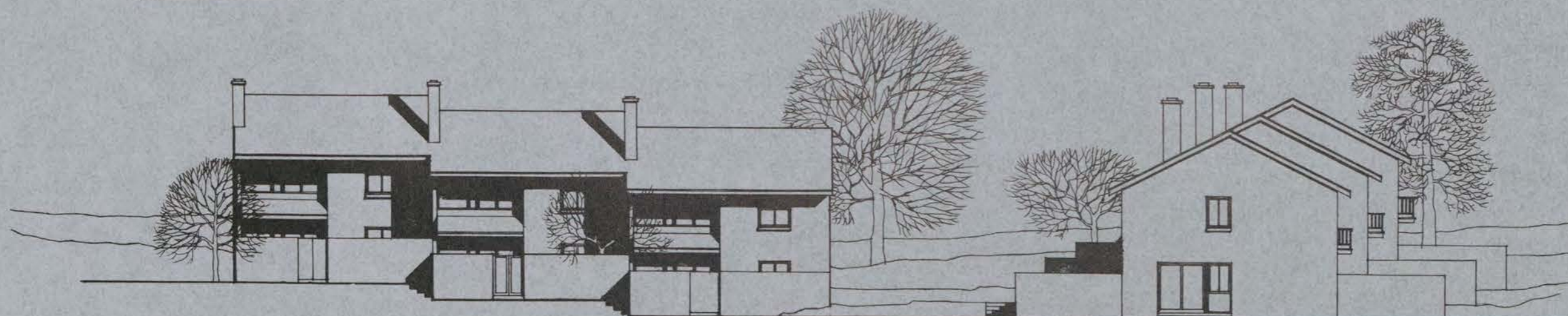
- BRICK OR BRICK VENEER
- BALCONY
- SLIDING OR CASEMENT WINDOWS IN WD. FRAMES
- BRICK, STONE, OR CAST STONE SILL



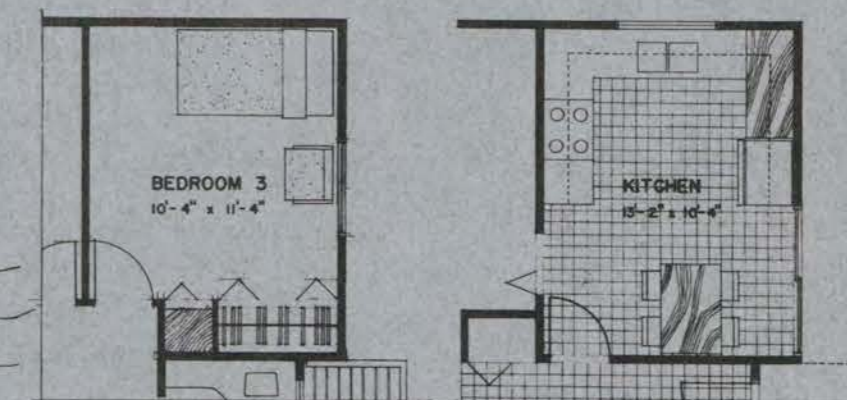
END ELEVATION



FIRST FLOOR PLAN



TYPICAL ELEVATIONS



ALTERNATE BEDROOM

ALTERNATE KITCHEN

GROSS AREA 1385 SQ. FT.

NET AREA 1204 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

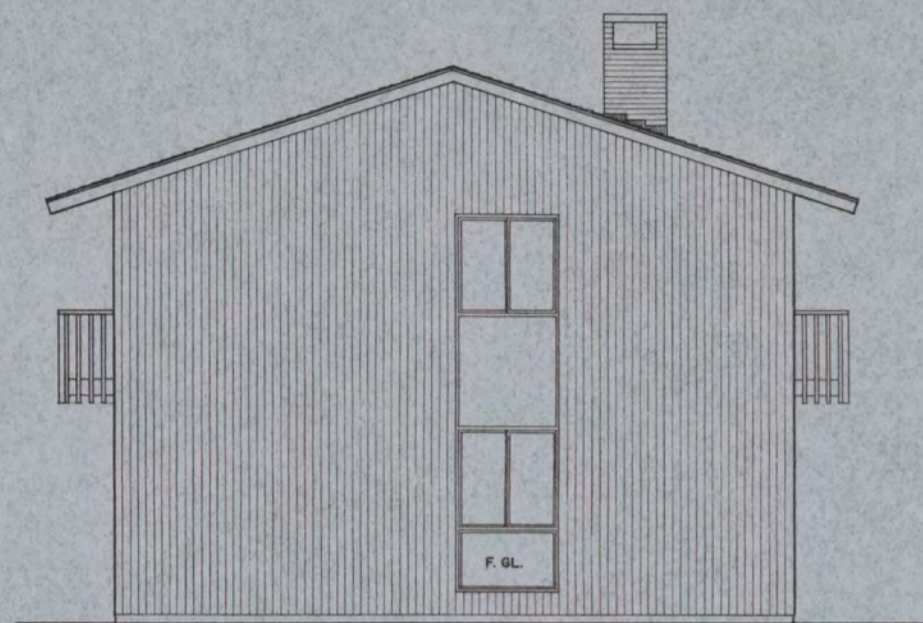
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Barber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 2 STORY TOWNHOUSE  
 FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 CGO 1 1**  
 IDENTIFICATION SYMBOL **OF 2**



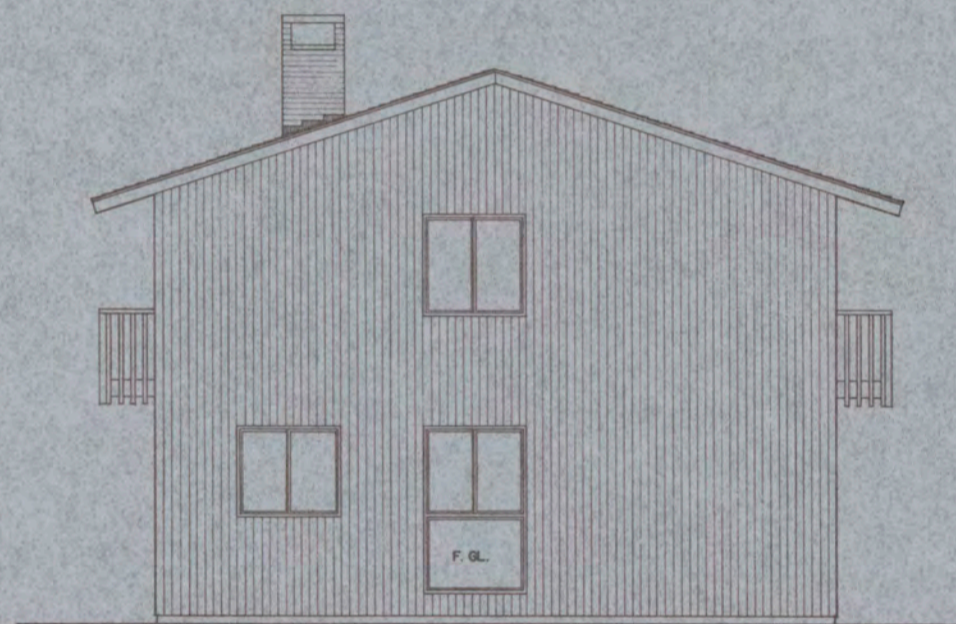
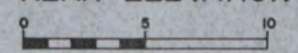
END ELEVATION



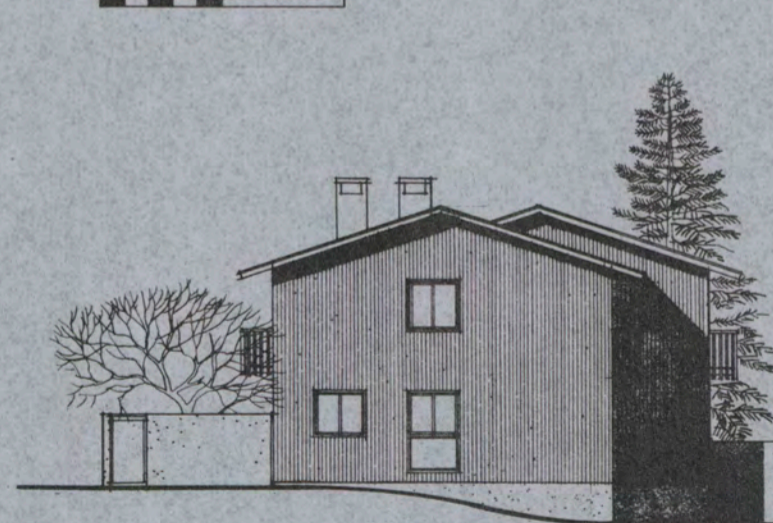
FRONT ELEVATION



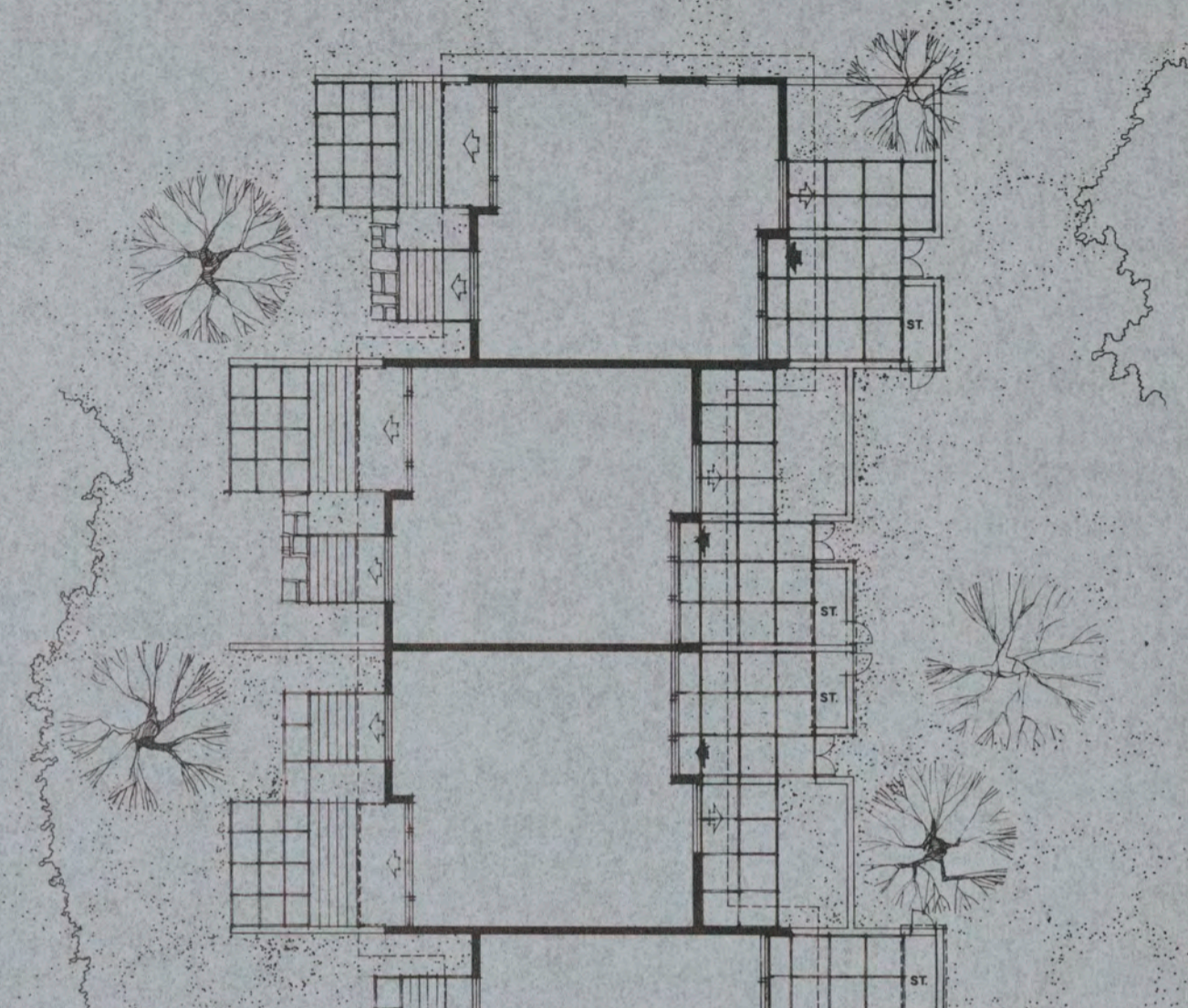
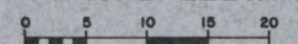
REAR ELEVATION



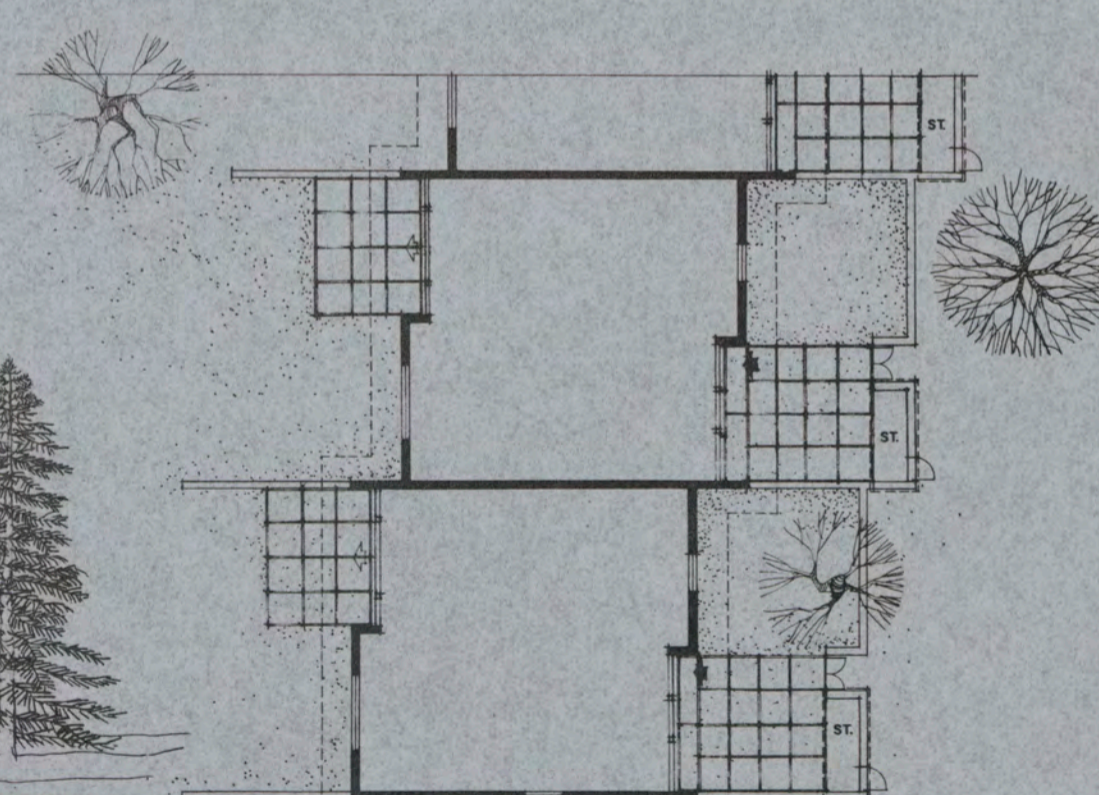
END ELEVATION



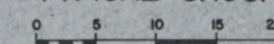
TYPICAL ELEVATIONS



TYPICAL GROUP SITING PAIRED UNITS WITH STAGGERED SINGLE UNITS AT EACH END



TYPICAL GROUP SITING SINGLE UNITS STAGGERED



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

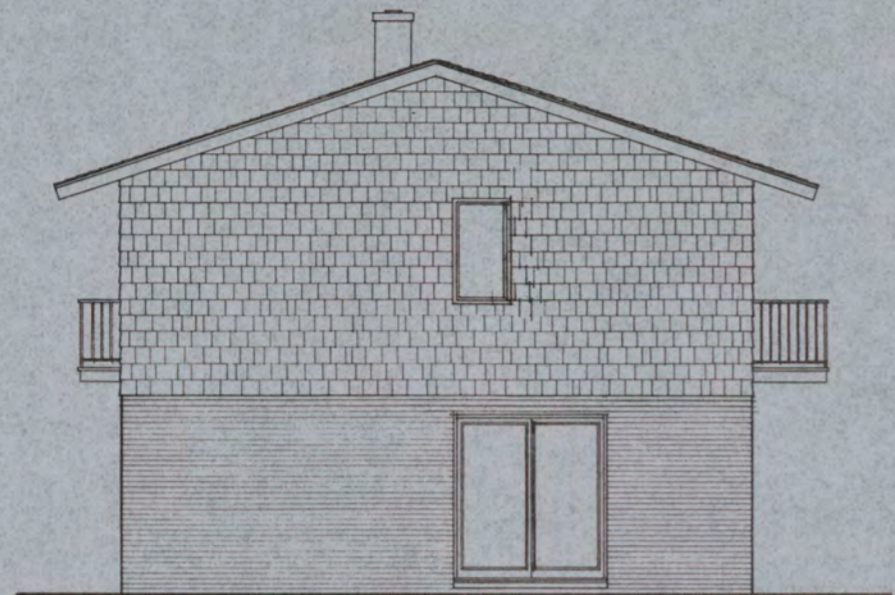
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Halen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

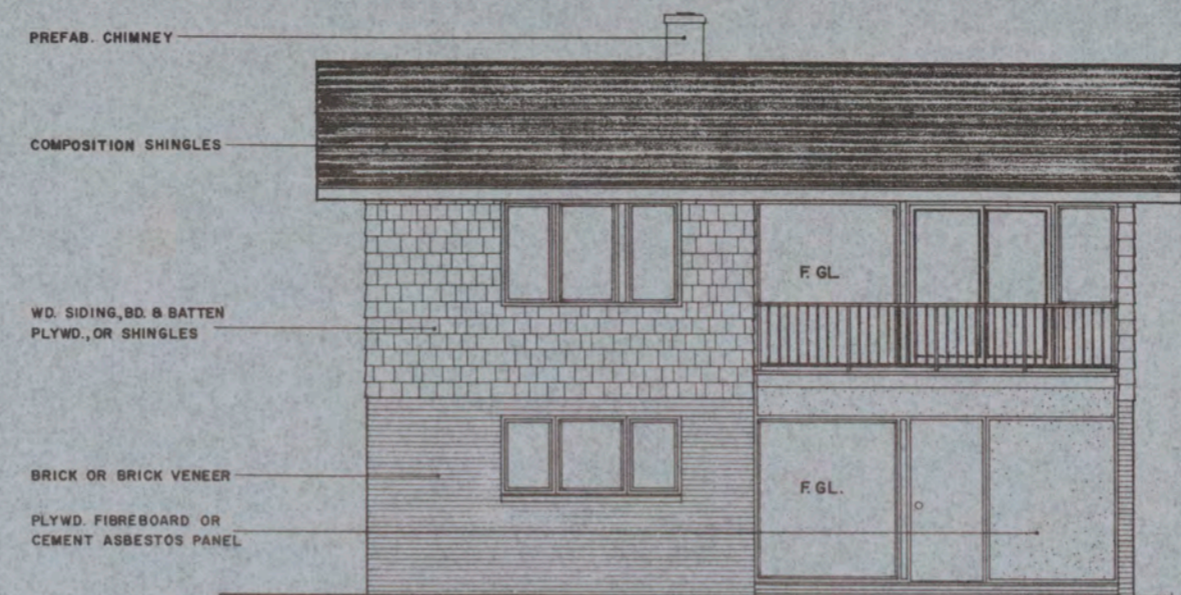
ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 2 STORY TOWNHOUSE  
 FLAT SITE**

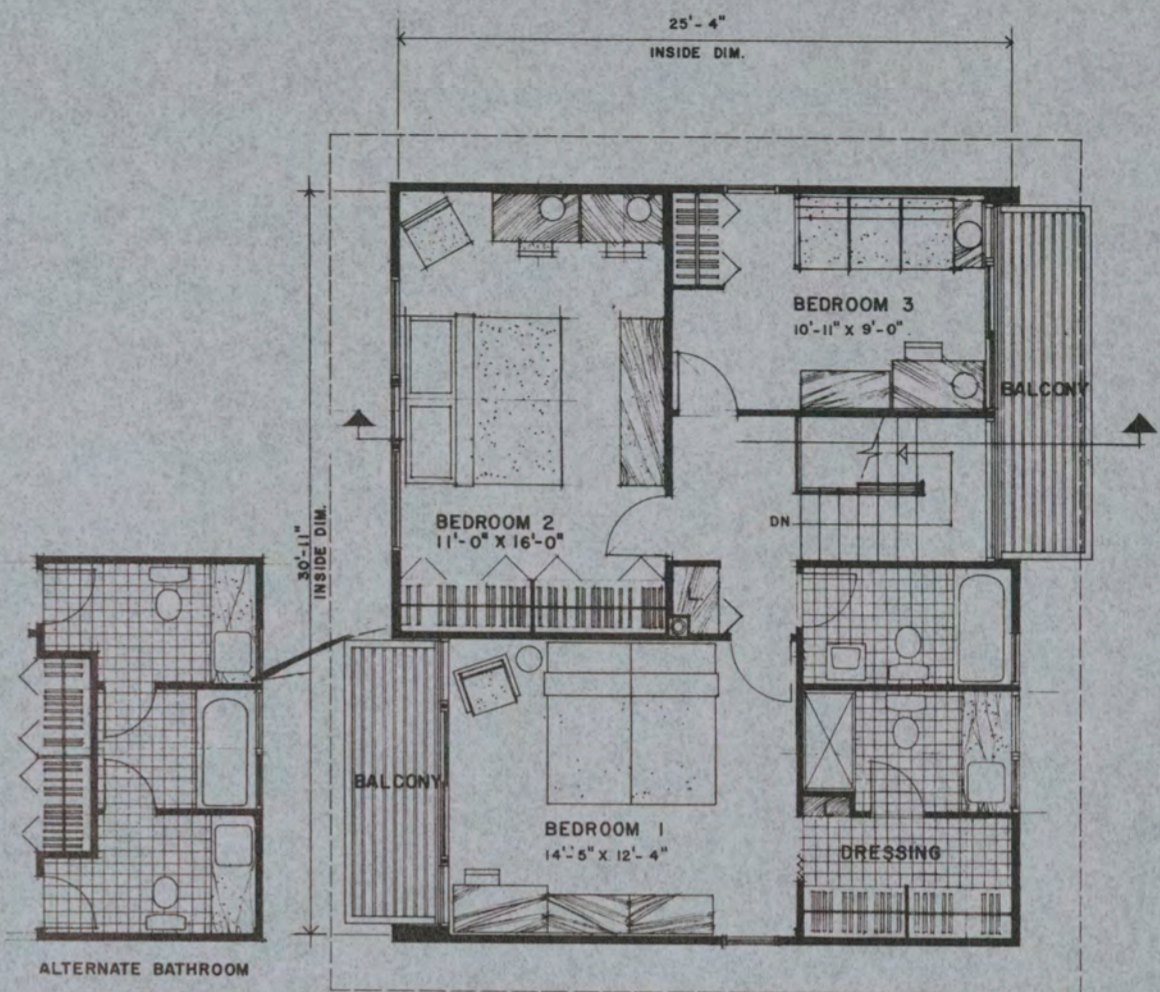
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
11	CGO	1	2
IDENTIFICATION SYMBOL			OF 2



END ELEVATION



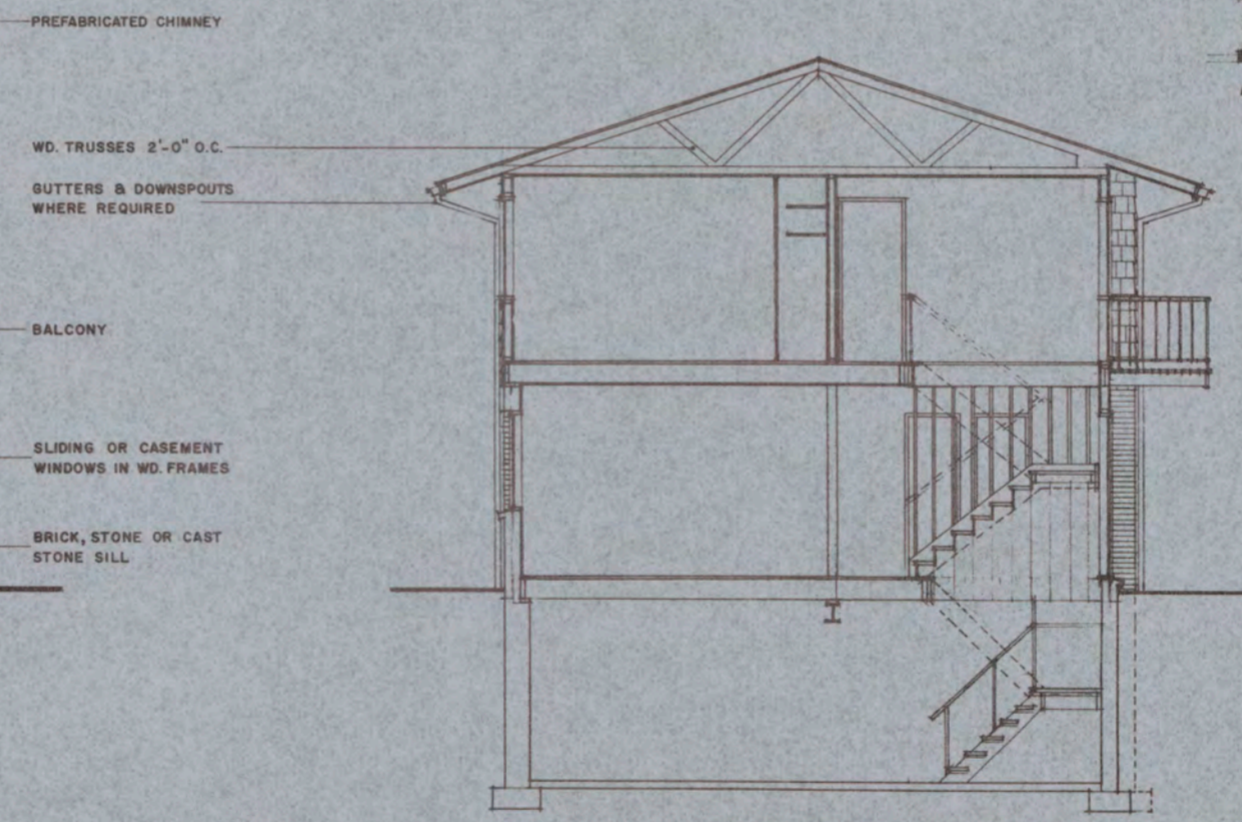
FRONT ELEVATION



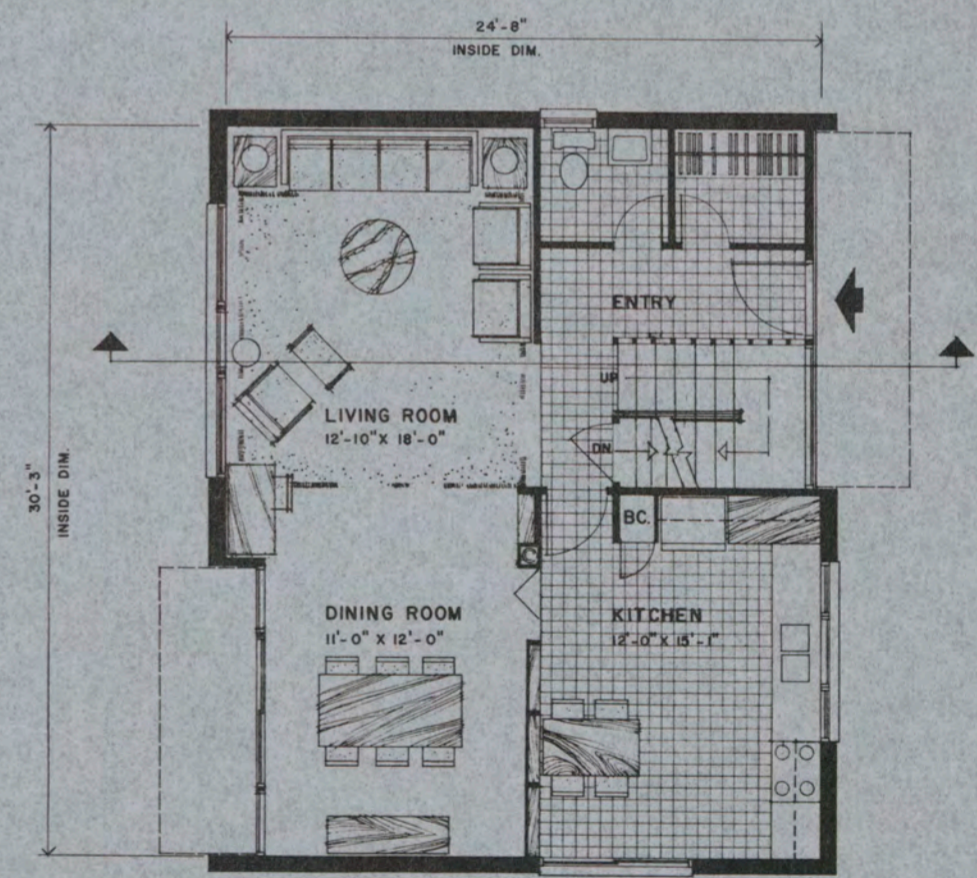
UPPER FLOOR PLAN



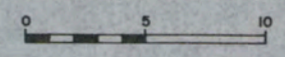
REAR ELEVATION



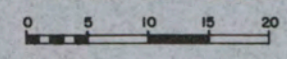
SECTION



LOWER FLOOR PLAN



TYPICAL ELEVATIONS



GROSS AREA 1565 SQ.FT.  
NET AREA 1354 SQ.FT.

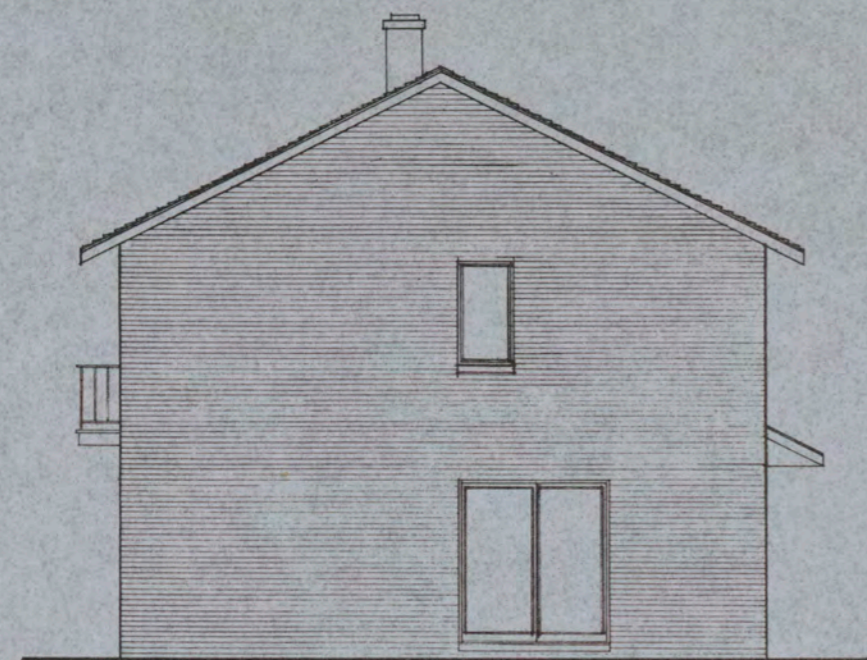
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY DUPLEX OR SINGLE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**II FGO 1**  
IDENTIFICATION SYMBOL **1 OF 2**



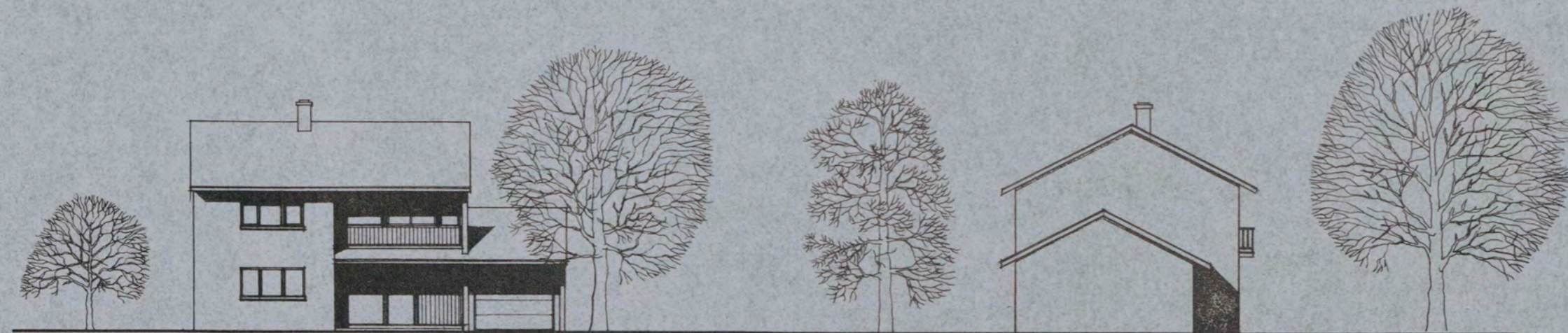
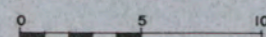
END ELEVATION



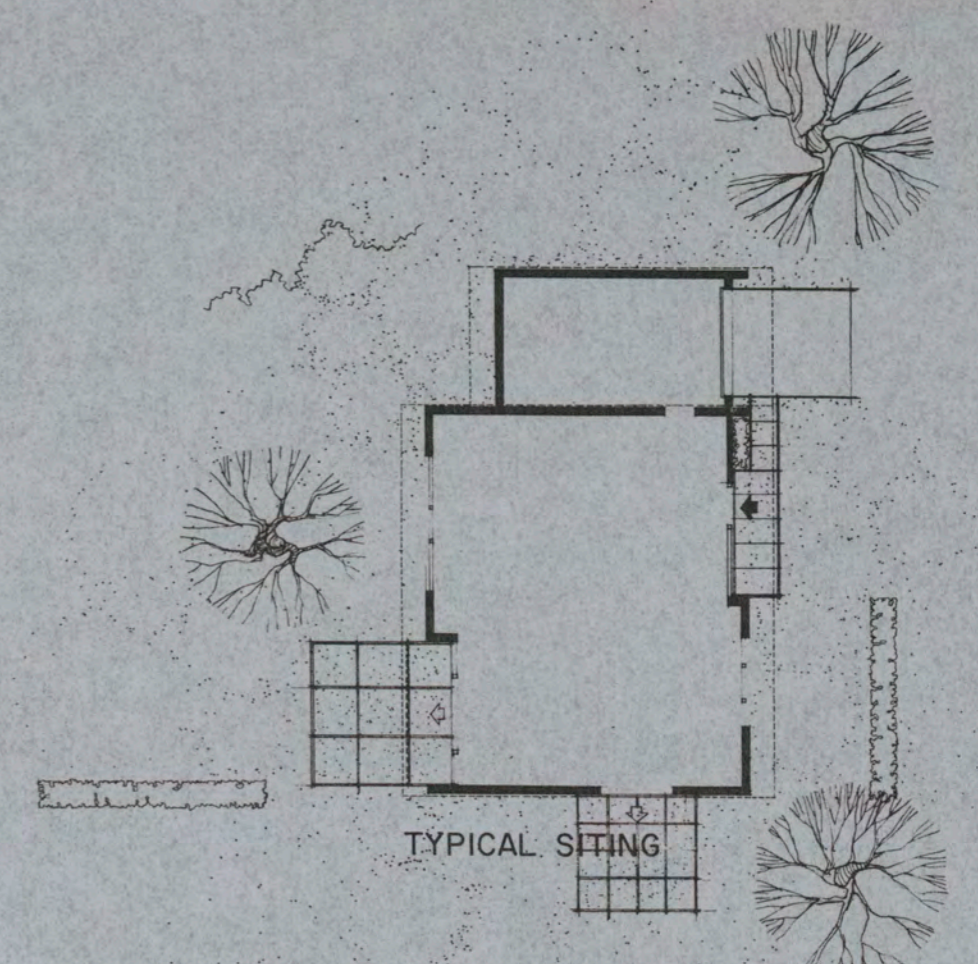
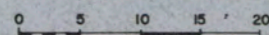
FRONT ELEVATION



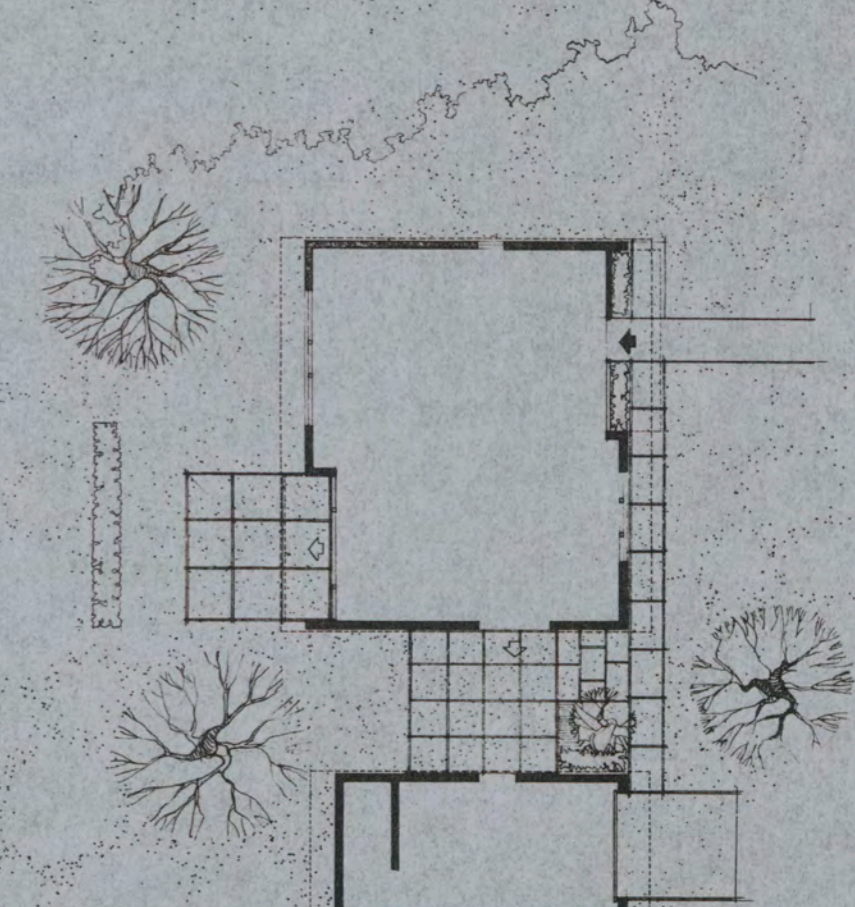
REAR ELEVATION



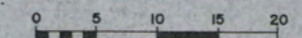
TYPICAL ELEVATIONS



TYPICAL SITING



TYPICAL SITING



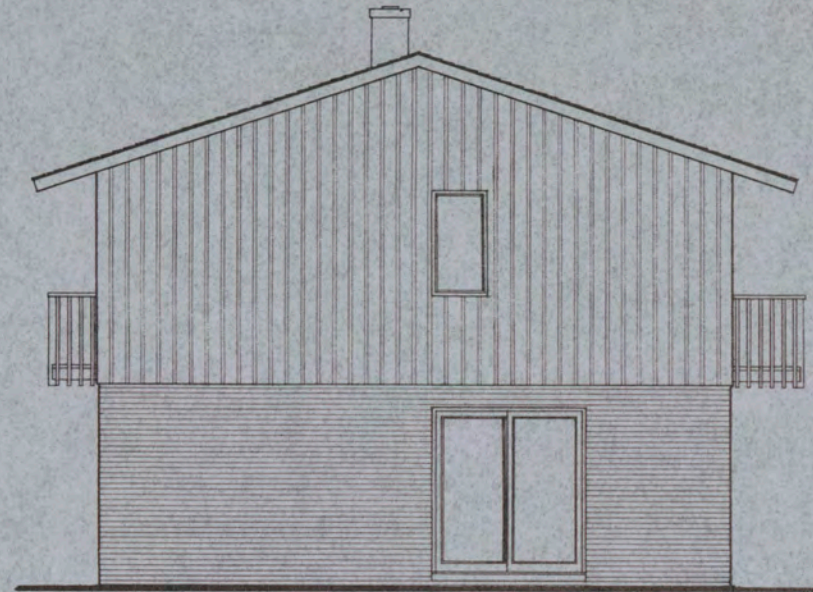
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

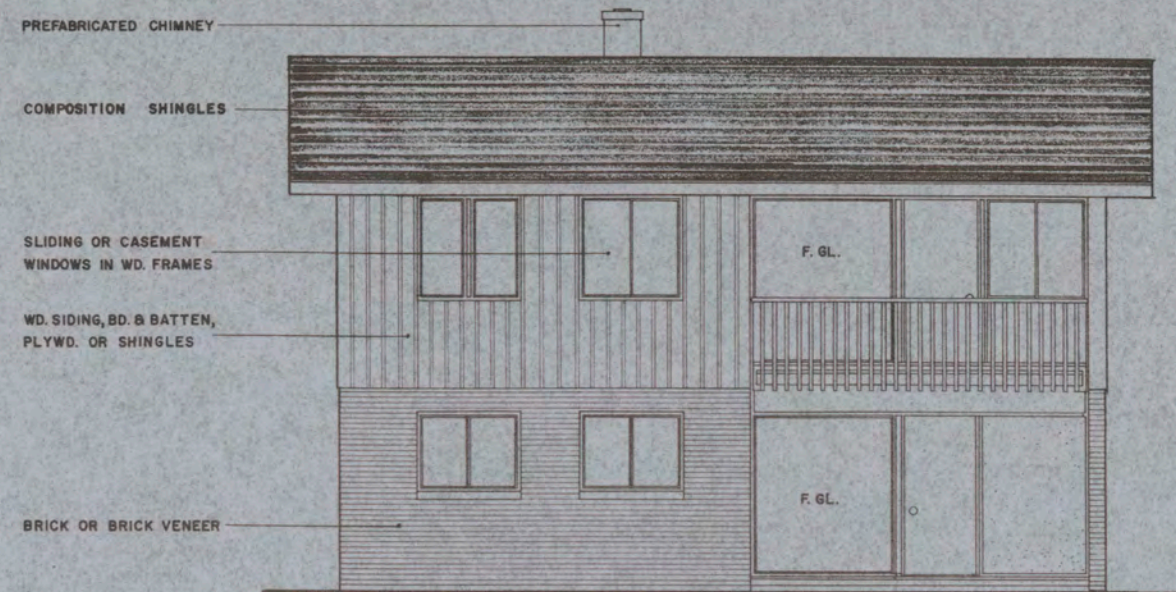
ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
 3 BR. 2 STORY DUPLEX OR SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
11	FGO	1	2 OF 2
IDENTIFICATION SYMBOL			



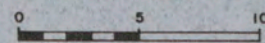
END ELEVATION



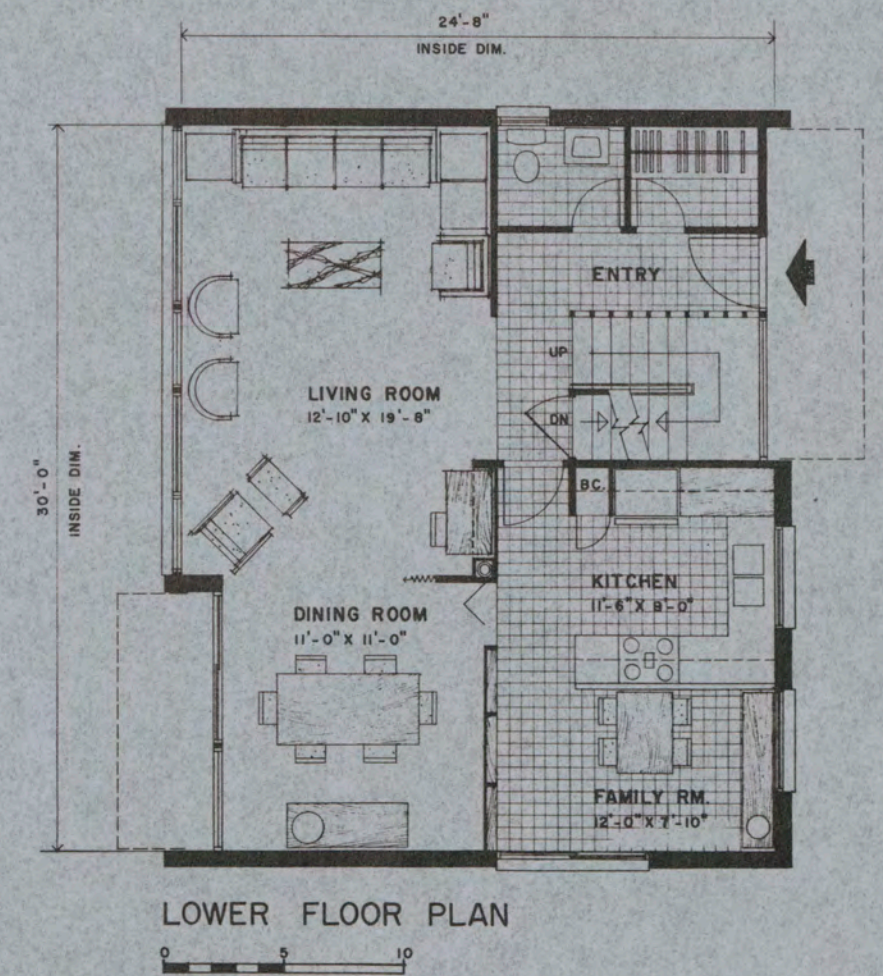
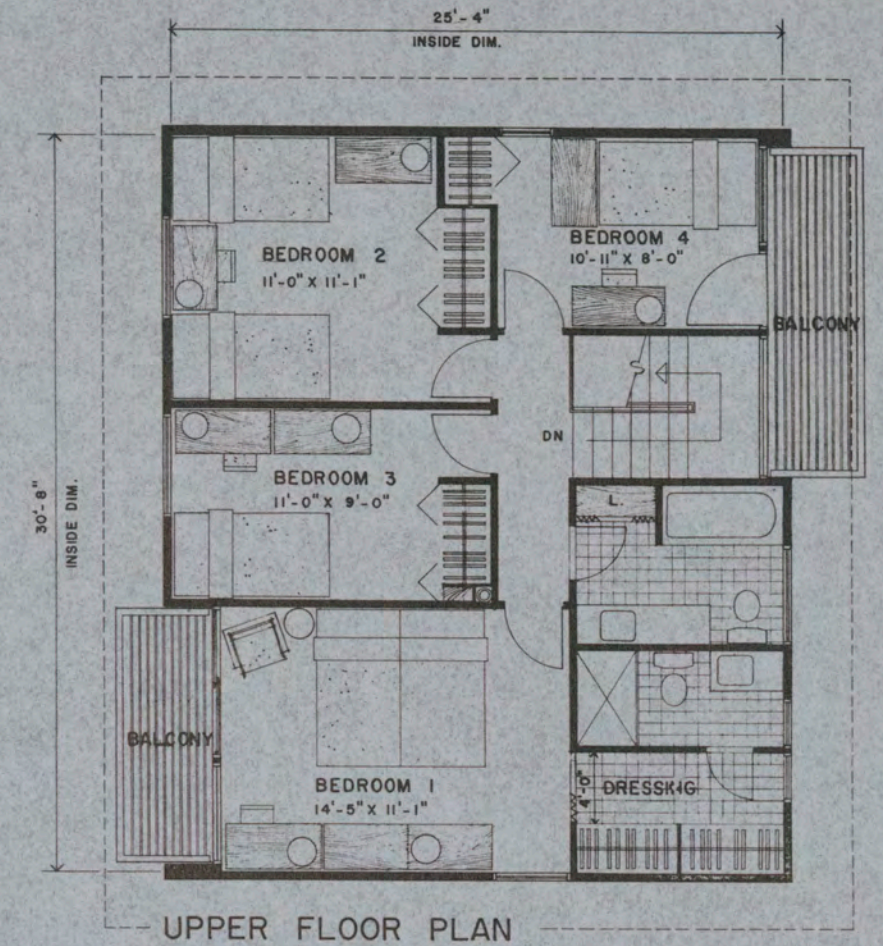
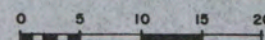
FRONT ELEVATION



REAR ELEVATION



TYPICAL ELEVATIONS



GROSS AREA 1555 SQ.FT.

NET AREA 1354 SQ.FT.

# DEPARTMENT OF DEFENSE — FAMILY HOUSING

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

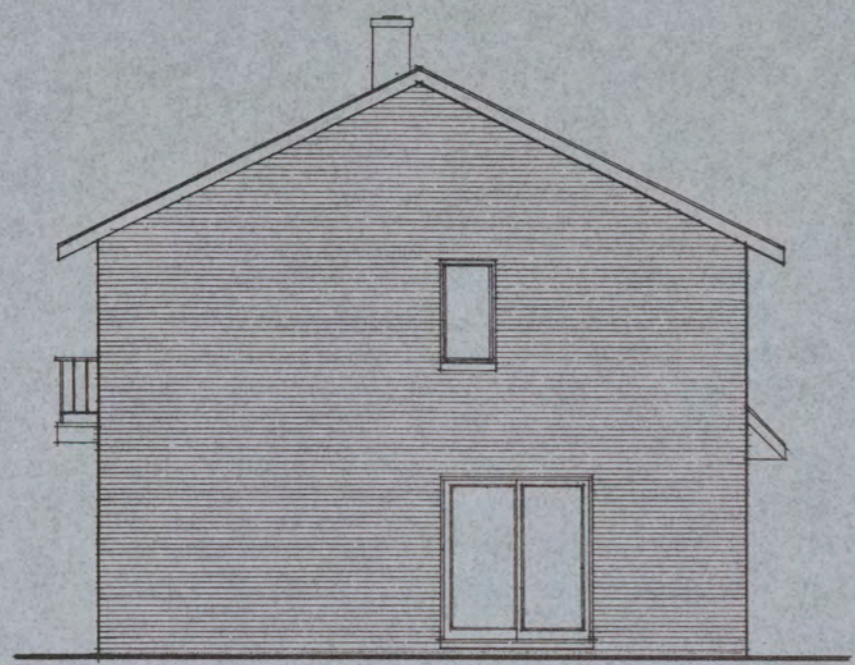
APPROVAL  
*Lynwood J. Barber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

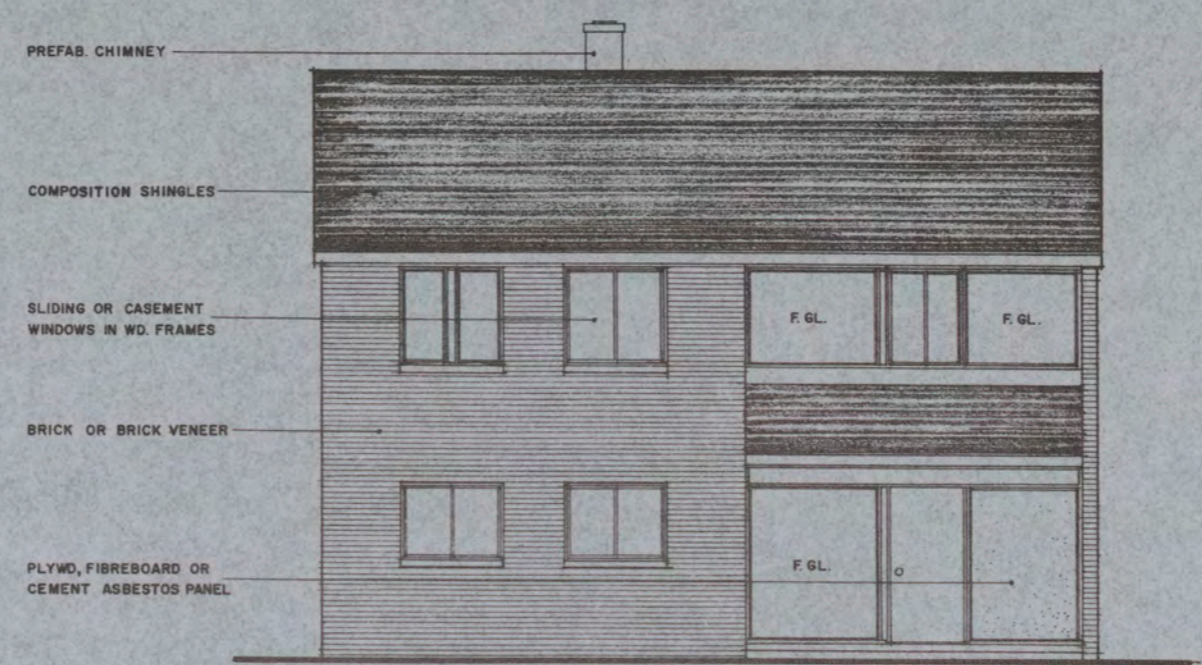
DESCRIPTION  
**FIELD GRADE OFFICERS  
 4 BR. 2 STORY DUPLEX OR SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
II	FGO	2	1 OF 2

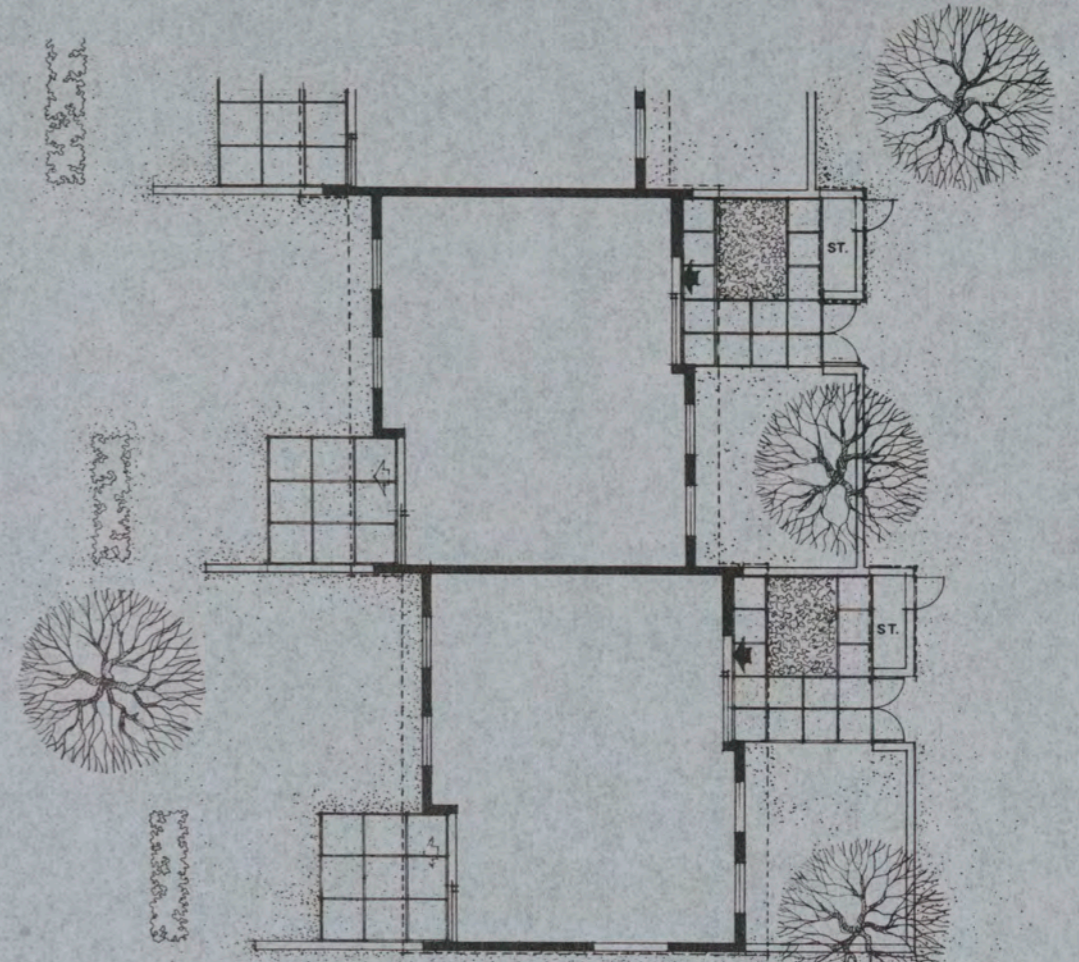
IDENTIFICATION SYMBOL



END ELEVATION



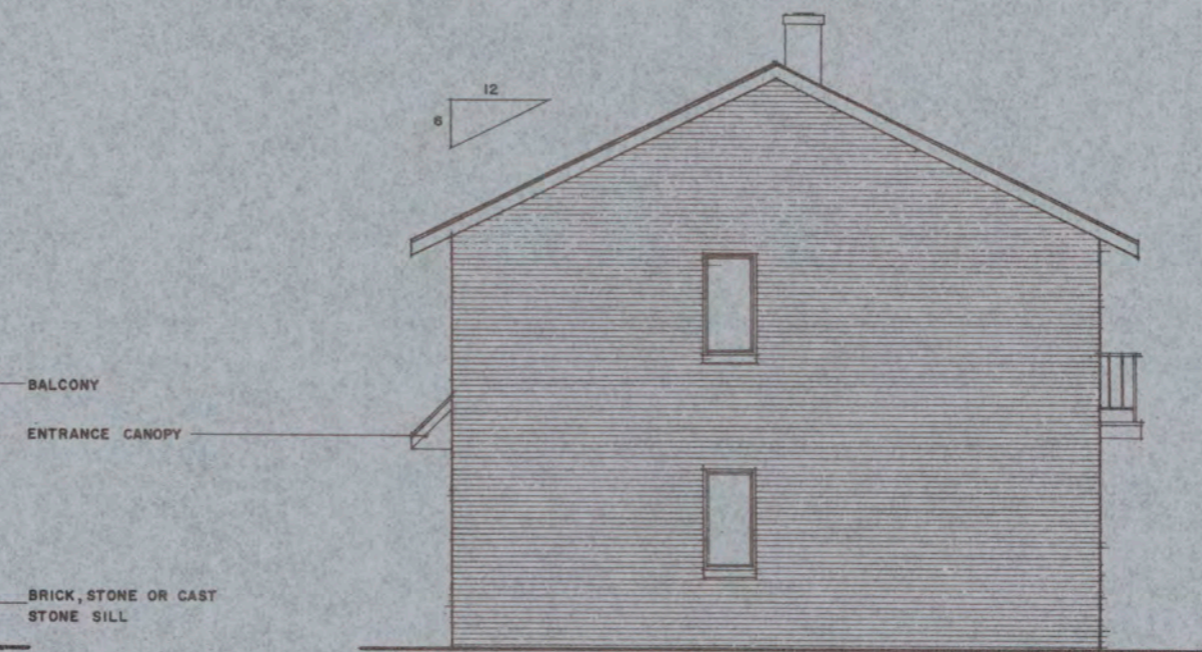
FRONT ELEVATION



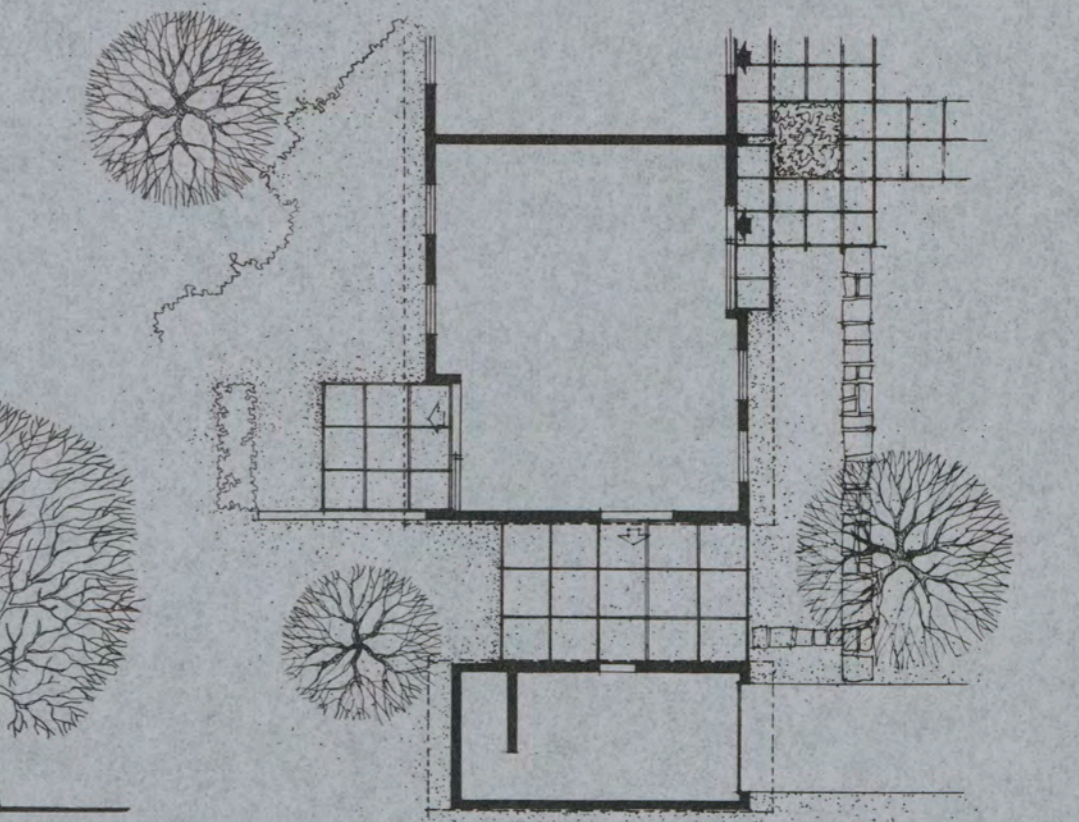
TYPICAL GROUP SITING SINGLE UNITS STAGGERED



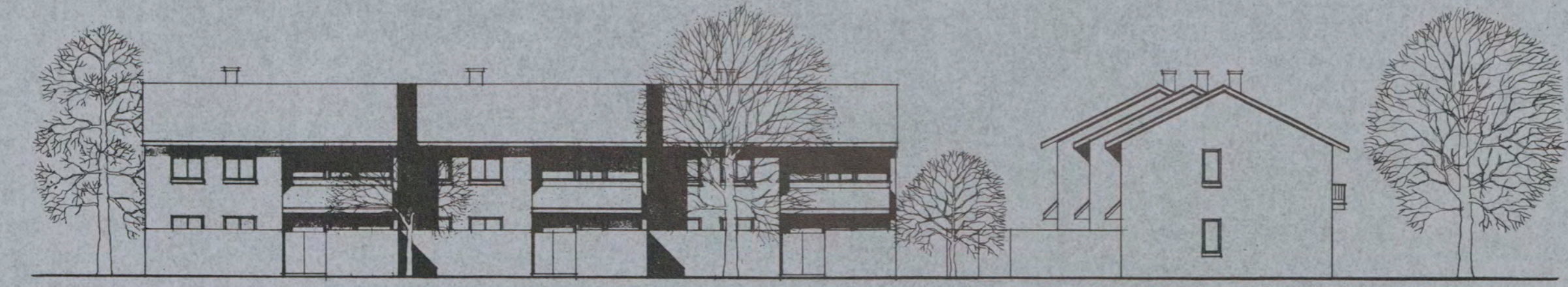
REAR ELEVATION



END ELEVATION



TYPICAL GROUP SITING PAIRED UNITS



TYPICAL ELEVATIONS

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**APPROVAL**  
*Sigmund J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

**ARCHITECTS**  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

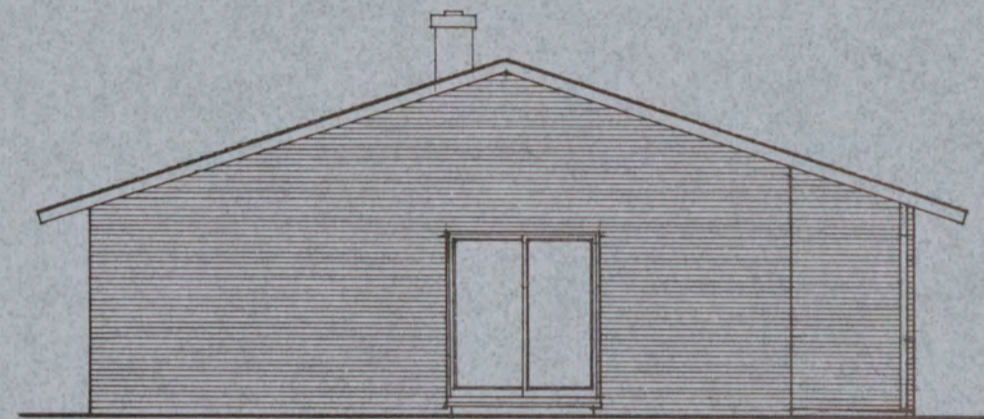
**DESCRIPTION**  
 FIELD GRADE OFFICERS  
 4 BR. 2 STORY DUPLEX OR SINGLE

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
 II FGO 2 2  
 IDENTIFICATION SYMBOL OF 2

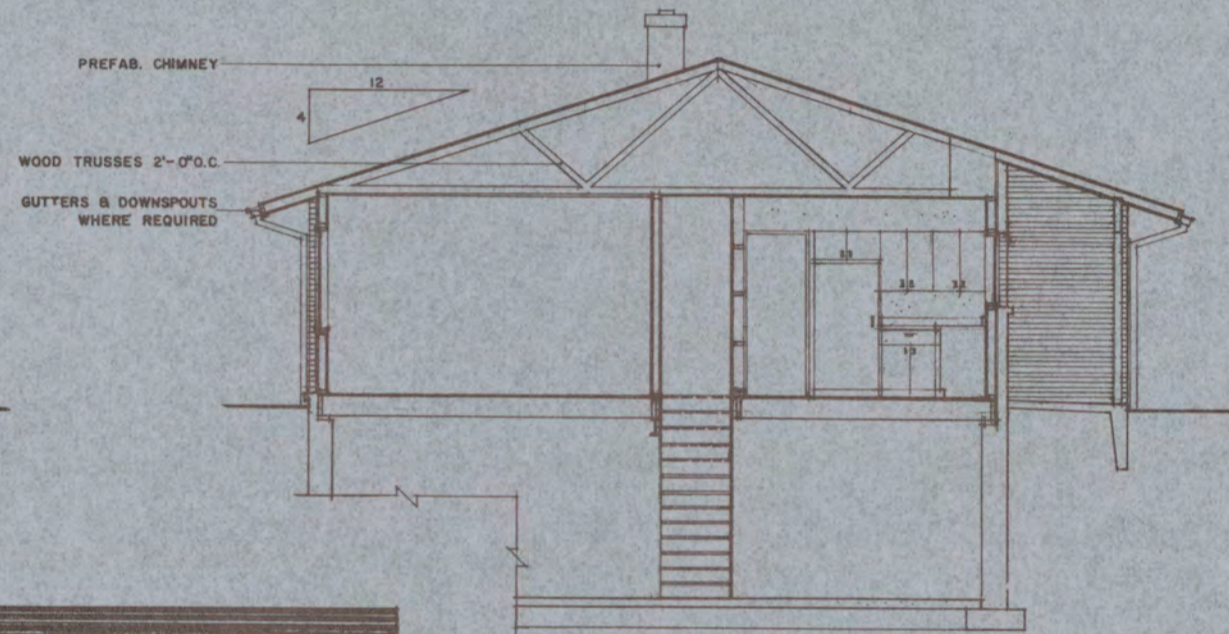




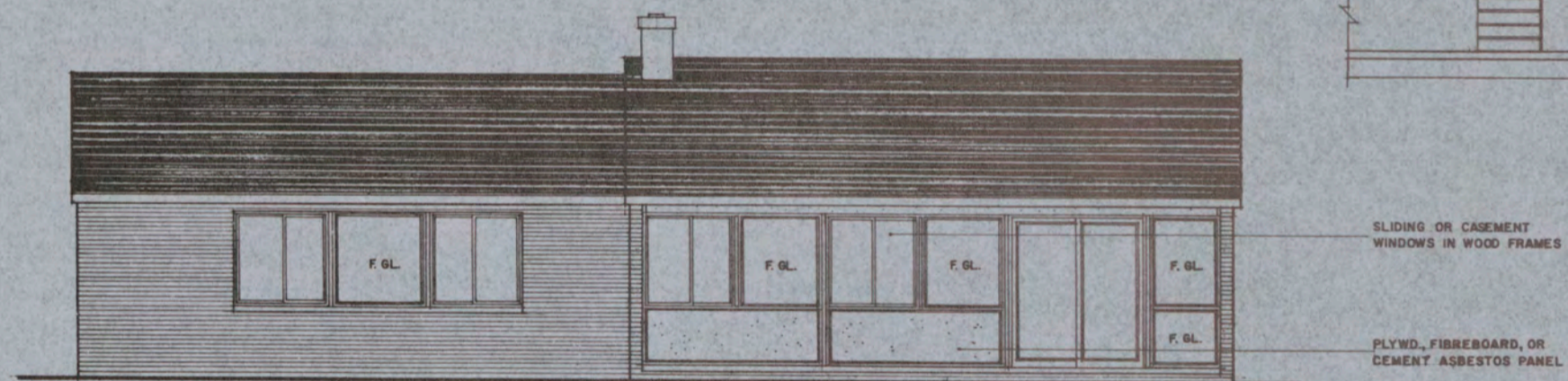
FRONT ELEVATION



END ELEVATION



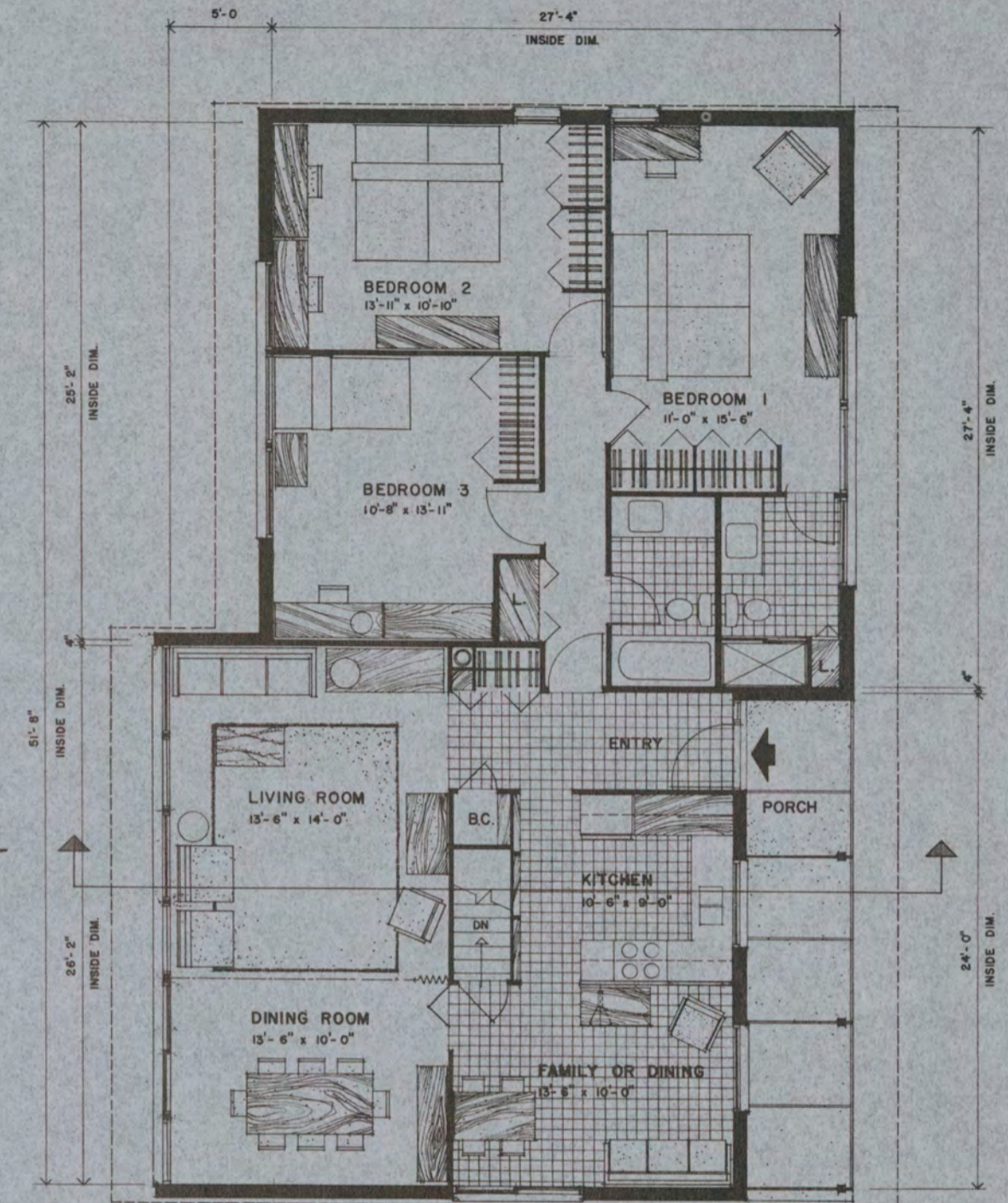
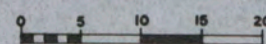
SECTION



REAR ELEVATION



TYPICAL ELEVATIONS



FLOOR PLAN



GROSS AREA 1478 SQ. FT.

NET AREA 1400 SQ. FT.

# DEPARTMENT OF DEFENSE — FAMILY HOUSING

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Galt*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

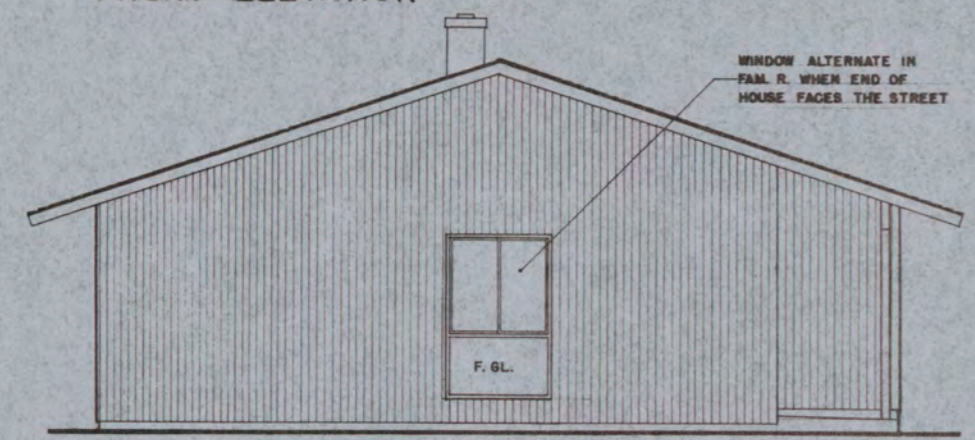
DESCRIPTION  
**FIELD GRADE OFFICERS  
 3 BR. 1 STORY DUPLEX OR SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
II	FGO	3	1 OF 2

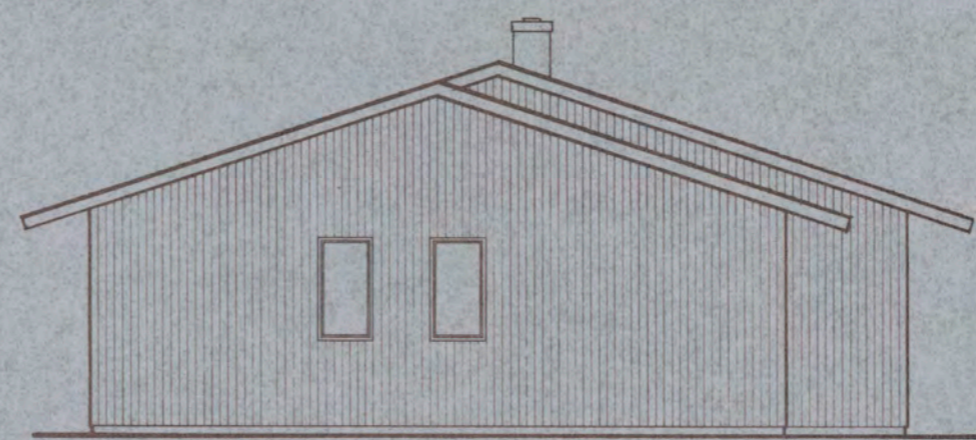
IDENTIFICATION SYMBOL



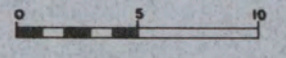
FRONT ELEVATION



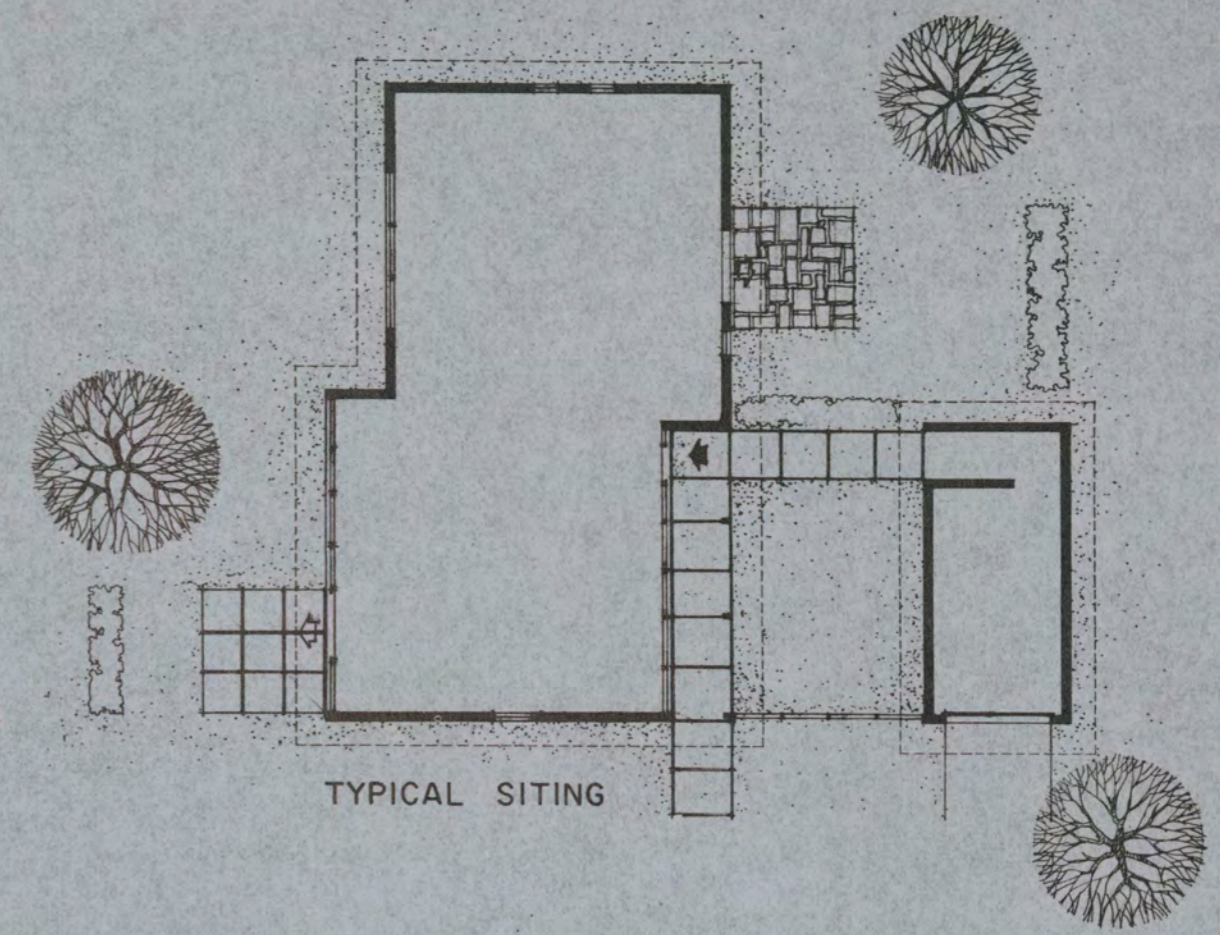
END ELEVATIONS



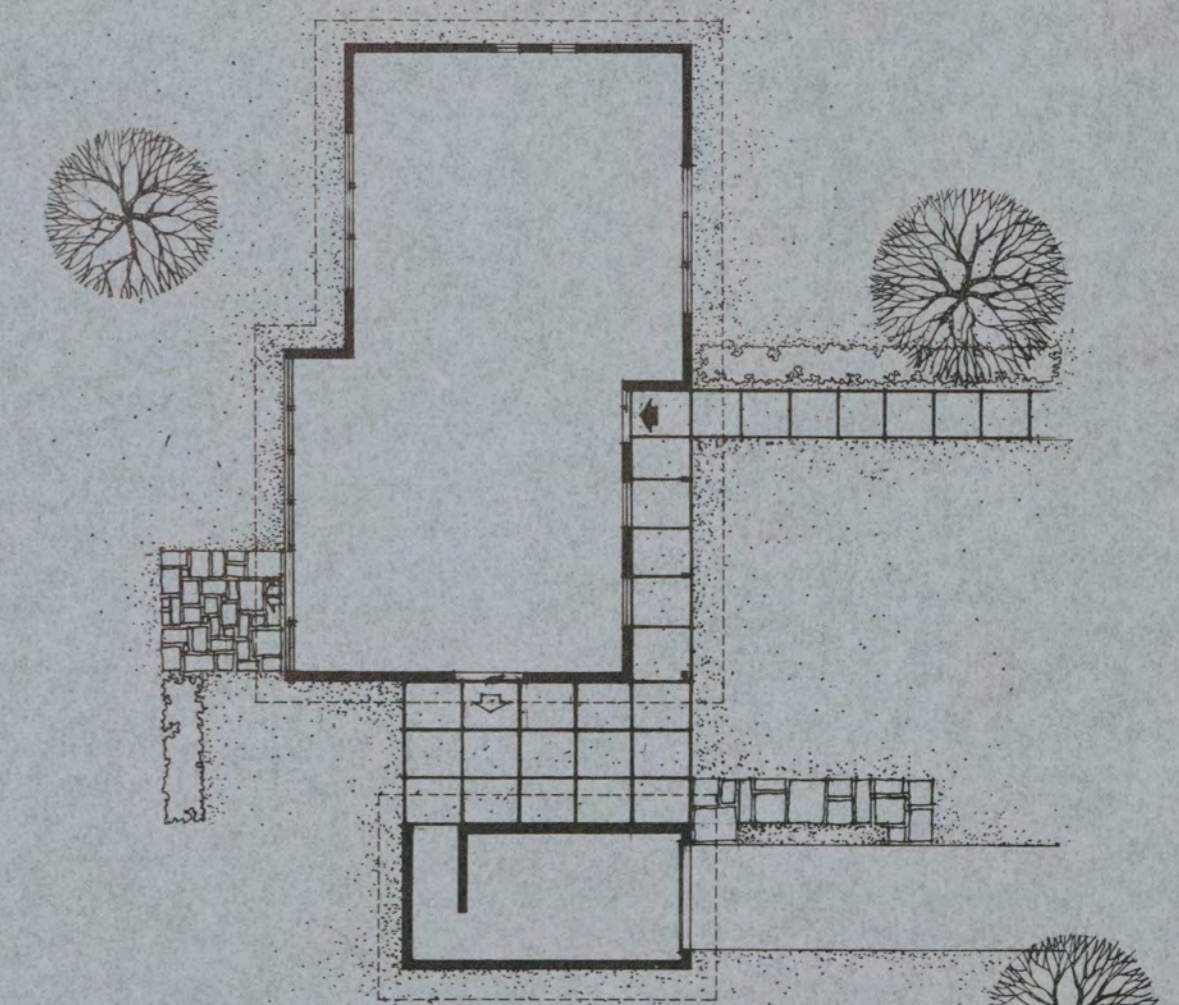
REAR ELEVATION



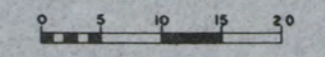
TYPICAL ELEVATIONS



TYPICAL SITING



TYPICAL SITING



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
 3 BR. 1 STORY DUPLEX OR SINGLE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE  
**II FGO 3**  
 IDENTIFICATION SYMBOL **2 OF 2**



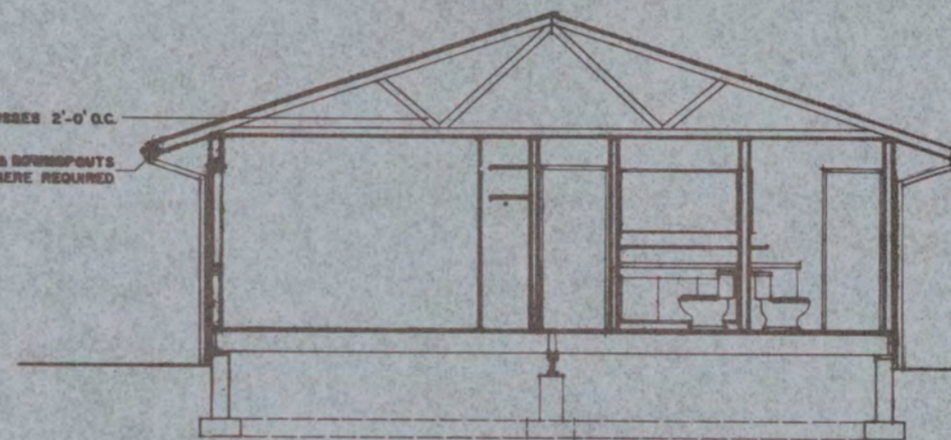
FRONT ELEVATION

PREFABRICATED GUMMEY  
COMPOSITION SHINGLES  
WOOD SIDING, BOARD & BATTEN, OR SHINGLES

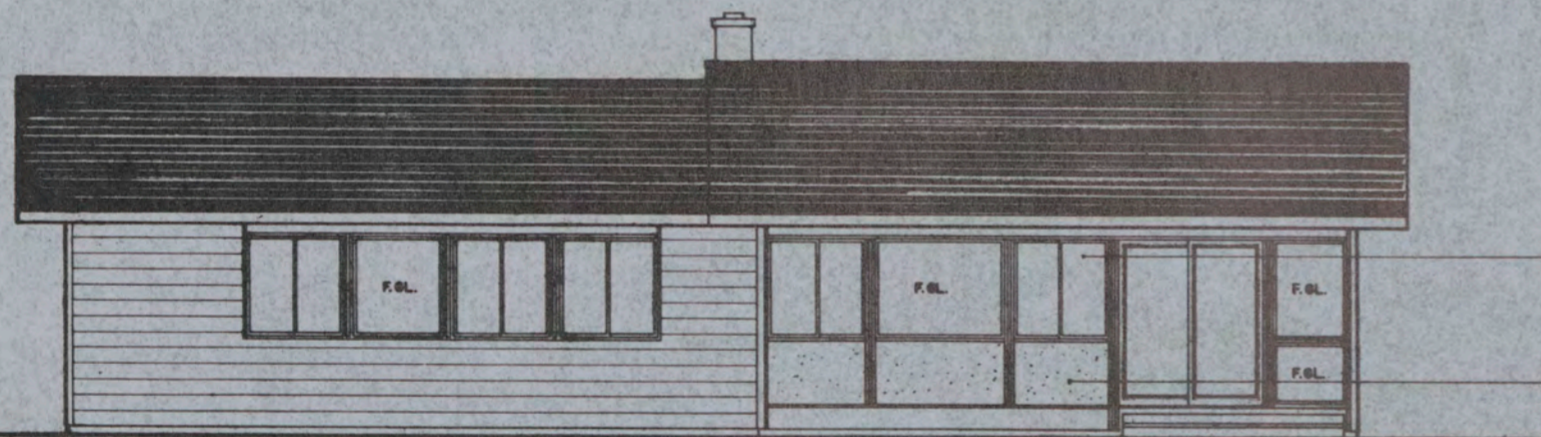


END ELEVATION

WOOD TRUSSES 2'-0" O.C.  
GUTTERS & DOWNSPOUTS WHERE REQUIRED



SECTION

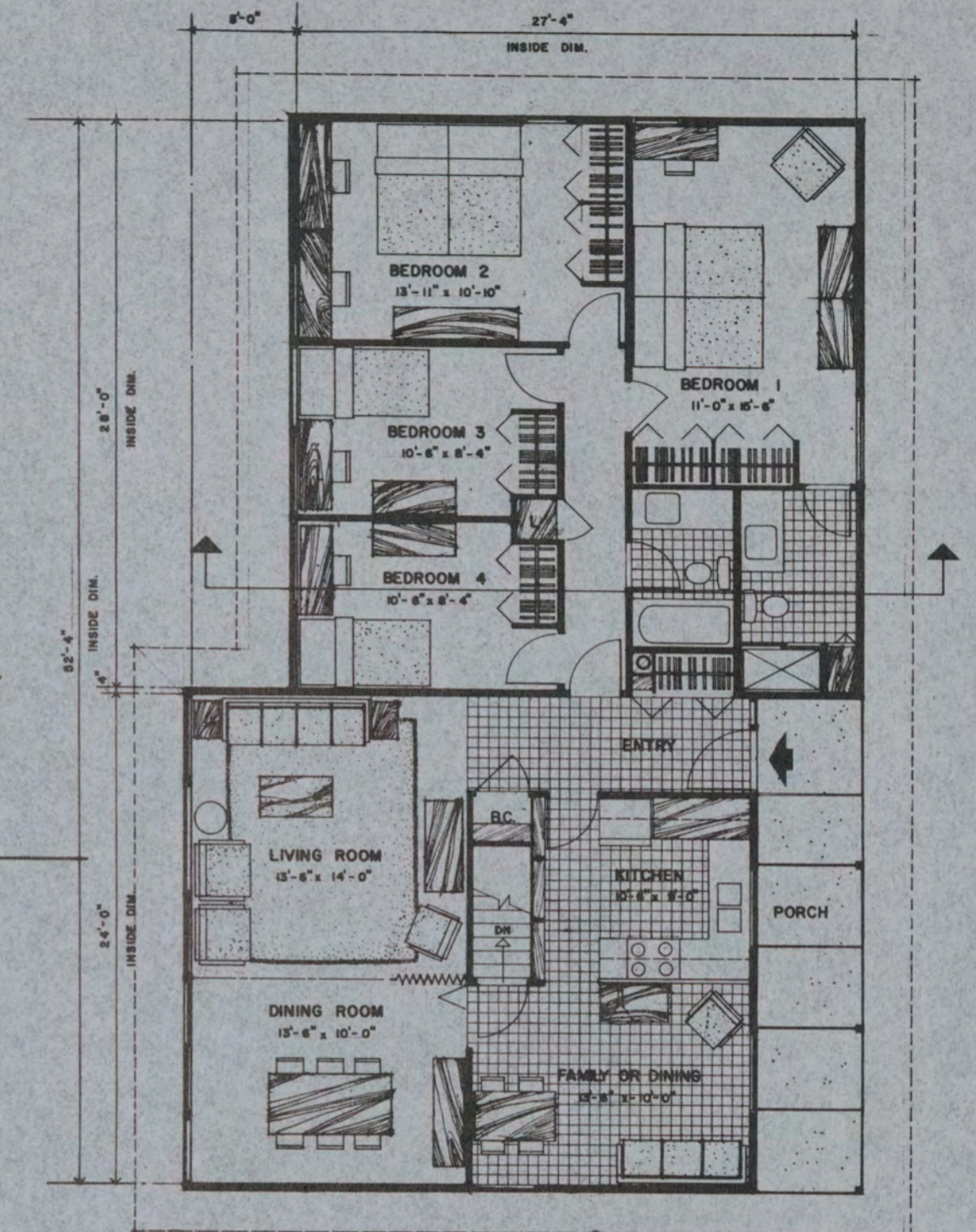
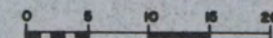


REAR ELEVATION

SLIDING OR CASEMENT WINDOWS IN WOOD FRAMES  
PLYWOOD, FIBREBOARD, OR CEMENT ASBESTOS PANEL



TYPICAL ELEVATIONS



FLOOR PLAN



GROSS AREA 1483 SQ. FT.  
NET AREA 1400 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

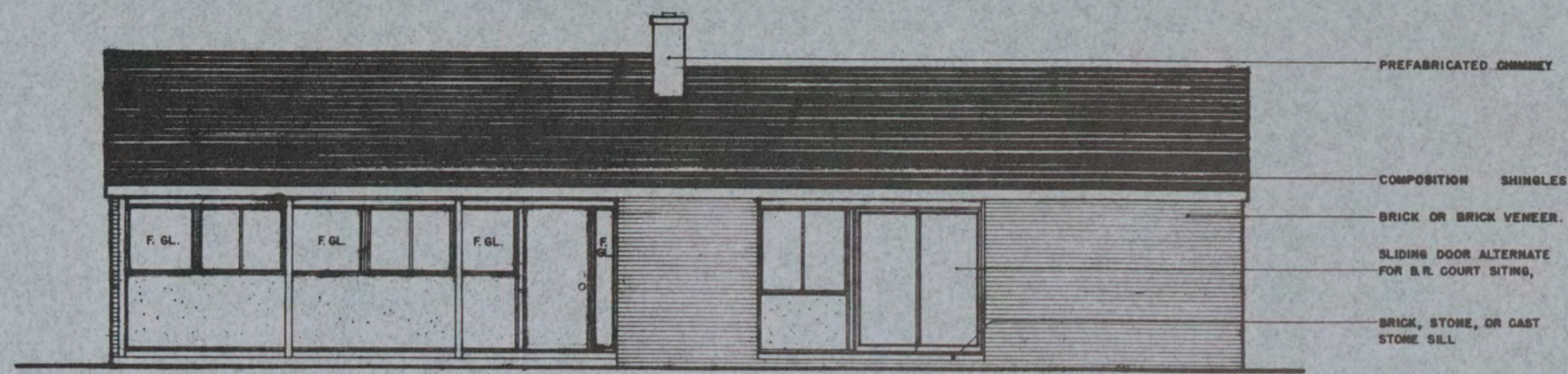
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

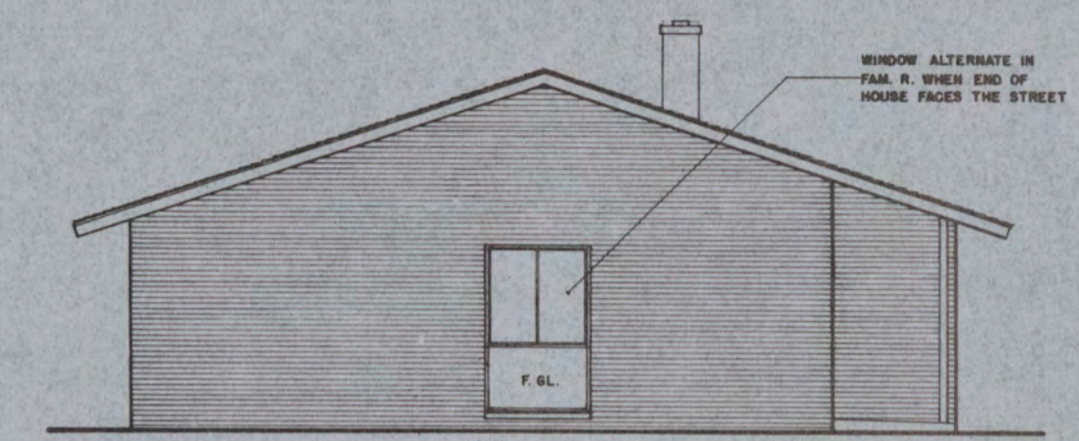
ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
4 BR. 1 STORY DUPLEX**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 4 1**  
IDENTIFICATION SYMBOL **OF 2**



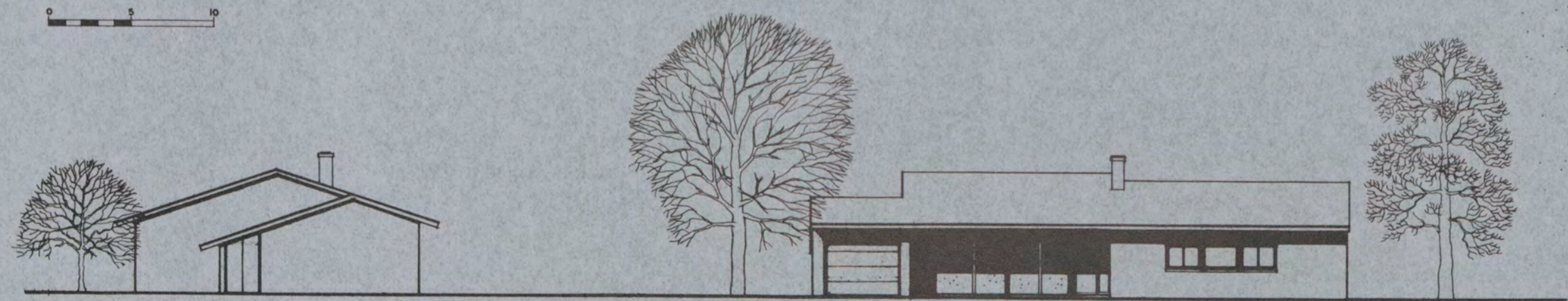
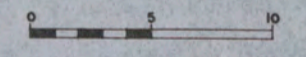
FRONT ELEVATION



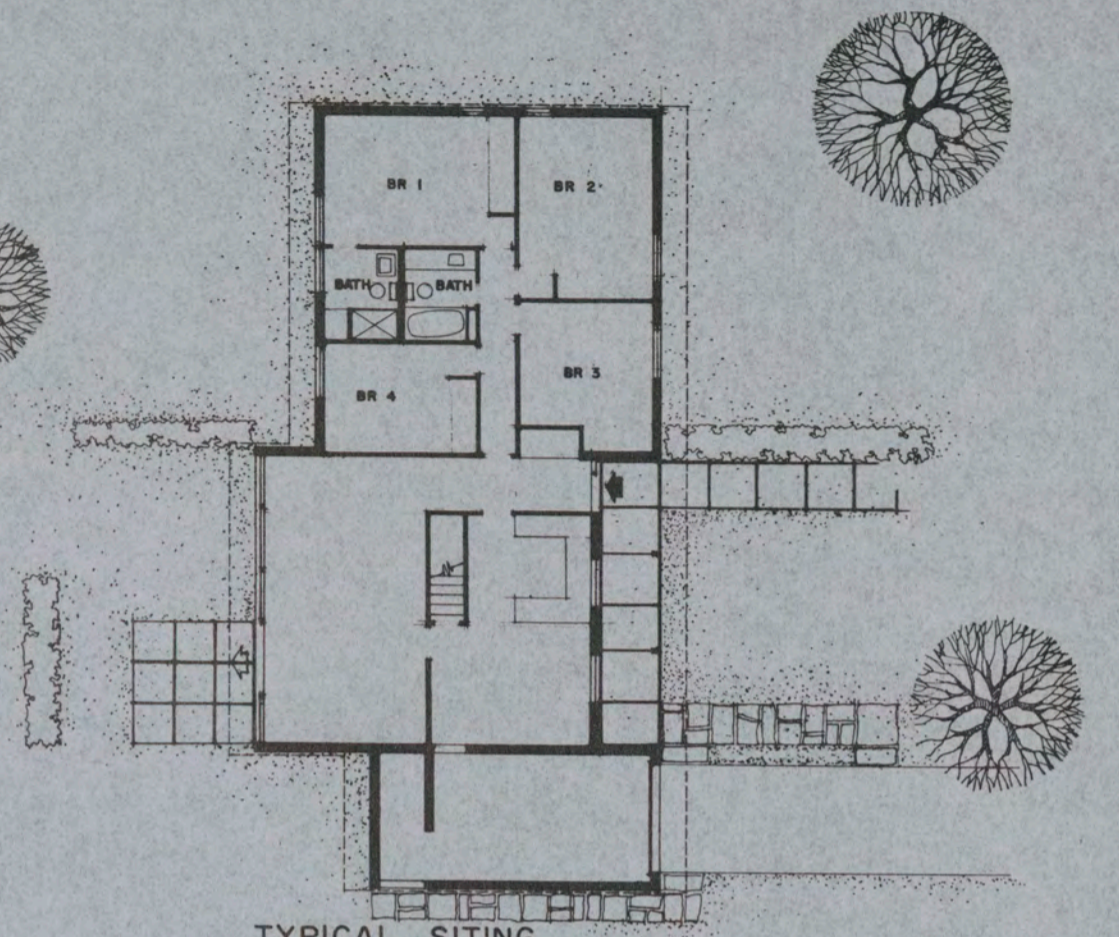
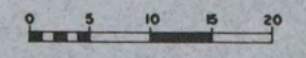
END ELEVATIONS



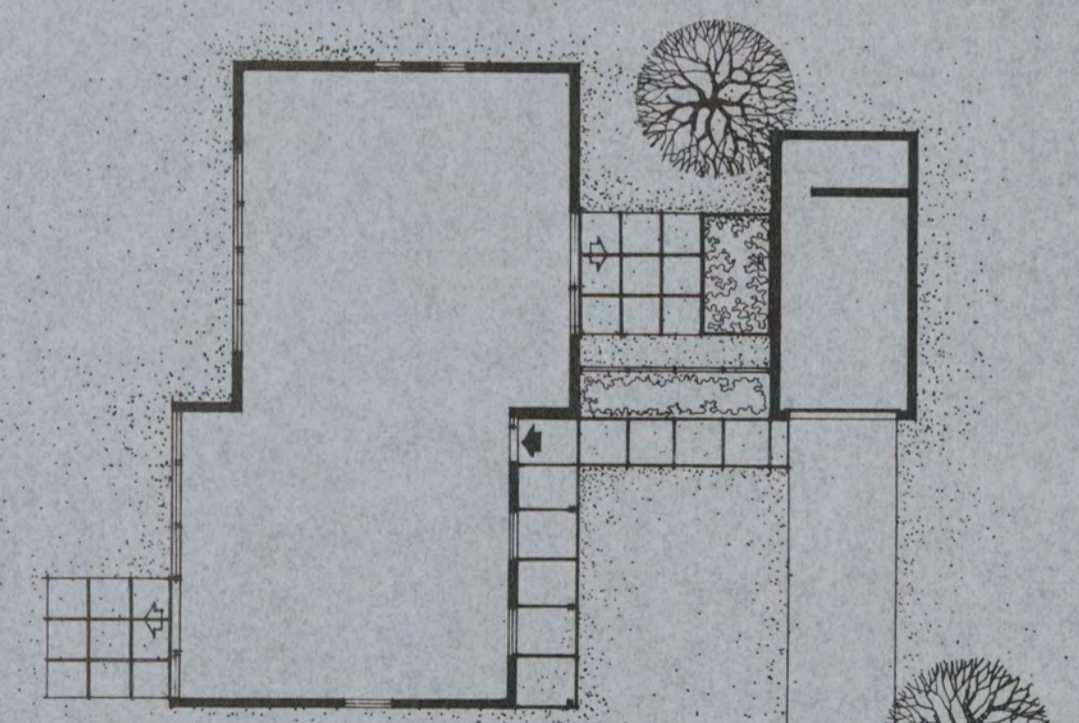
REAR ELEVATION



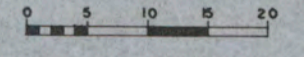
TYPICAL ELEVATIONS



TYPICAL SITING  
ALTERNATE BEDROOM GROUPING



TYPICAL SITING



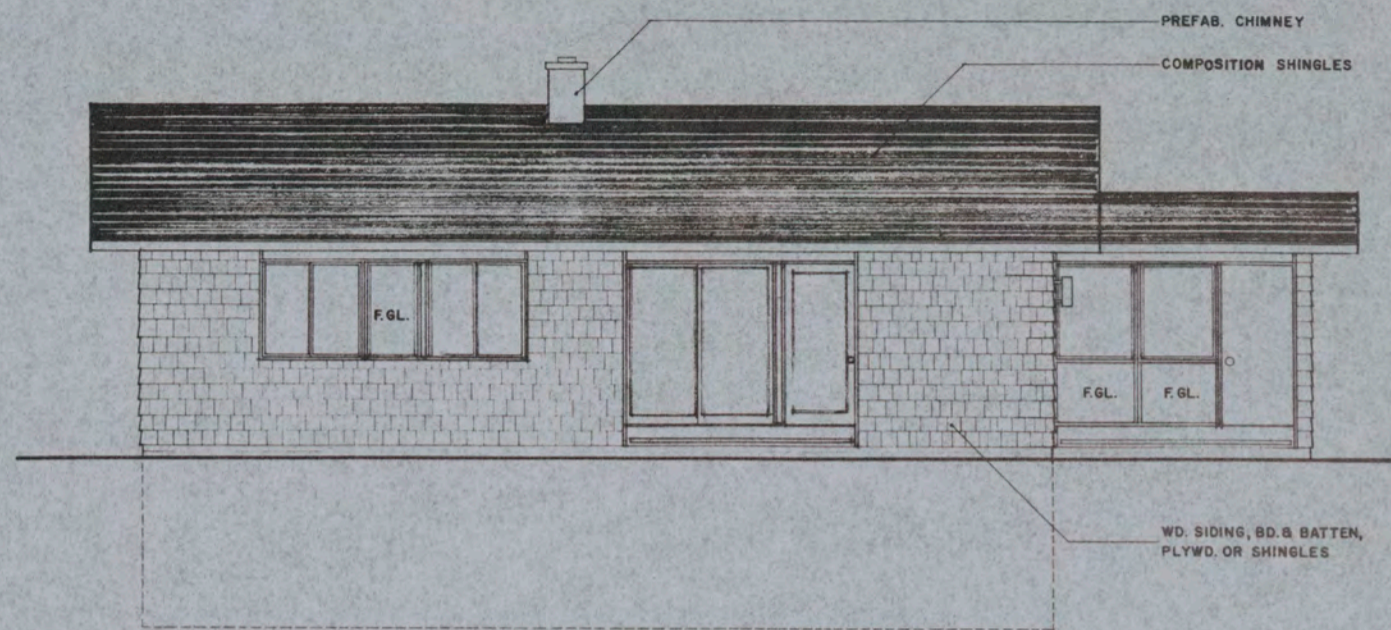
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

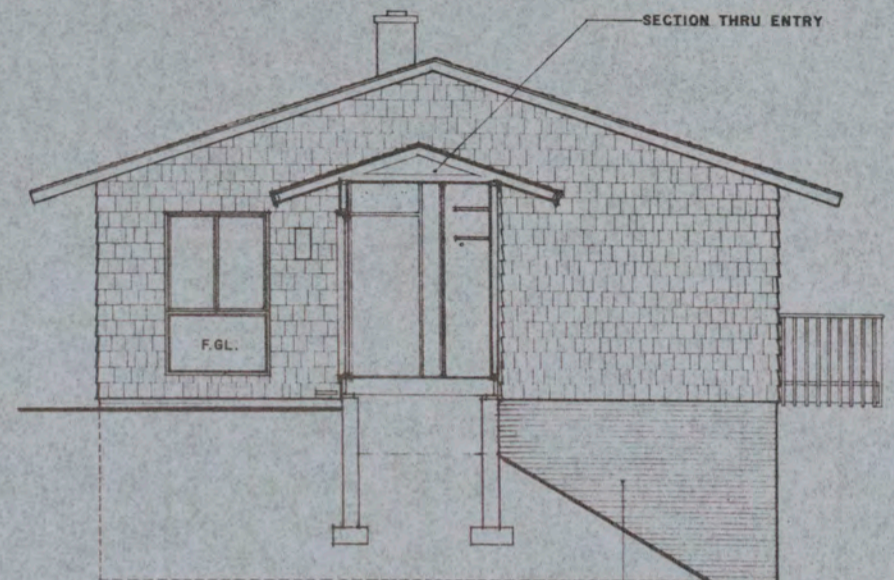
ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
 4 BR. 1 STORY DUPLEX**

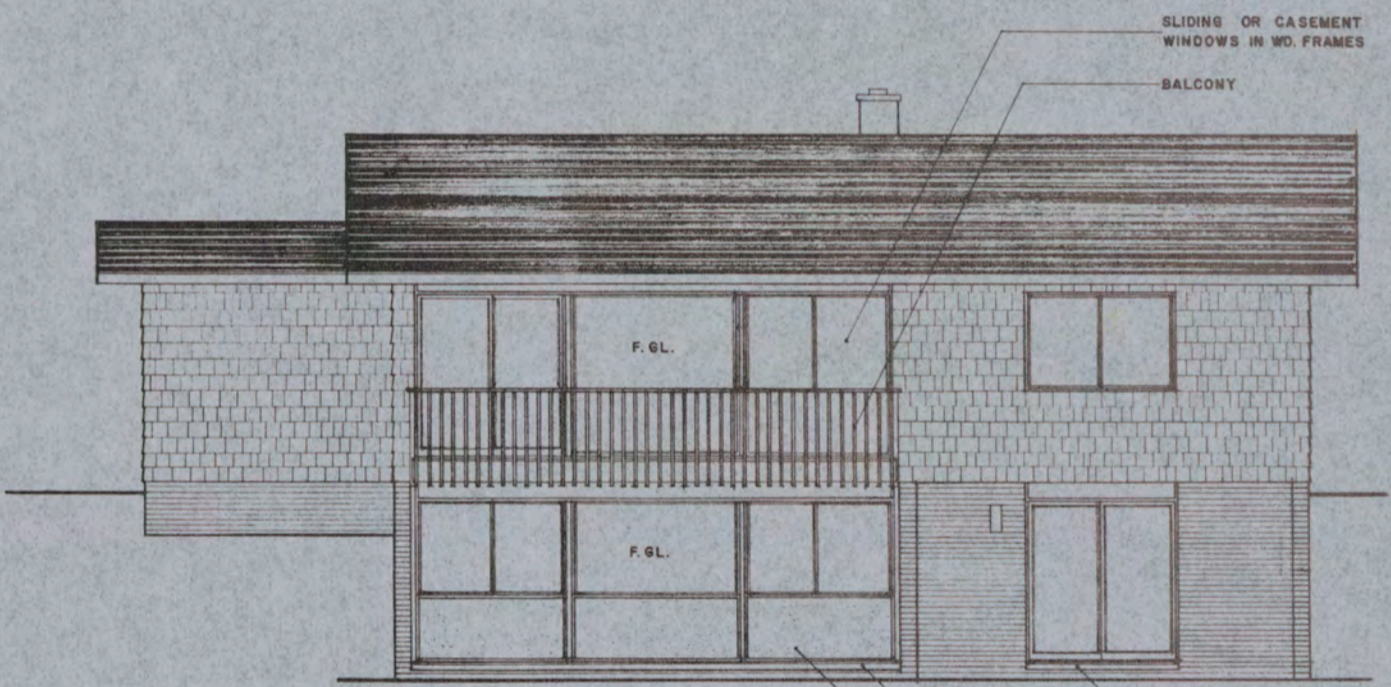
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 4** **2 OF 2**  
 IDENTIFICATION SYMBOL



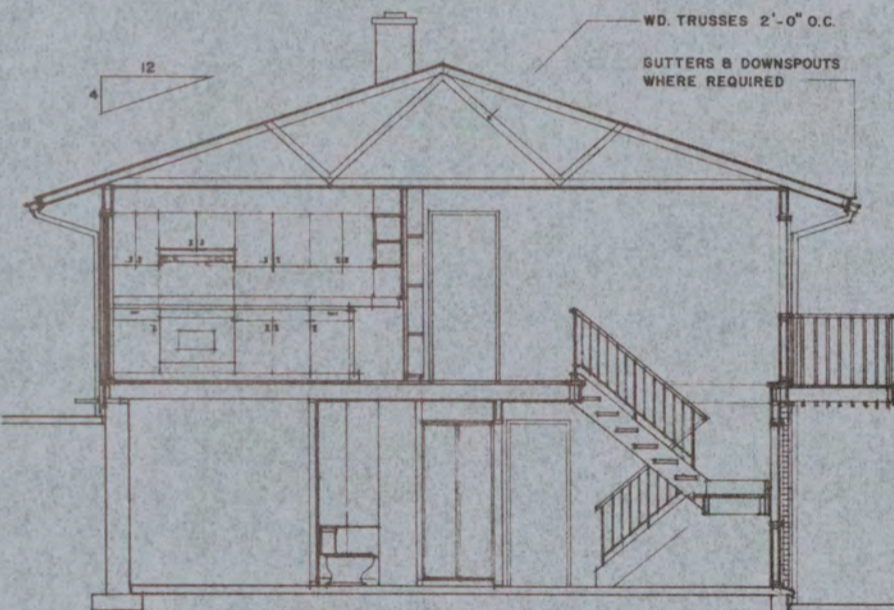
FRONT ELEVATION



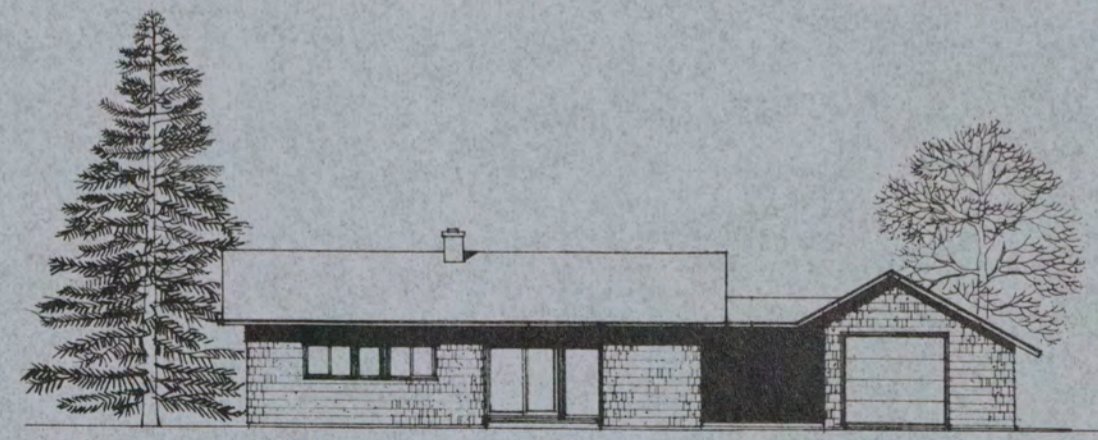
END ELEVATION



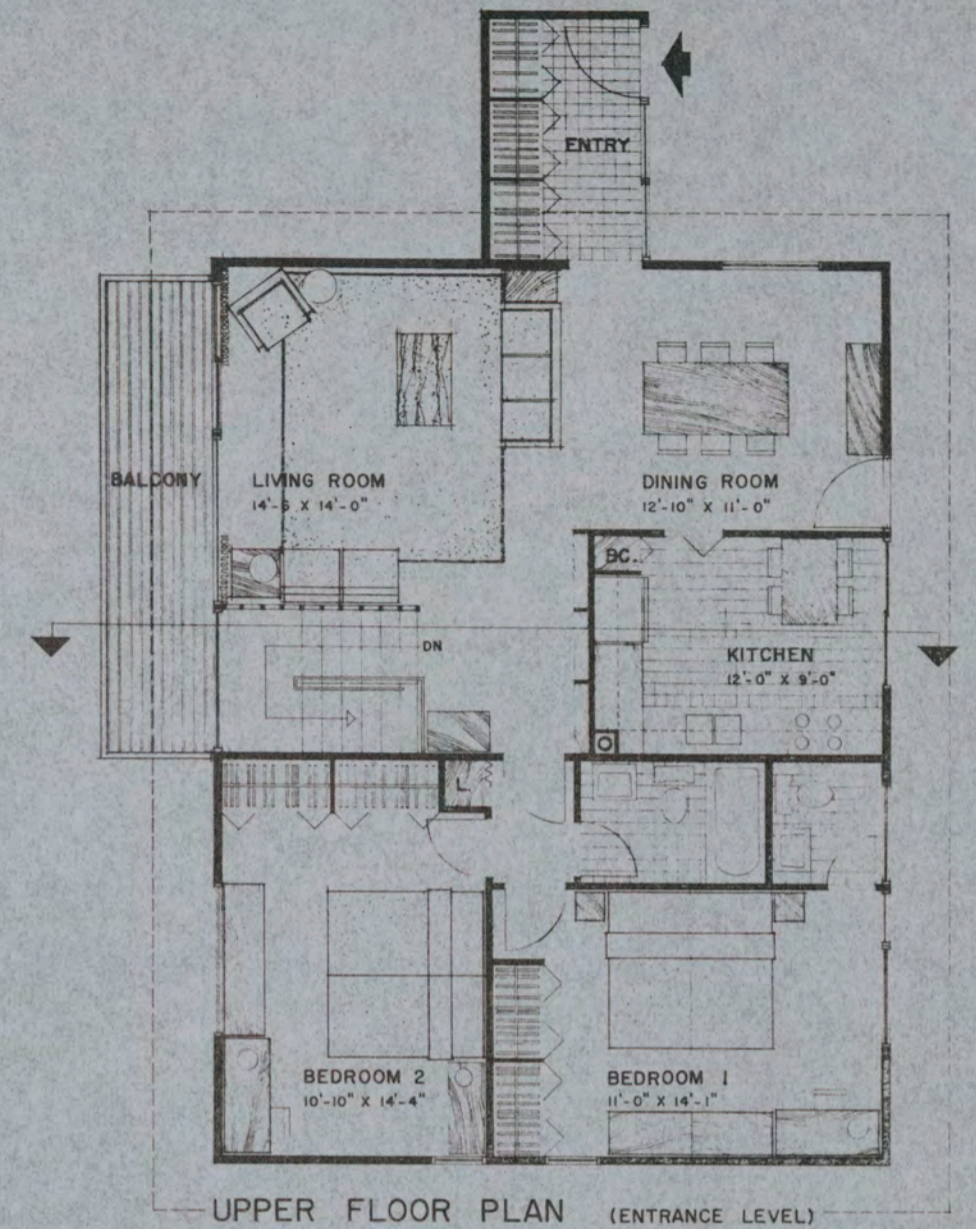
REAR ELEVATION



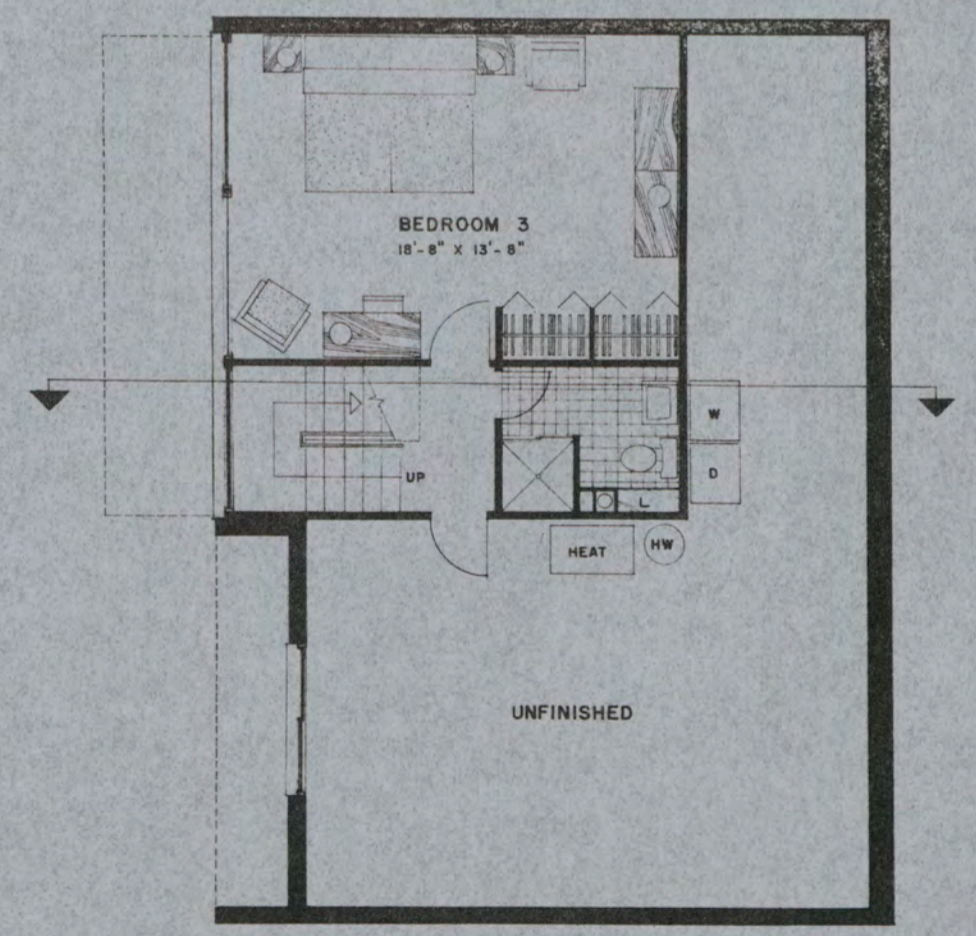
SECTION



TYPICAL ELEVATIONS



UPPER FLOOR PLAN (ENTRANCE LEVEL)



LOWER FLOOR PLAN

GROSS AREA 1524 SQ. FT.  
NET AREA 1354 SQ. FT.

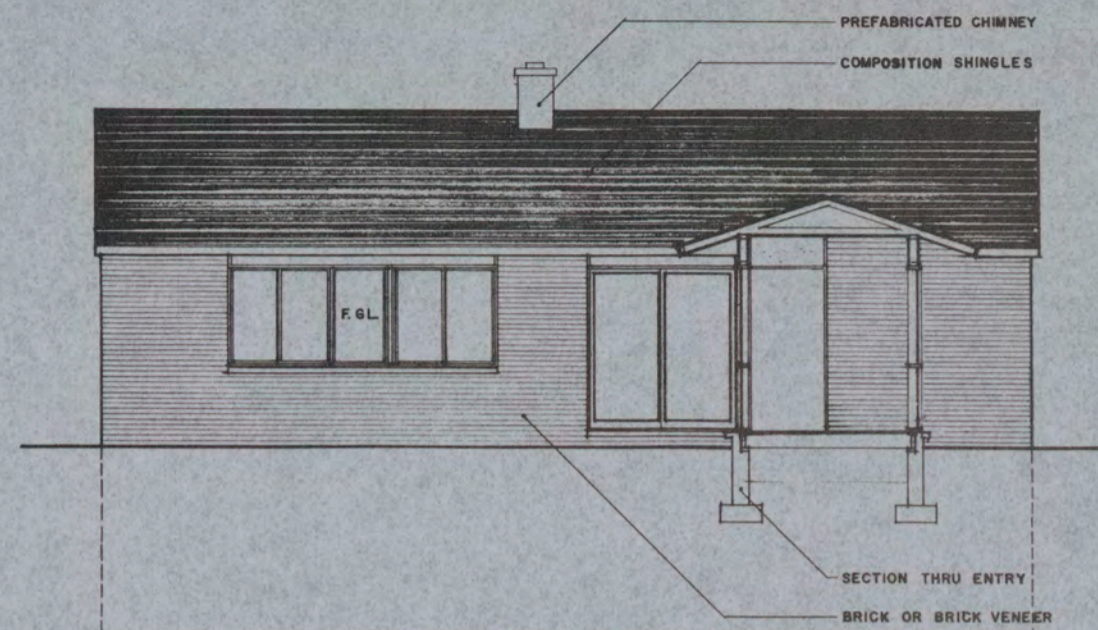
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Huber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

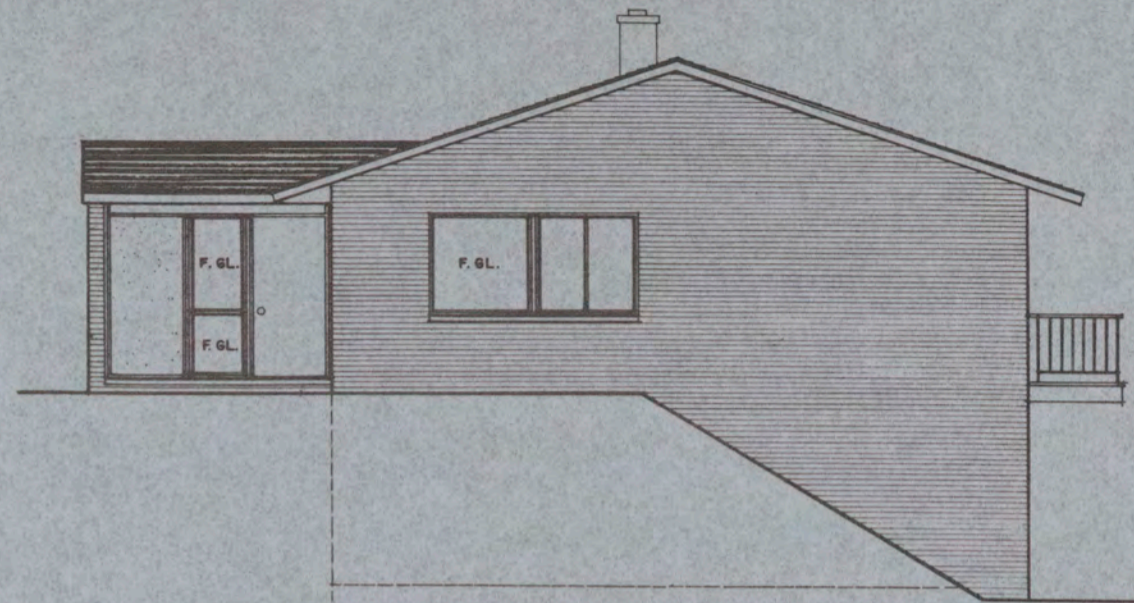
ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY—HILLSIDE  
ENTER TOP FLOOR**

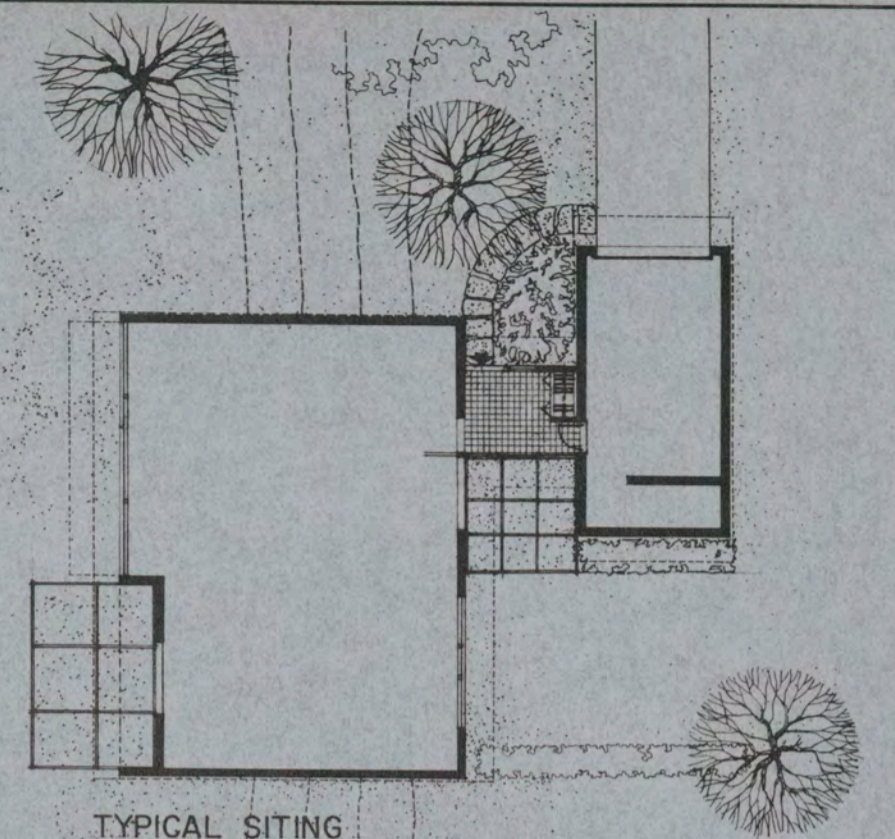
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 5 1**  
IDENTIFICATION SYMBOL **OF 2**



FRONT ELEVATION



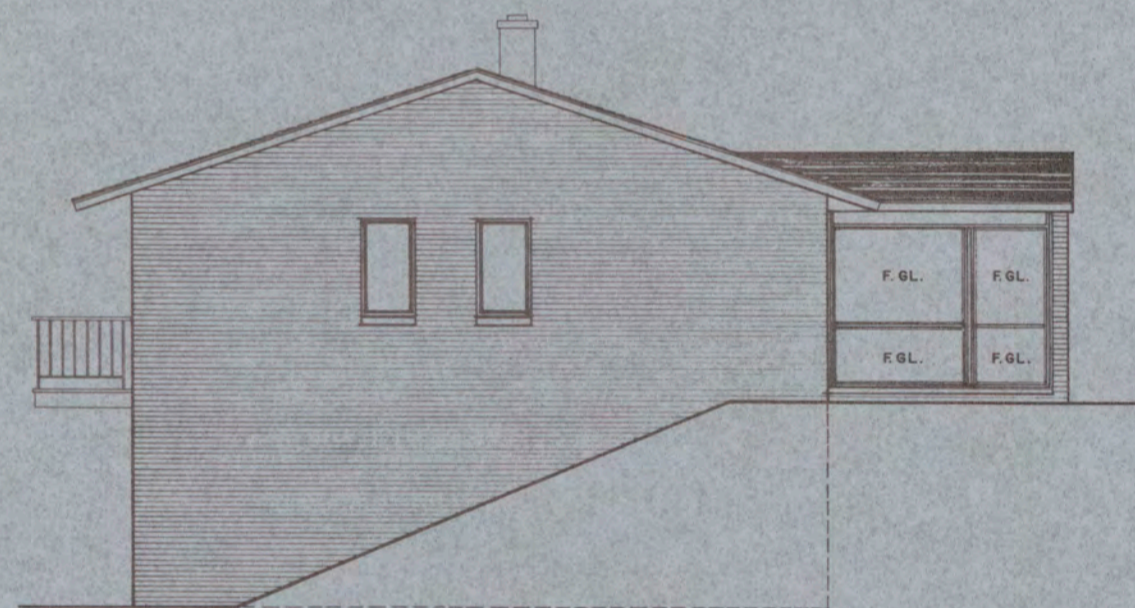
END ELEVATION



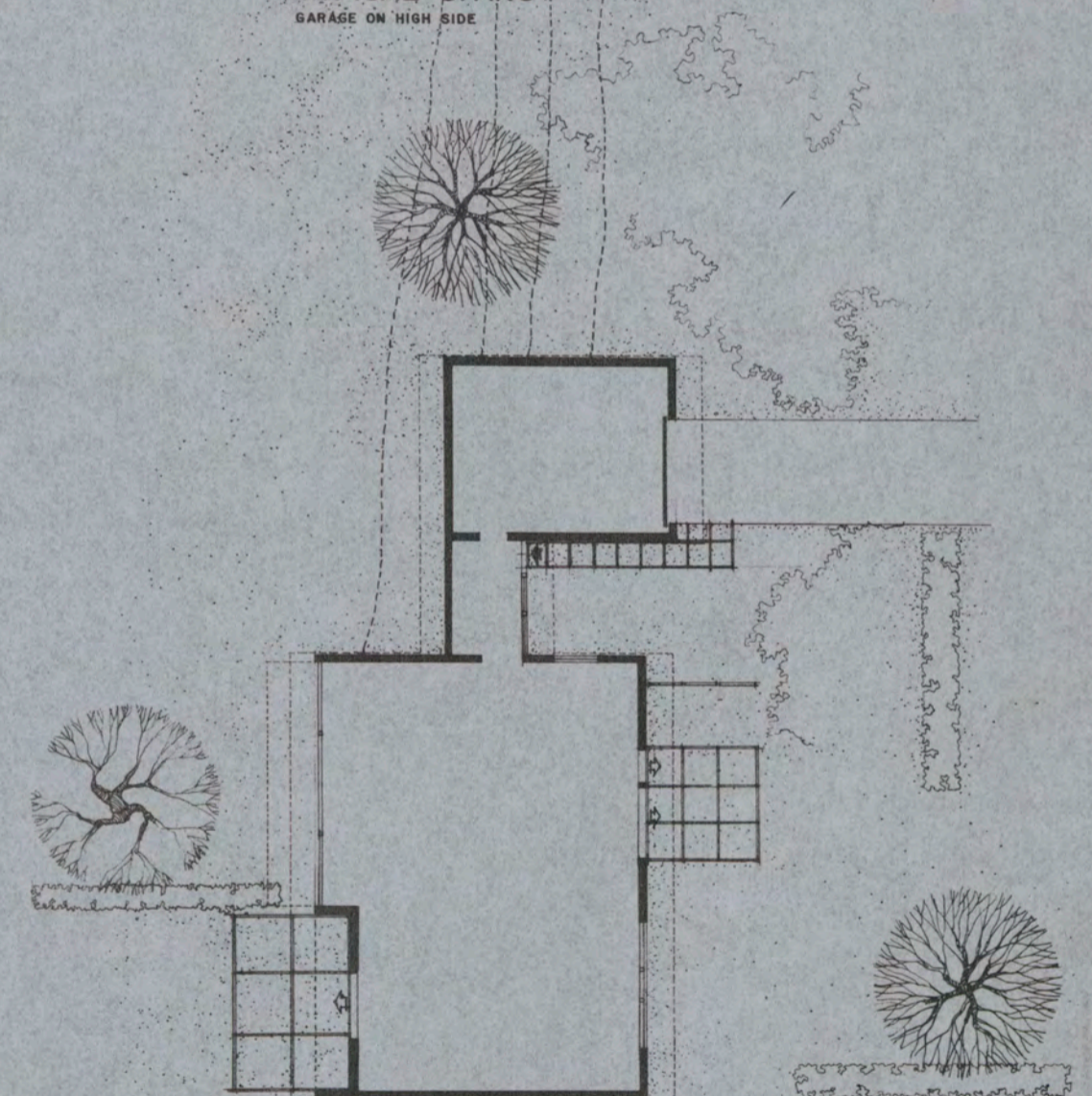
TYPICAL SITING  
GARAGE ON HIGH SIDE



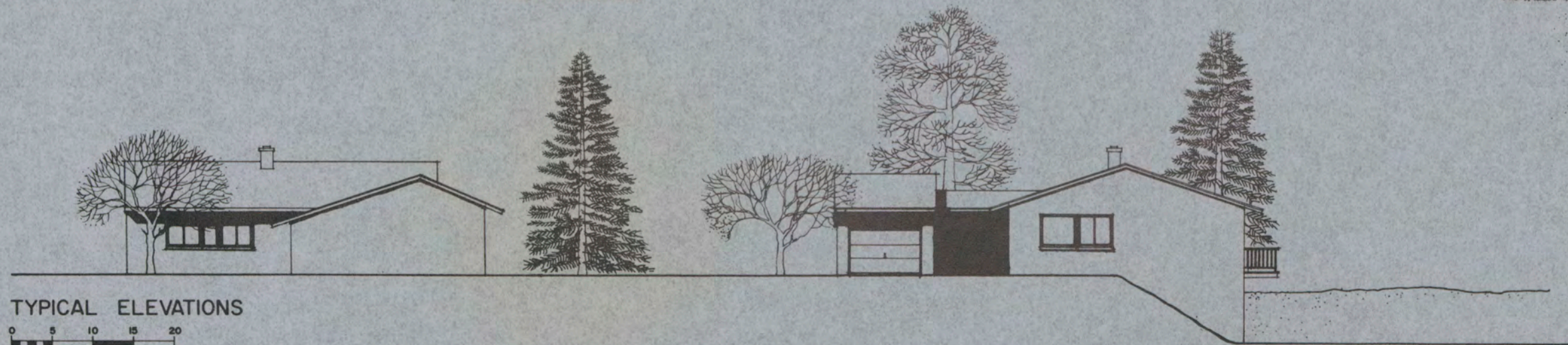
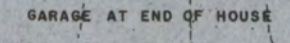
REAR ELEVATION



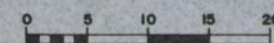
END ELEVATION



TYPICAL SITING  
GARAGE AT END OF HOUSE



TYPICAL ELEVATIONS



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

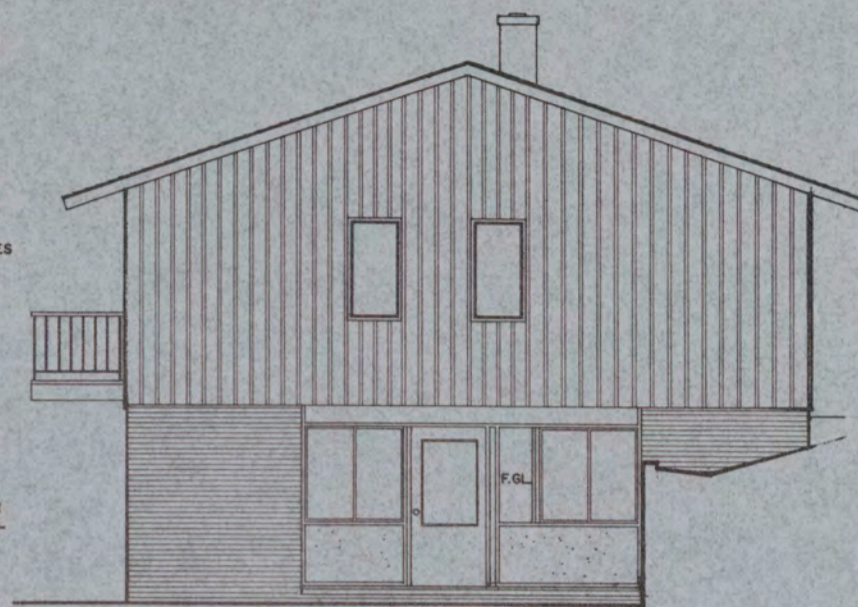
ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY—HILLSIDE  
ENTER TOP FLOOR**

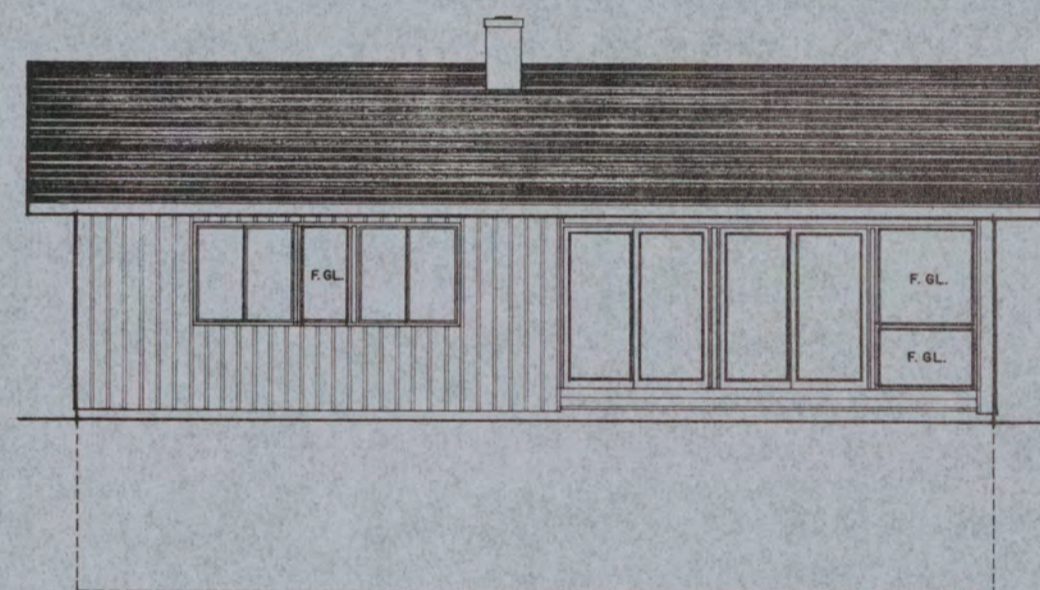
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 5 2**  
IDENTIFICATION SYMBOL OF 2



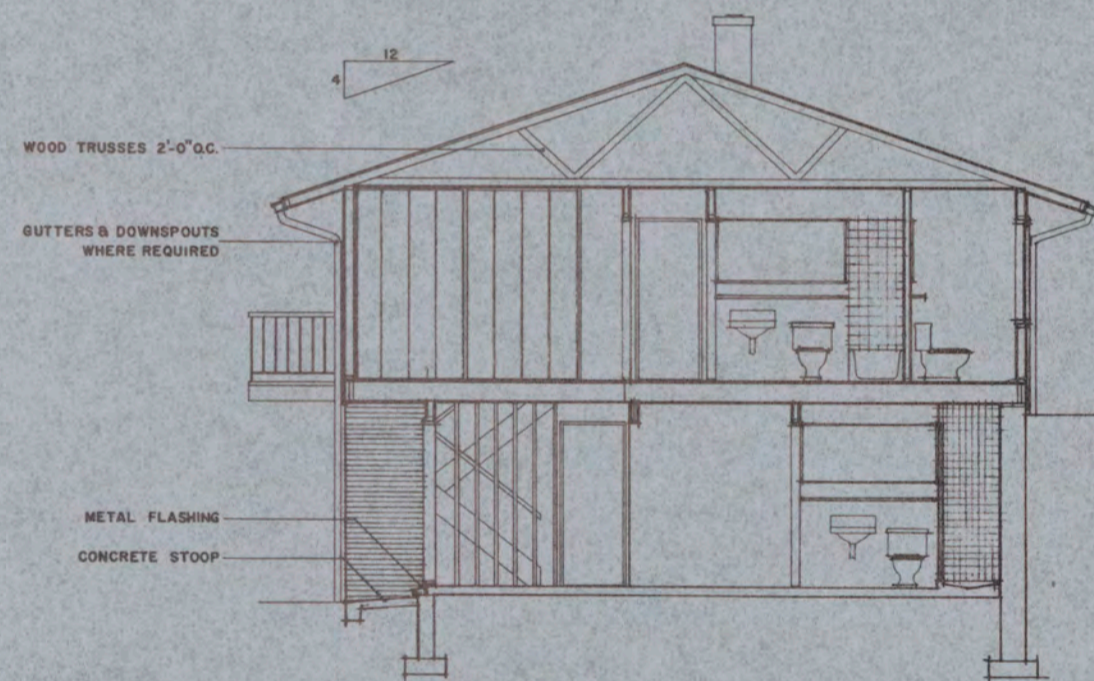
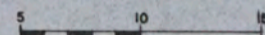
FRONT ELEVATION



END ELEVATION



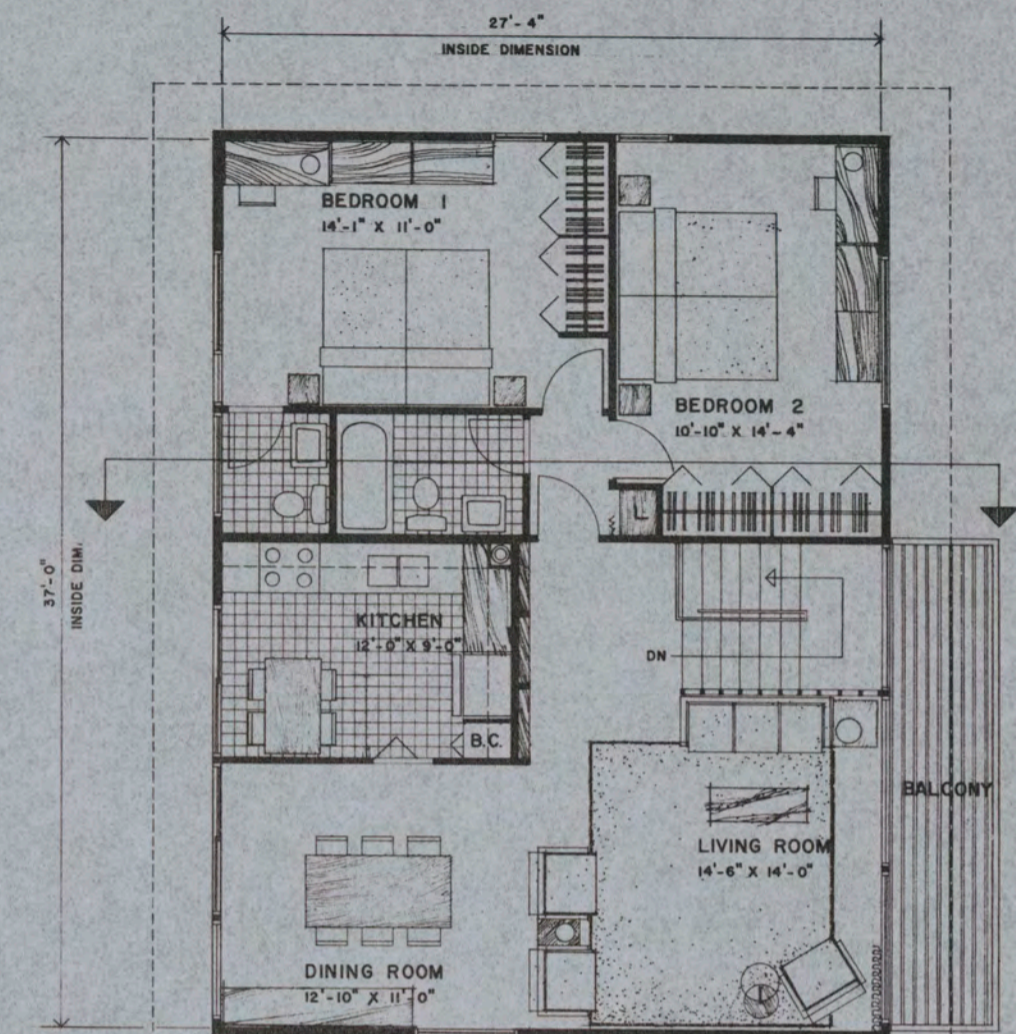
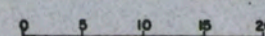
REAR ELEVATION



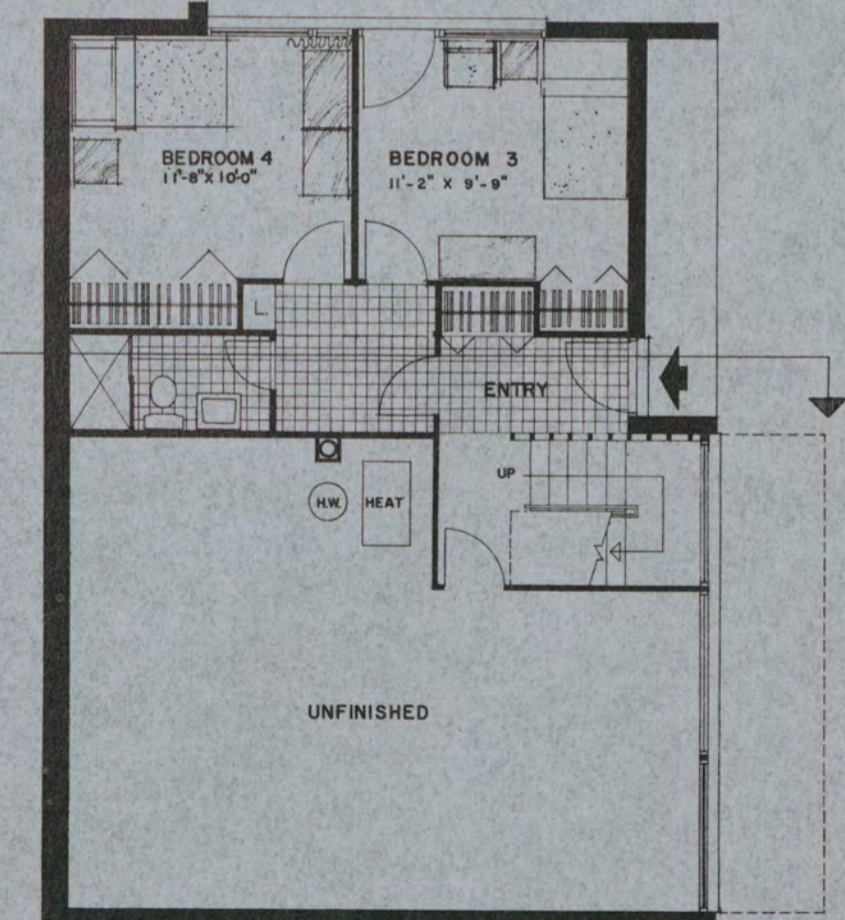
SECTION



TYPICAL ELEVATIONS



UPPER FLOOR PLAN



LOWER FLOOR PLAN (ENTRANCE LEVEL)

GROSS AREA 1519 SQ. FT.  
NET AREA 1354 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmond J. Haber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY—HILLSIDE  
ENTER BOTTOM FLOOR**

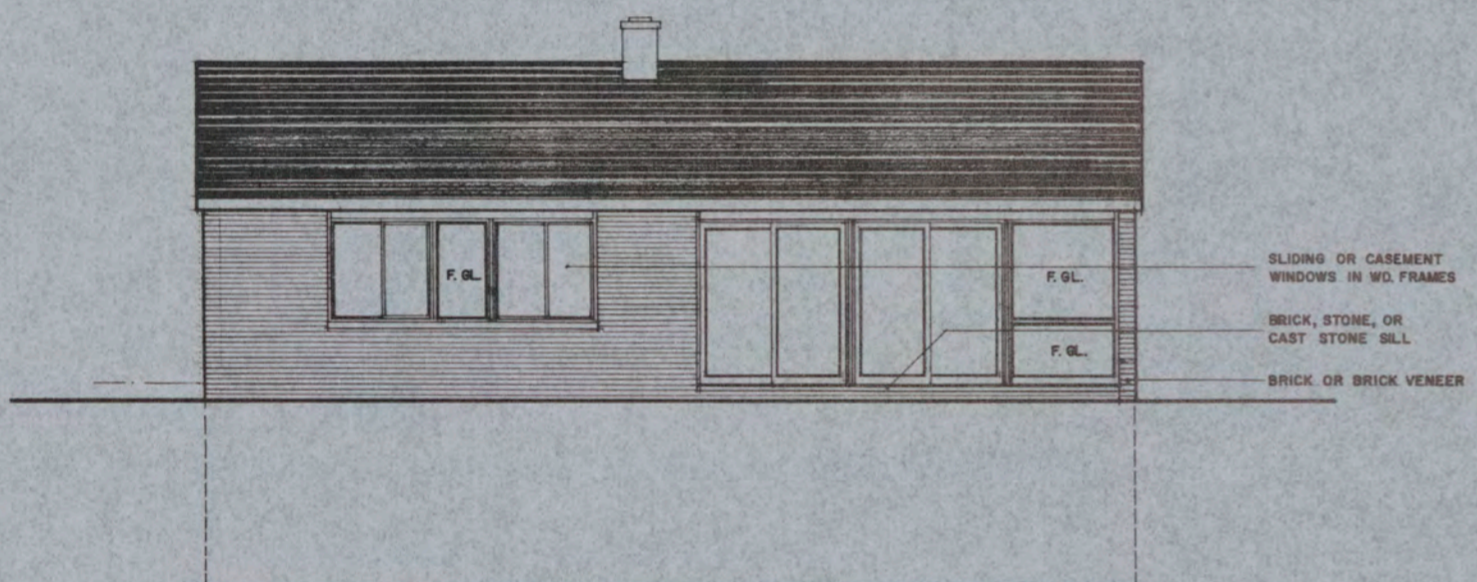
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 6** 1 OF 2  
IDENTIFICATION SYMBOL



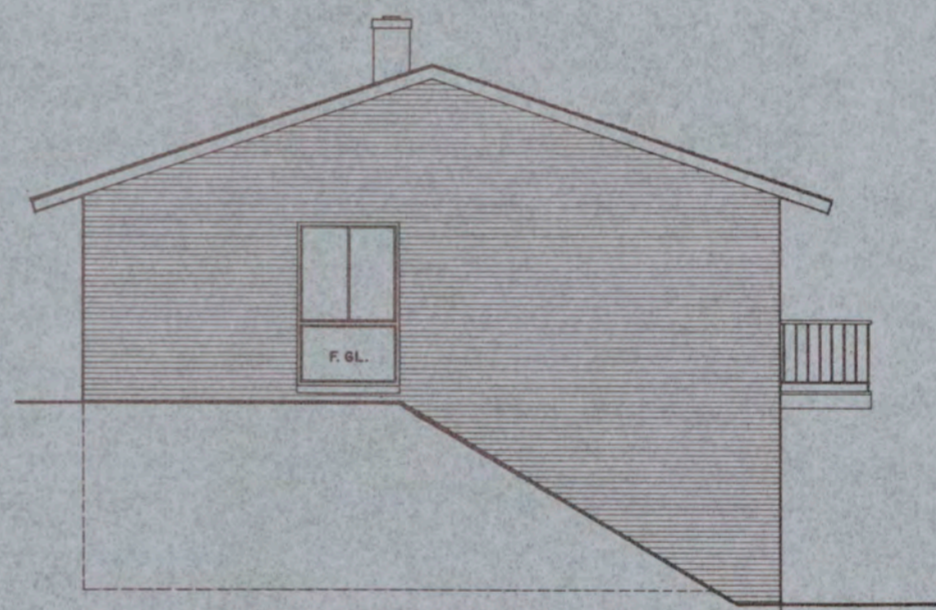
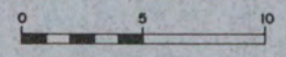
FRONT ELEVATION



END ELEVATION



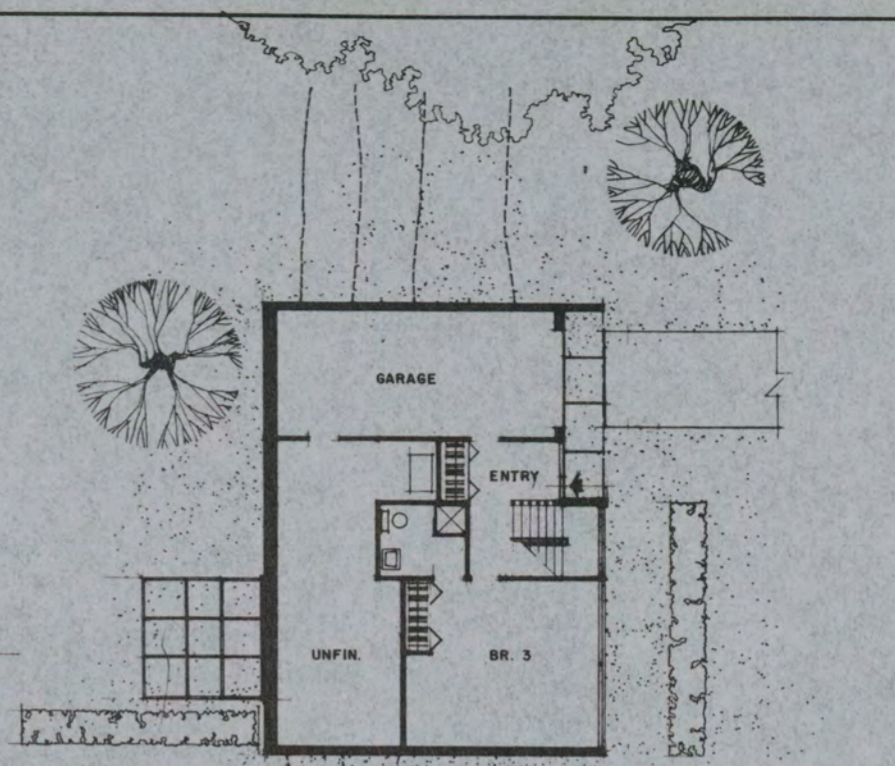
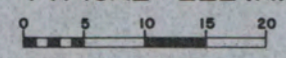
REAR ELEVATION



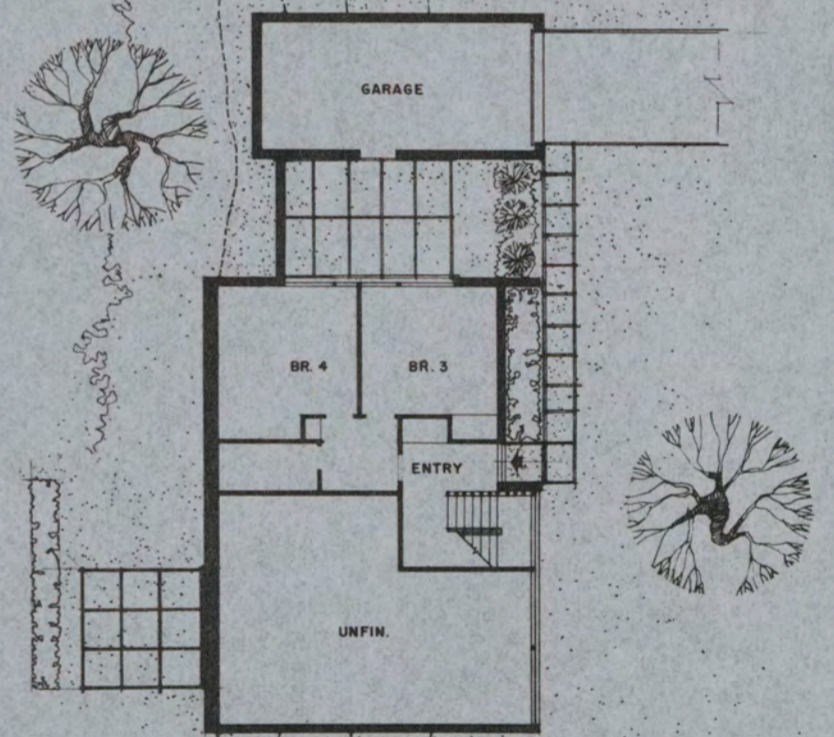
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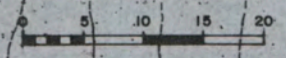
TYPICAL ELEVATIONS



TYPICAL SITING  
GARAGE WITHIN HOUSE



TYPICAL SITING  
GARAGE AT END OF HOUSE



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynwood J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

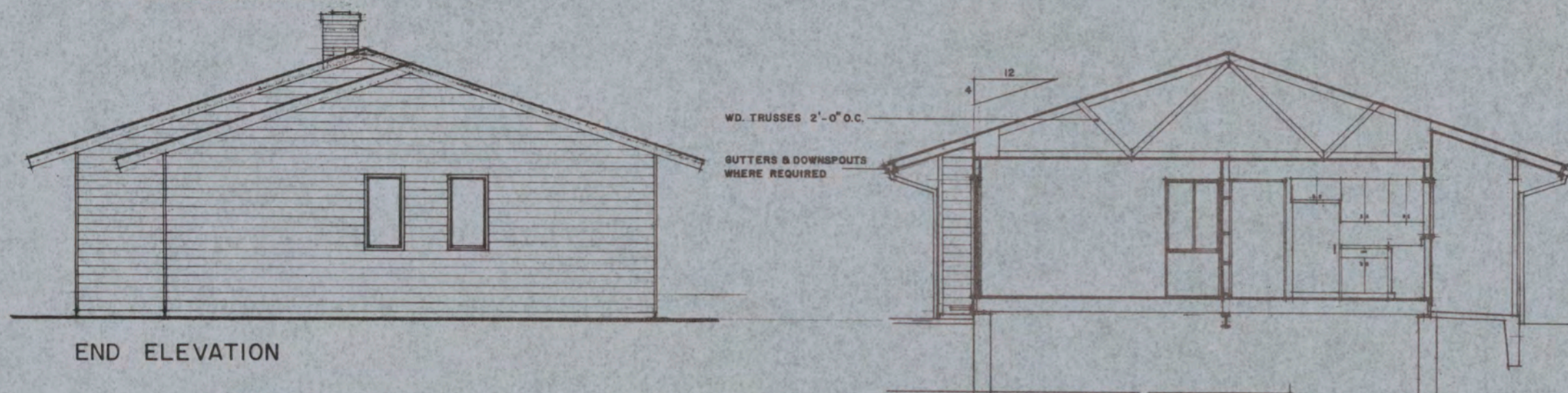
DESCRIPTION  
**FIELD GRADE OFFICERS  
 3 BR. 2 STORY—HILLSIDE  
 ENTER BOTTOM FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 FGO 6 2**  
 IDENTIFICATION SYMBOL OF 2





FRONT ELEVATION



END ELEVATION

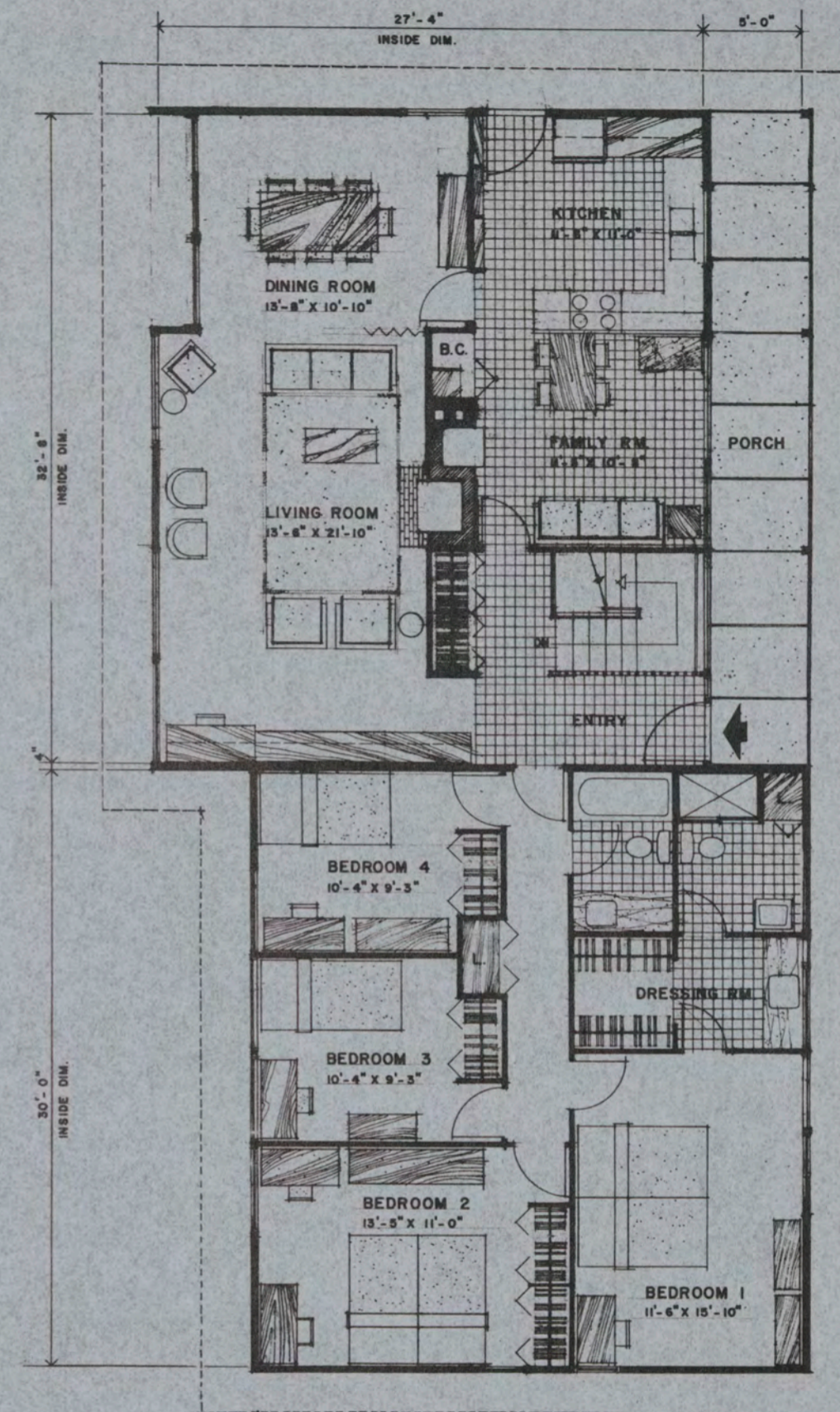
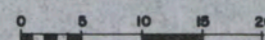
SECTION



REAR ELEVATION



TYPICAL ELEVATIONS



FLOOR PLAN



GROSS AREA 1765 SQ.FT.  
NET AREA 1670 SQ.FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Halber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

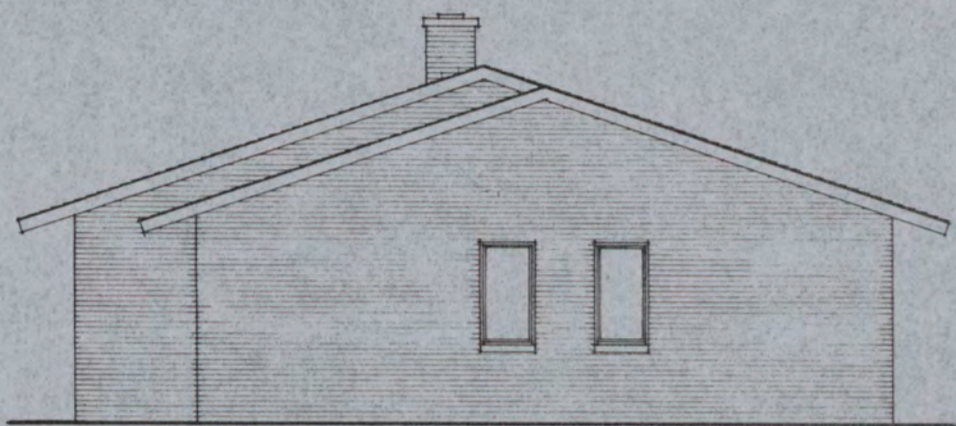
ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**SENIOR OFFICERS  
4 BR. 1 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
11	SO	1	1 OF 2
IDENTIFICATION SYMBOL			



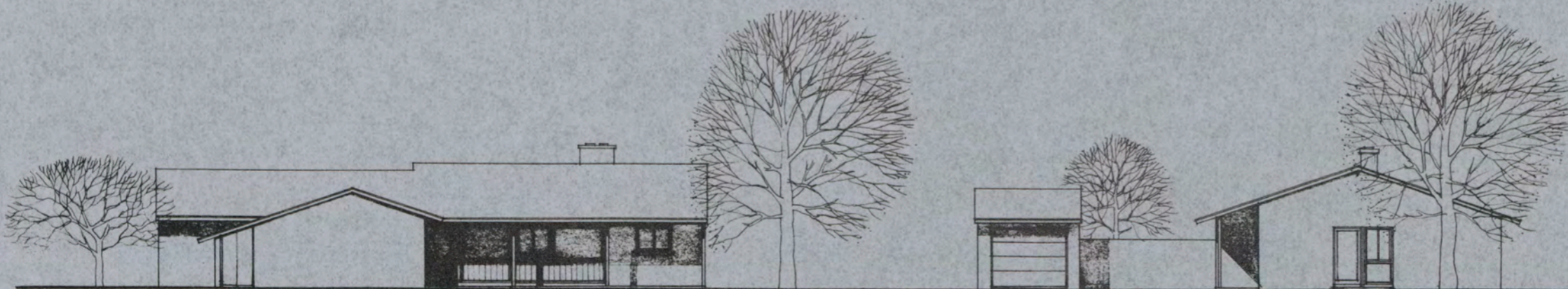
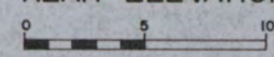
FRONT ELEVATION



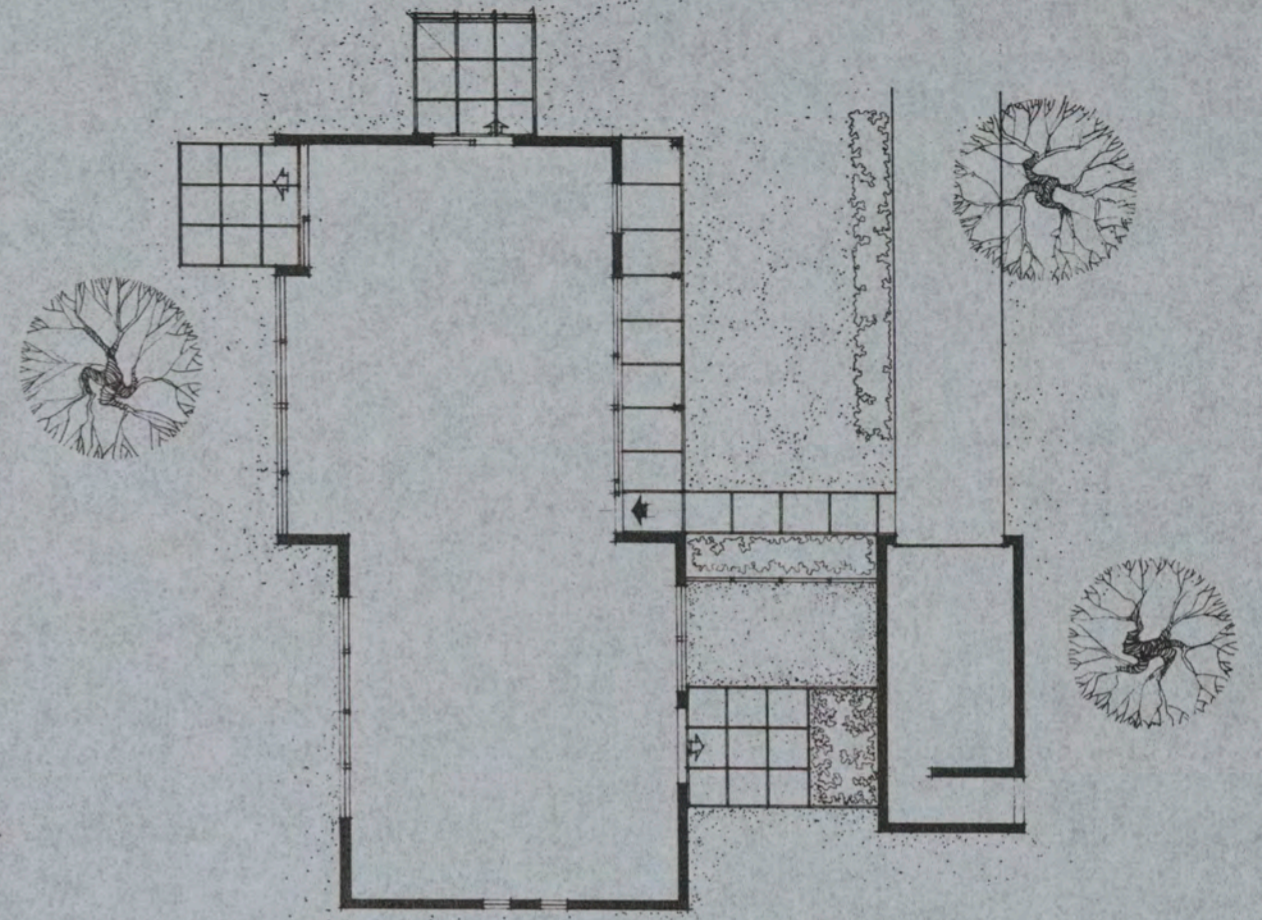
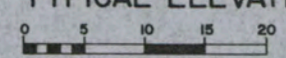
END ELEVATION



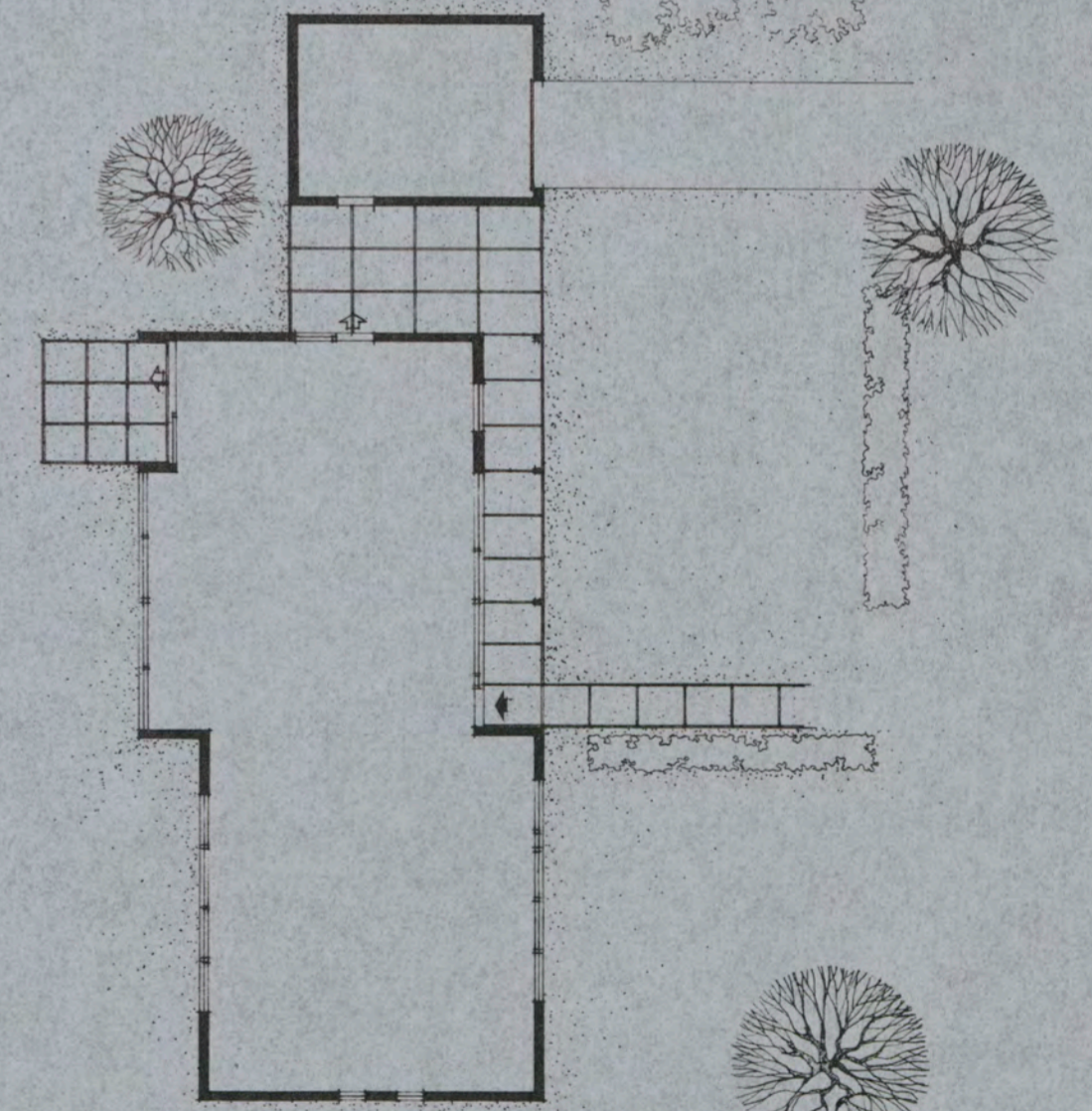
REAR ELEVATION



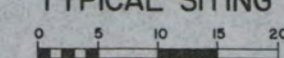
TYPICAL ELEVATIONS



TYPICAL SITING



TYPICAL SITING



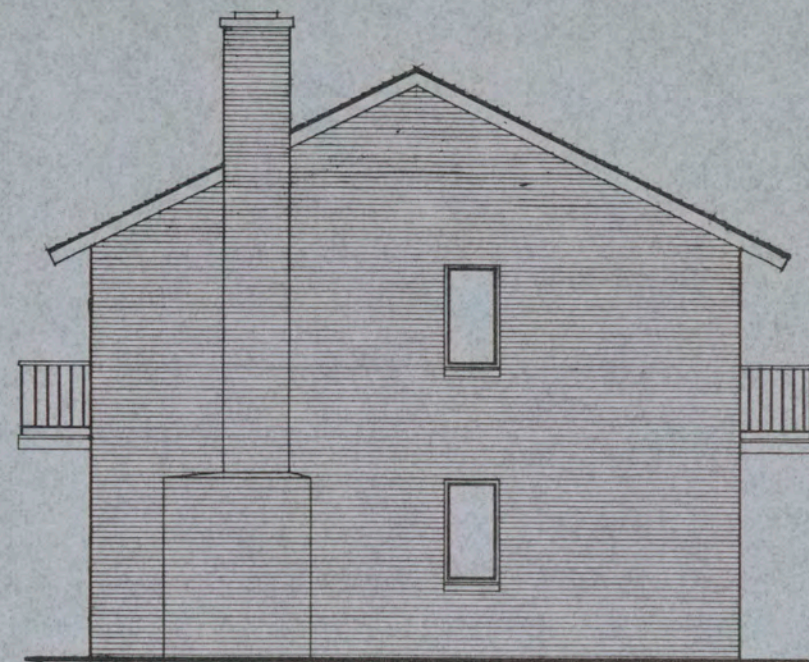
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**SENIOR OFFICERS  
4 BR. 1 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
11	SO	1	2 OF 2
IDENTIFICATION SYMBOL			



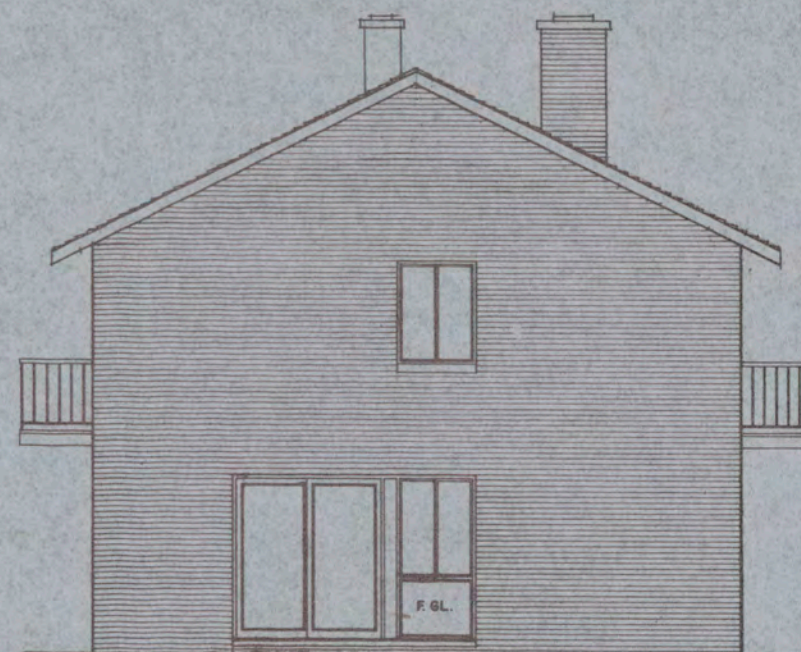
END ELEVATION



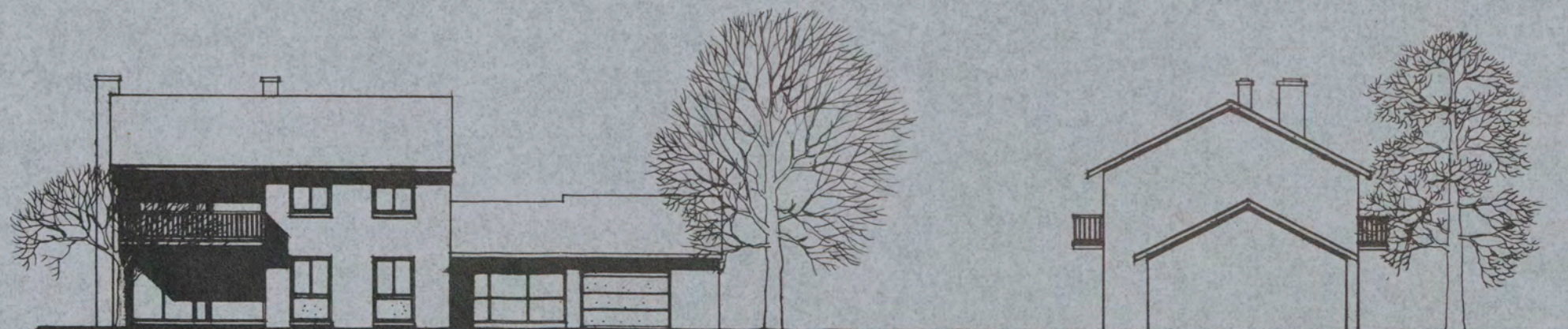
FRONT ELEVATION



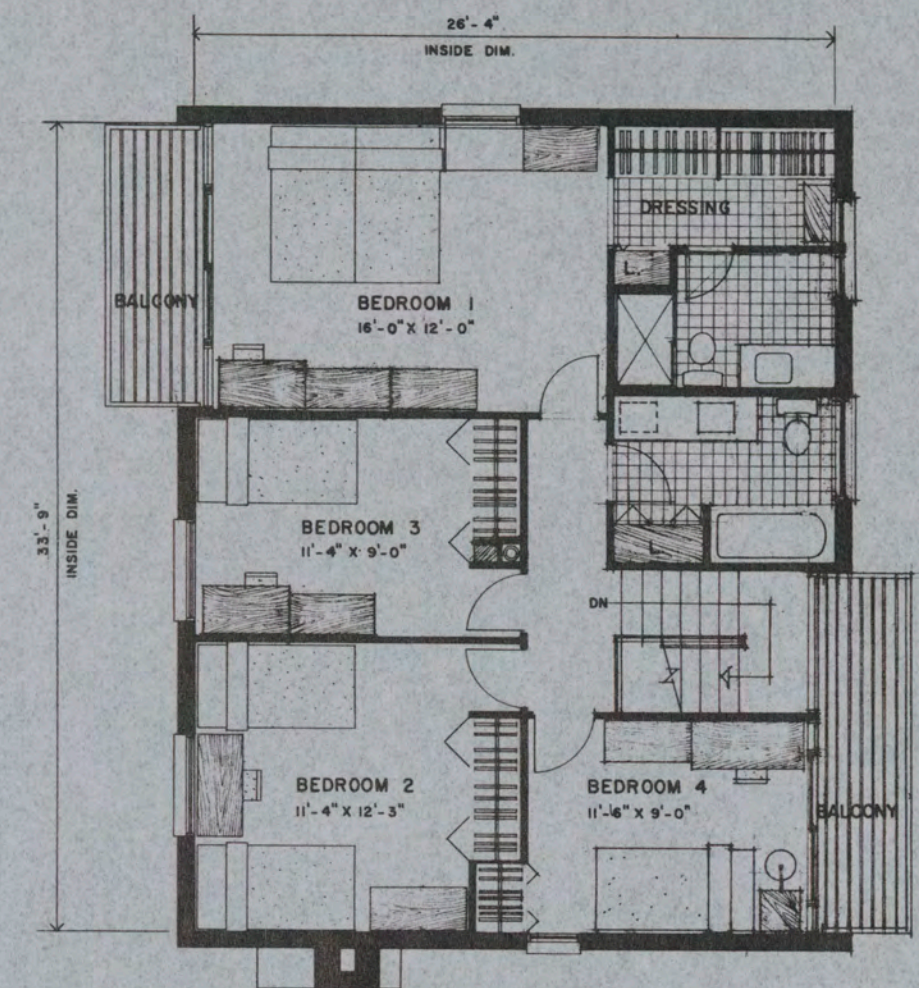
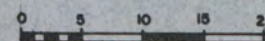
REAR ELEVATIONS



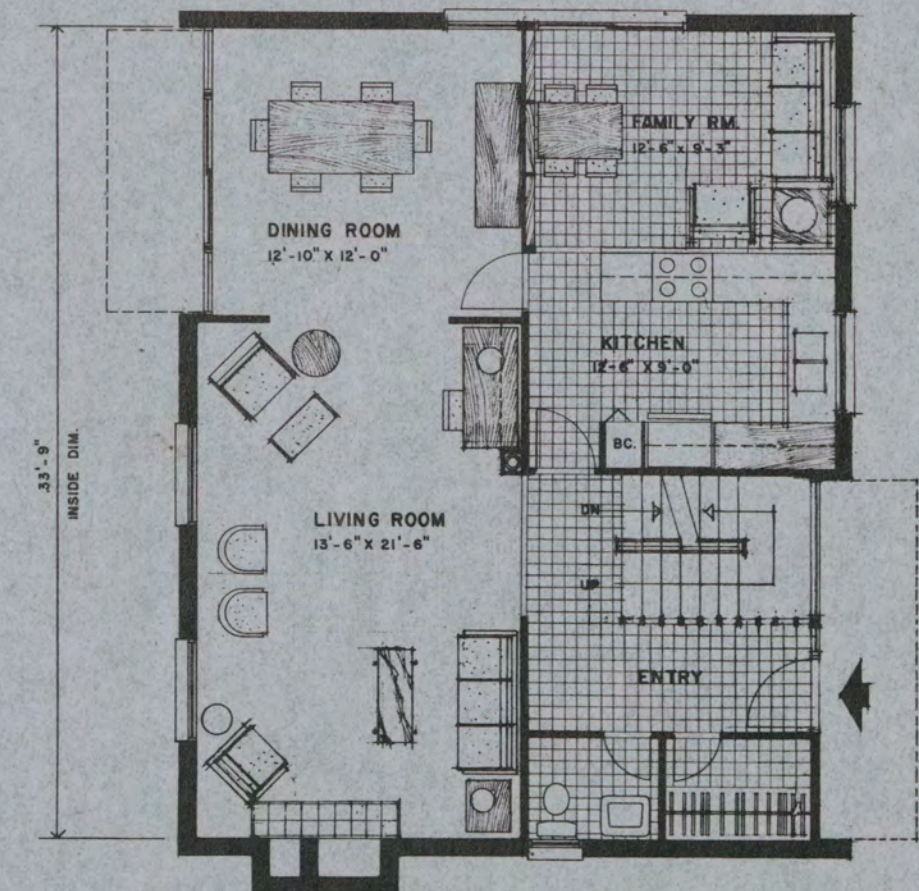
END ELEVATION



TYPICAL ELEVATIONS



UPPER FLOOR PLAN



LOWER FLOOR PLAN



GROSS AREA 1812 SQ. FT.

NET AREA 1624 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

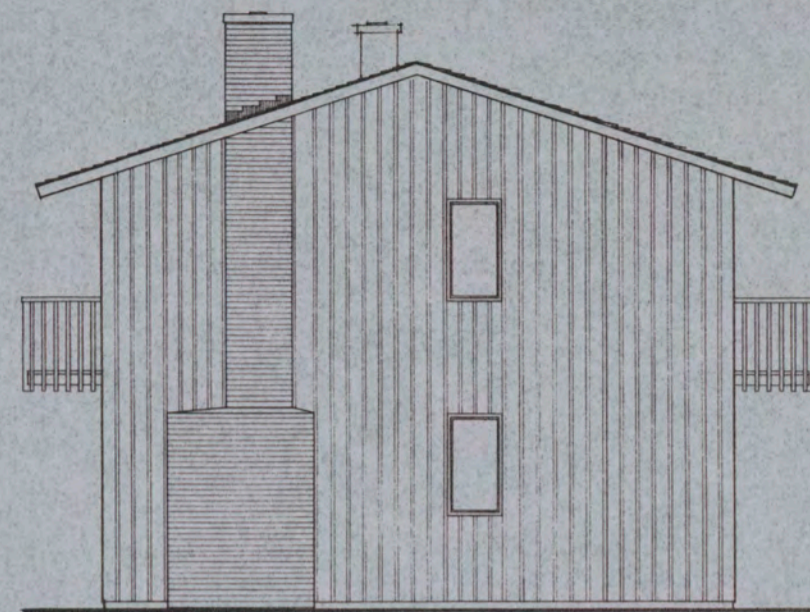
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**SENIOR OFFICERS  
 4 BR. 2 STORY SINGLE**

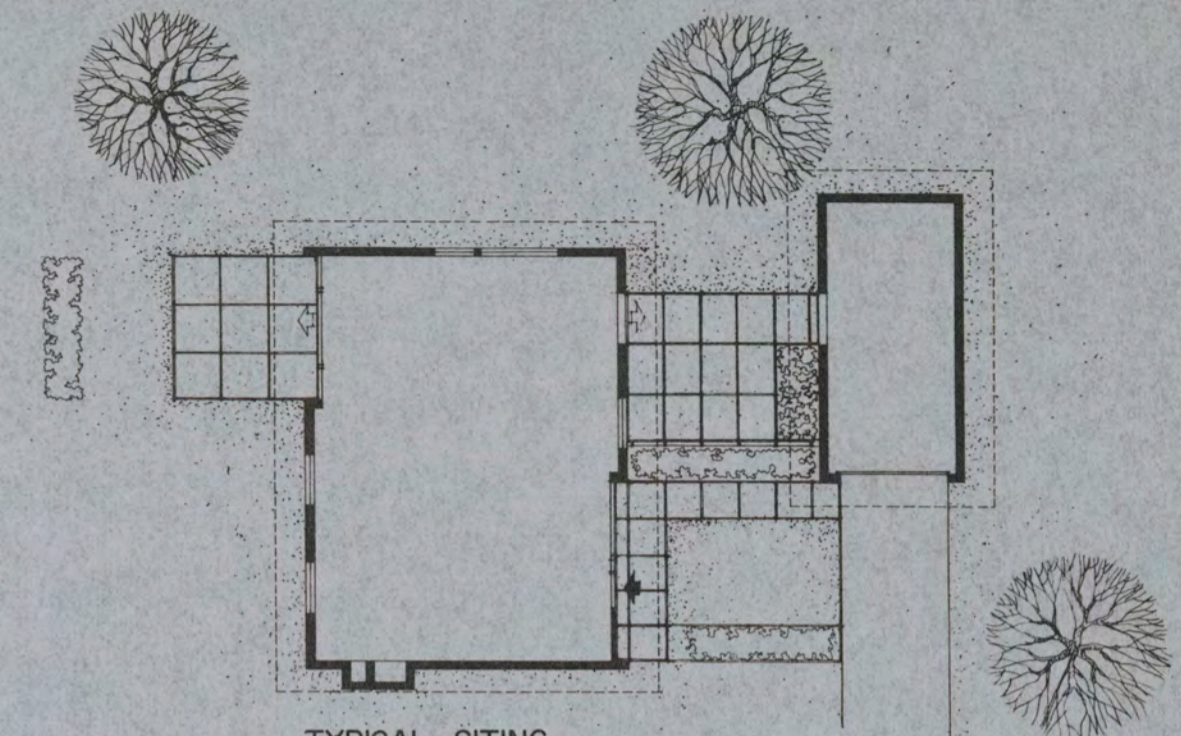
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 SO 2 1**  
 IDENTIFICATION SYMBOL OF 2



END ELEVATION



FRONT ELEVATION



TYPICAL SITING

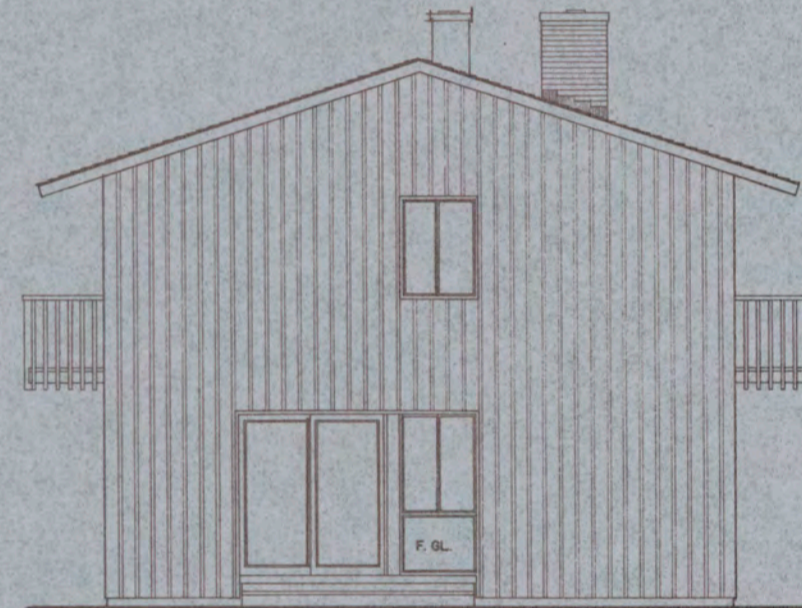


REAR ELEVATION

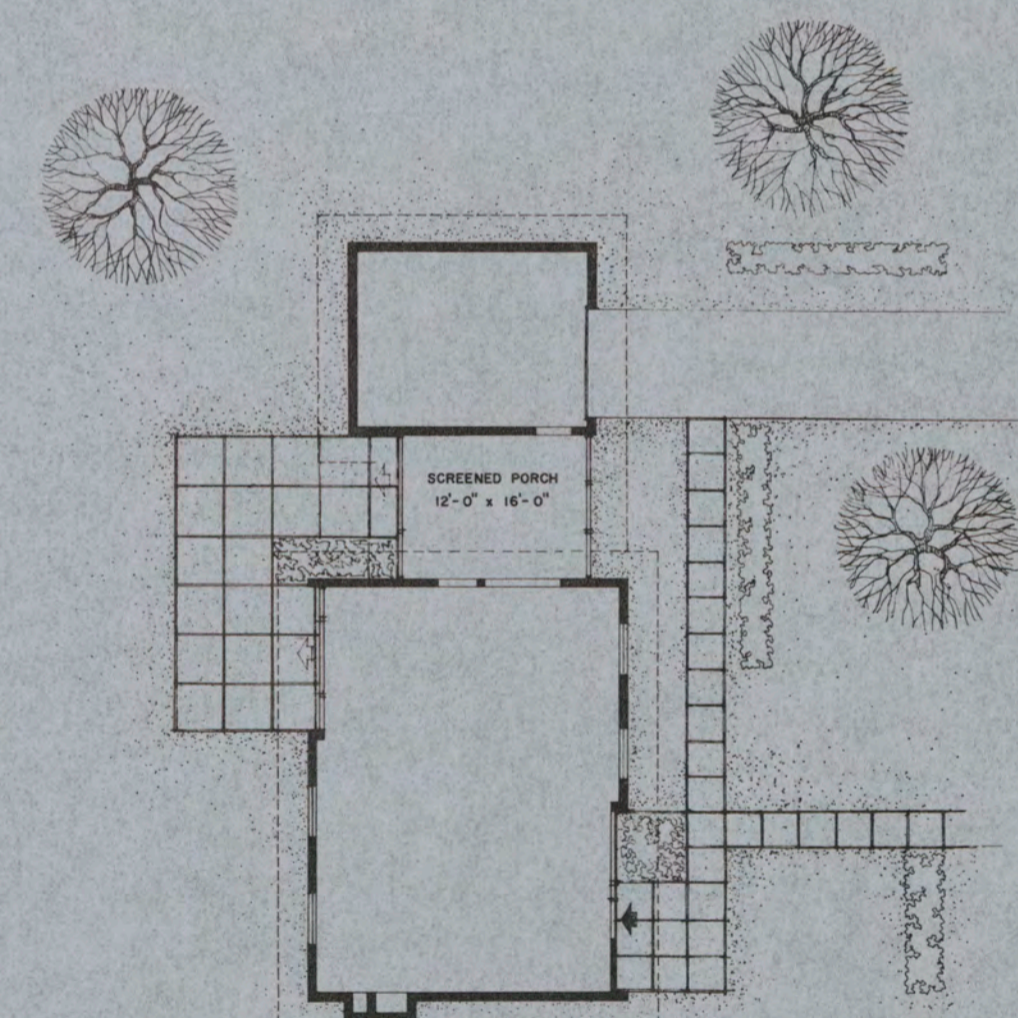


WD. SIDING, BD. & BATTEN,  
PLYWOOD, OR SHINGLES

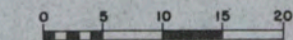
SLIDING OR CASEMENT  
WINDOWS IN WD. FRAMES



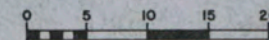
END ELEVATION



TYPICAL SITING



TYPICAL ELEVATIONS



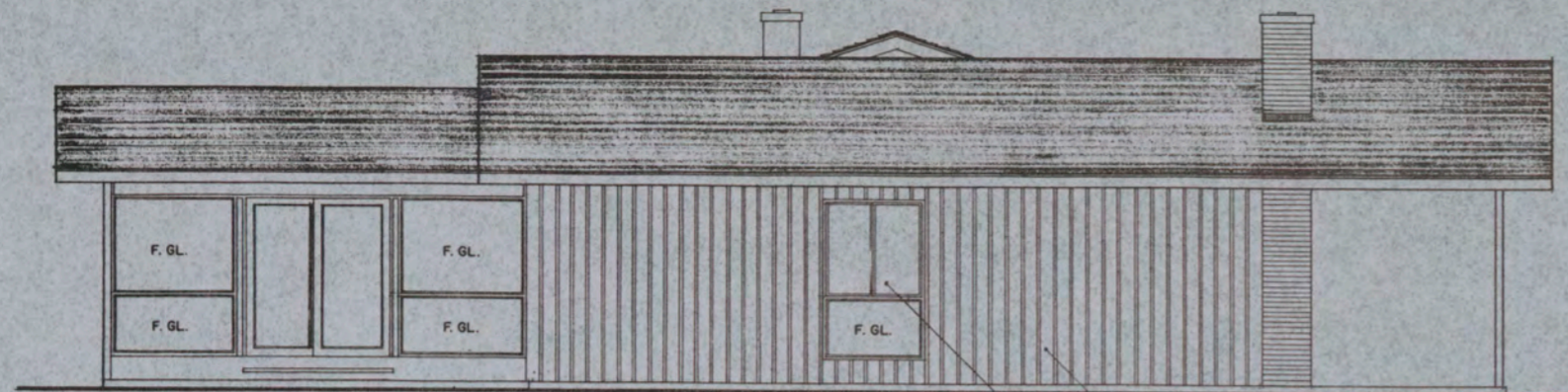
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

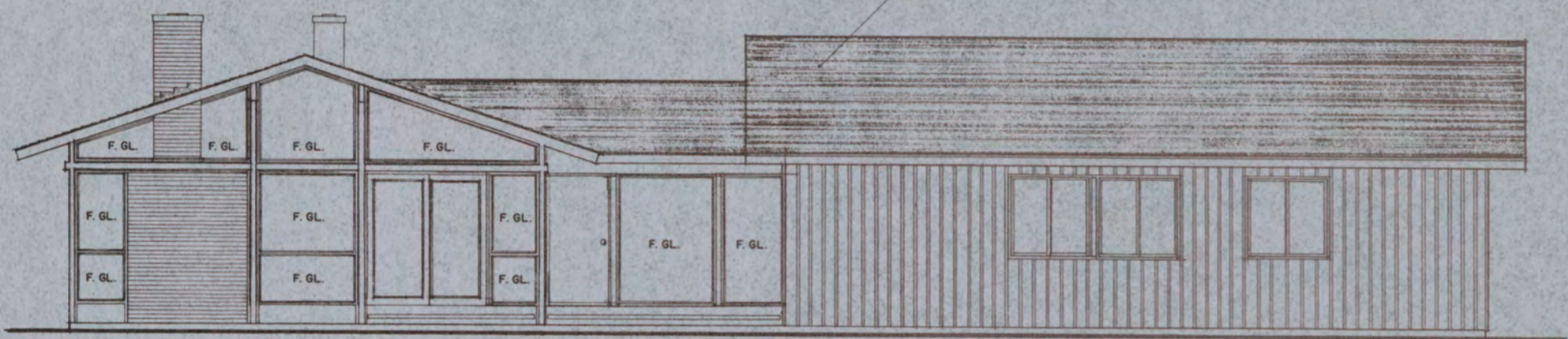
DESCRIPTION  
**SENIOR OFFICERS**  
**4 BR. 2 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
II	SO	2	2 OF 2
IDENTIFICATION SYMBOL			

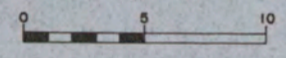


END ELEVATION

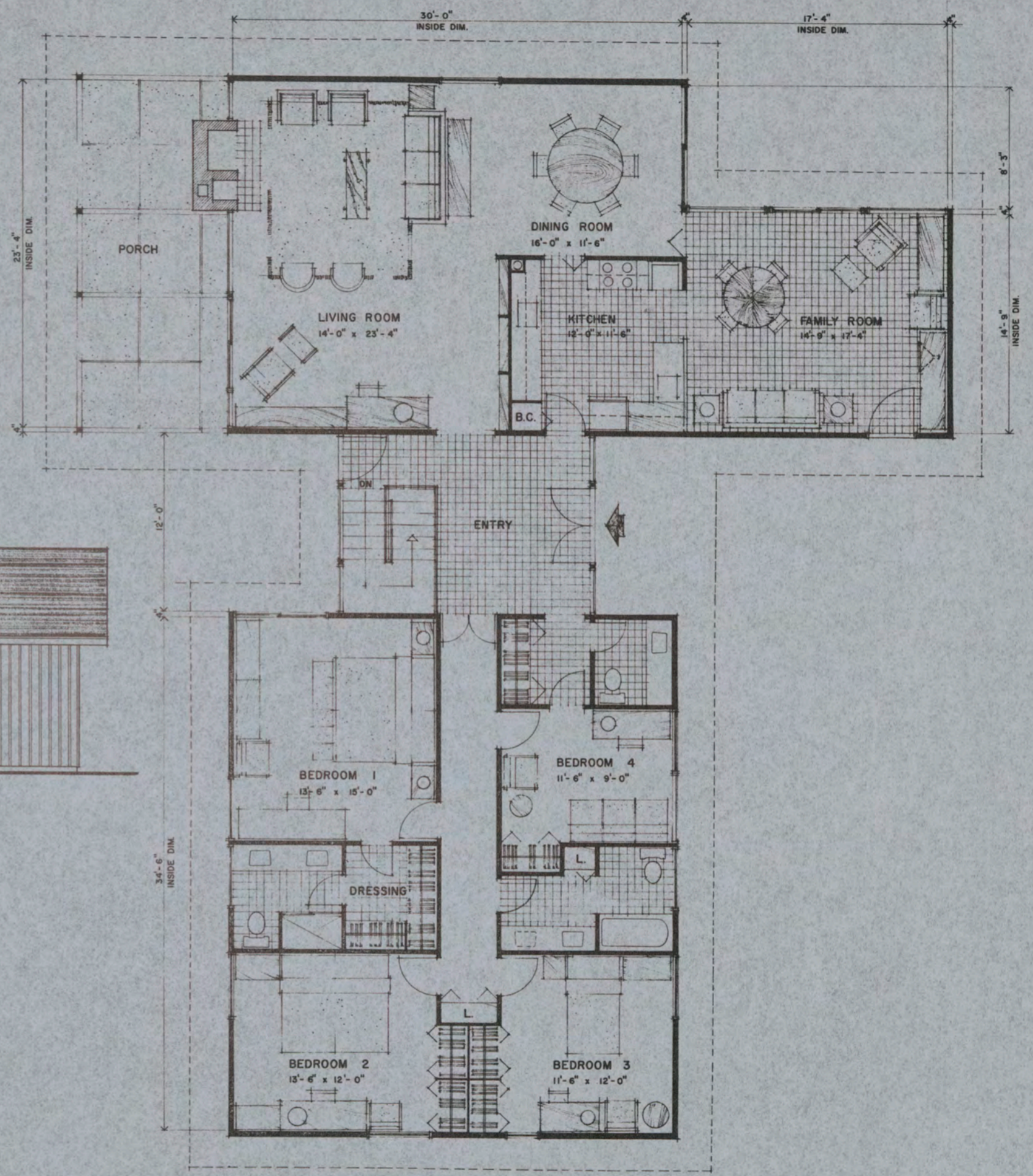
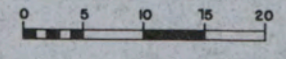
WD. SIDING, BD. & BATTEN,  
PLYWOOD, OR SHINGLES  
SLIDING OR CASEMENT  
WINDOWS IN WD. FRAMES



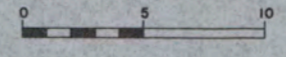
REAR ELEVATION



TYPICAL ELEVATION



FLOOR PLAN



GROSS AREA 2267 SQ. FT.  
NET AREA 2100 SQ. FT.

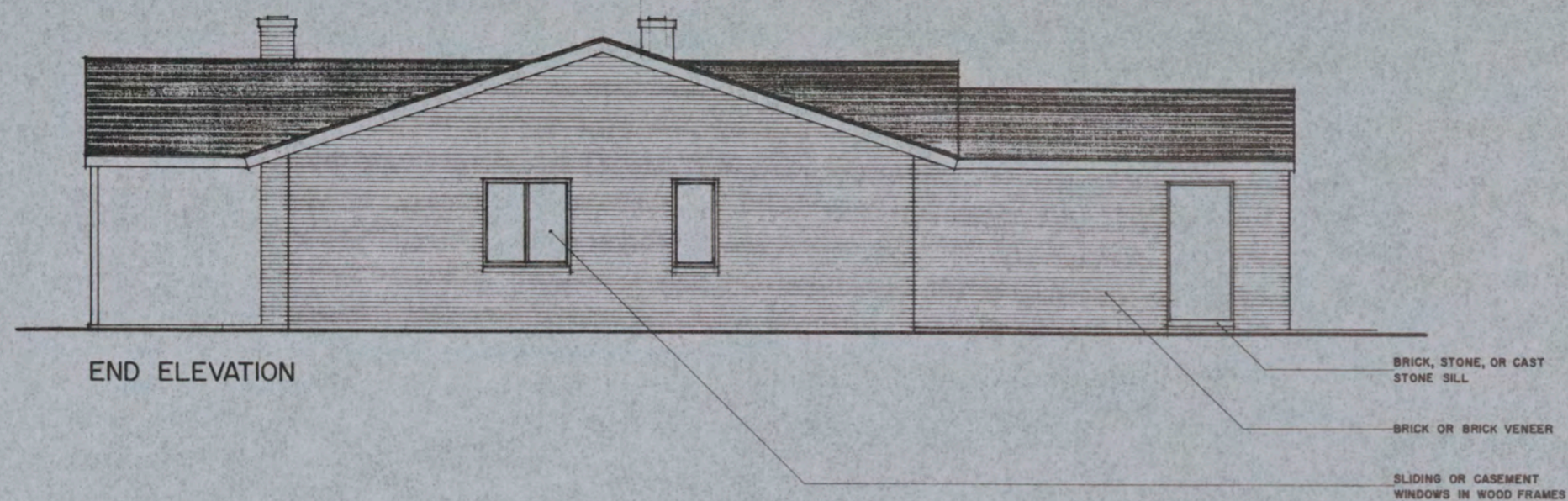
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynwood J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION  
**GENERAL OFFICERS  
4 BR. 1 STORY SINGLE**

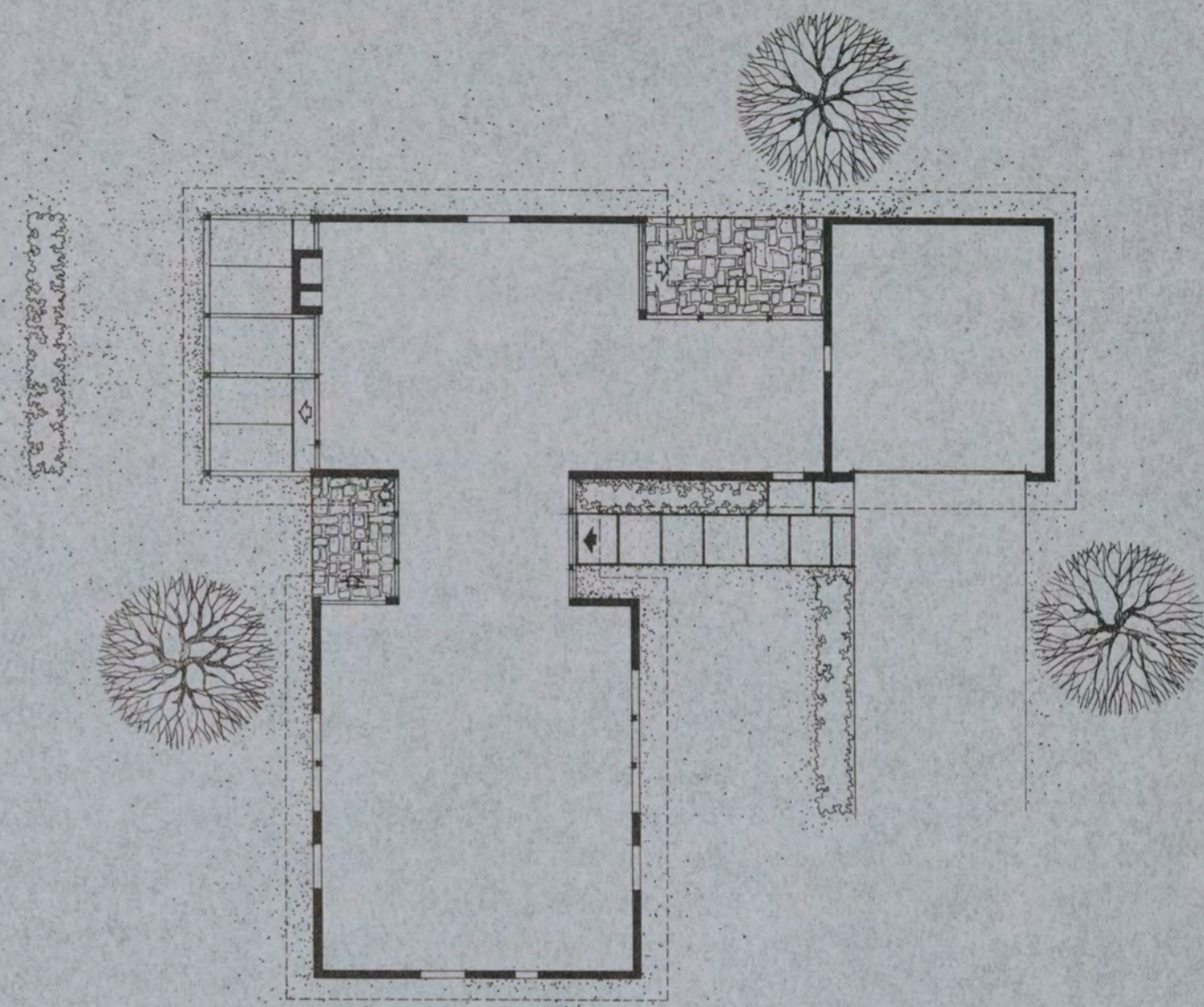
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
11	GO	1	1 OF 2
IDENTIFICATION SYMBOL			



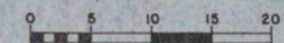
END ELEVATION



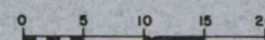
FRONT ELEVATION



TYPICAL SITING



TYPICAL ELEVATIONS



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL

*Sigmund J. Halber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS

KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

DESCRIPTION

GENERAL OFFICERS  
4 BR. 1 STORY SINGLE

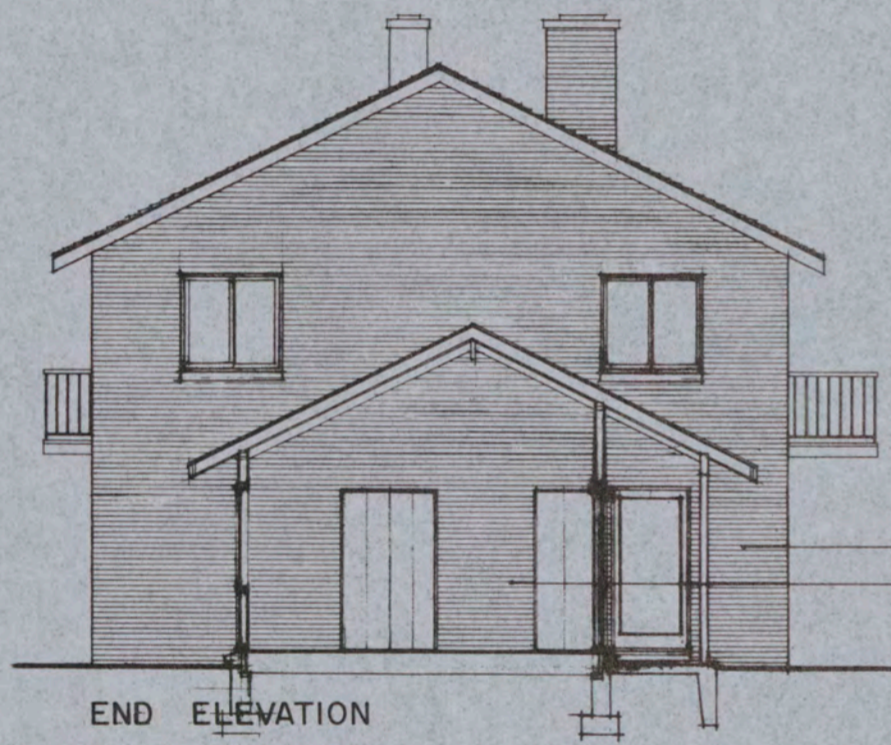
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.

11 GO 1 2  
IDENTIFICATION SYMBOL OF 2



REAR ELEVATION

BRICK, STONE OR CAST  
STONE SILL  
SLIDING OR CASEMENT  
WINDOWS IN WD. FRAMES

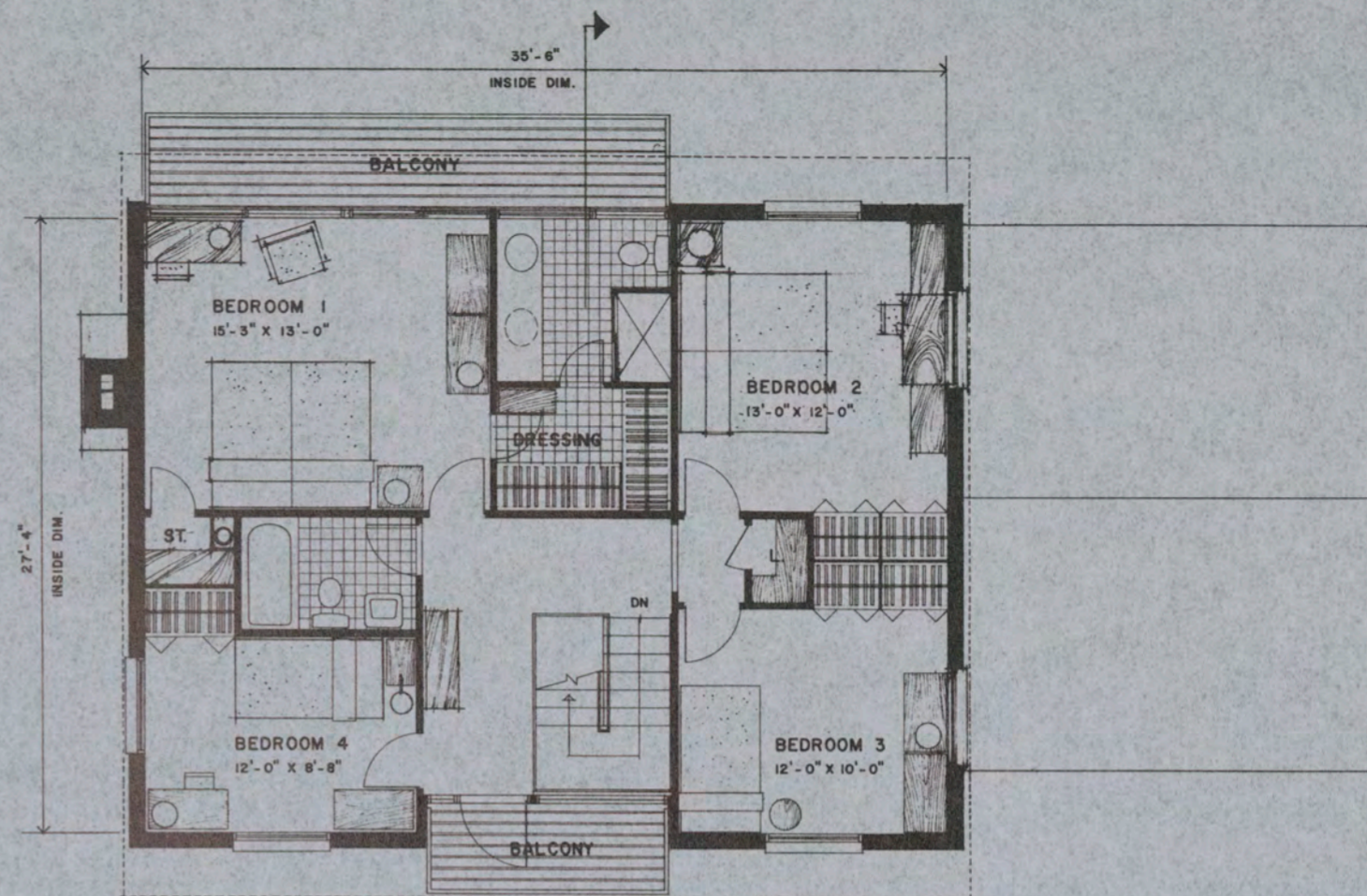


END ELEVATION

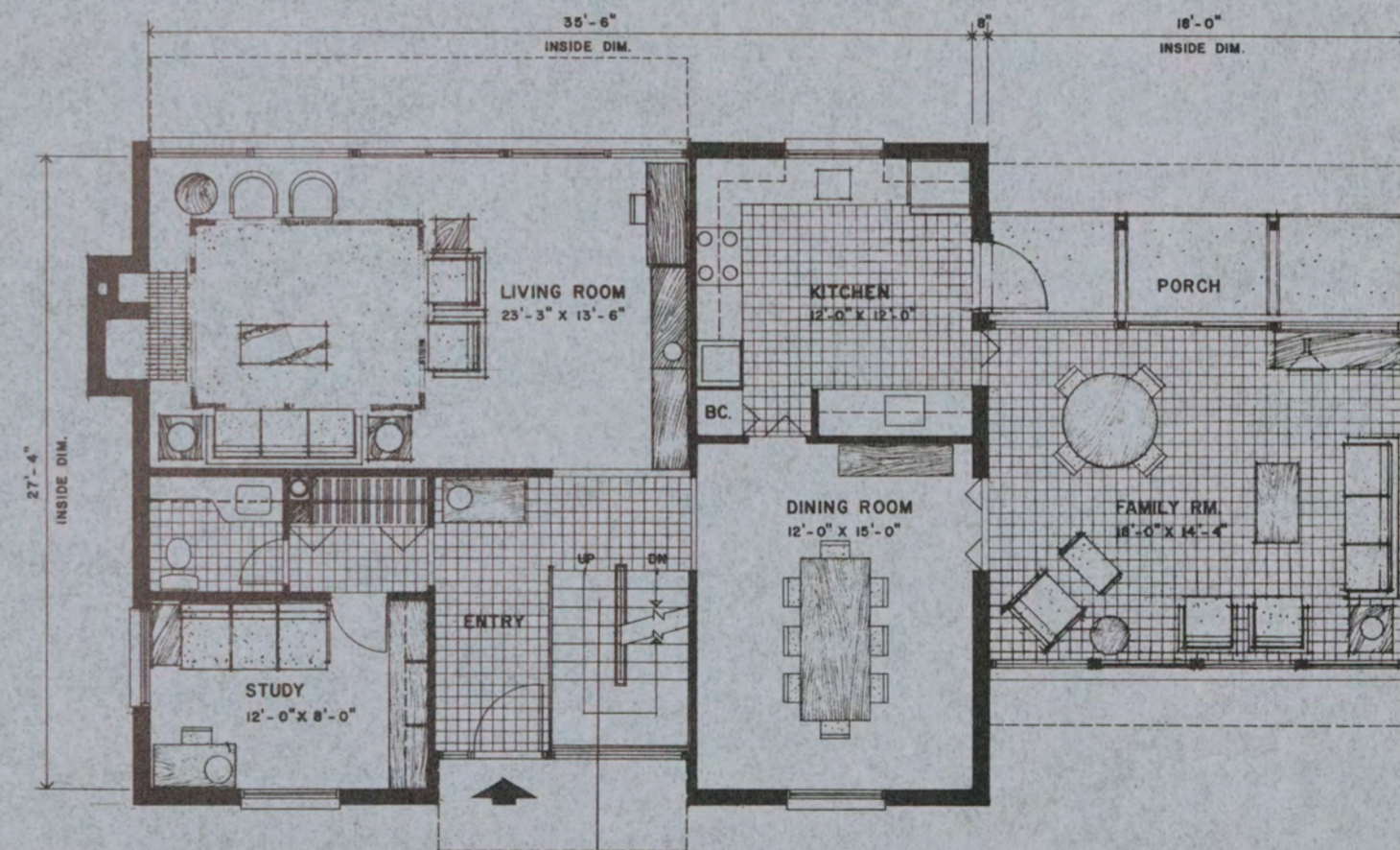
BRICK OR BRICK VENEER  
SECTION THRU FAMILY RM.



TYPICAL ELEVATIONS



UPPER FLOOR PLAN



LOWER FLOOR PLAN

GROSS AREA 2267 SQ.FT.

NET AREA 2054 SQ.FT.

# DEPARTMENT OF DEFENSE — FAMILY HOUSING

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**APPROVAL**

*Richard J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

**ARCHITECTS**

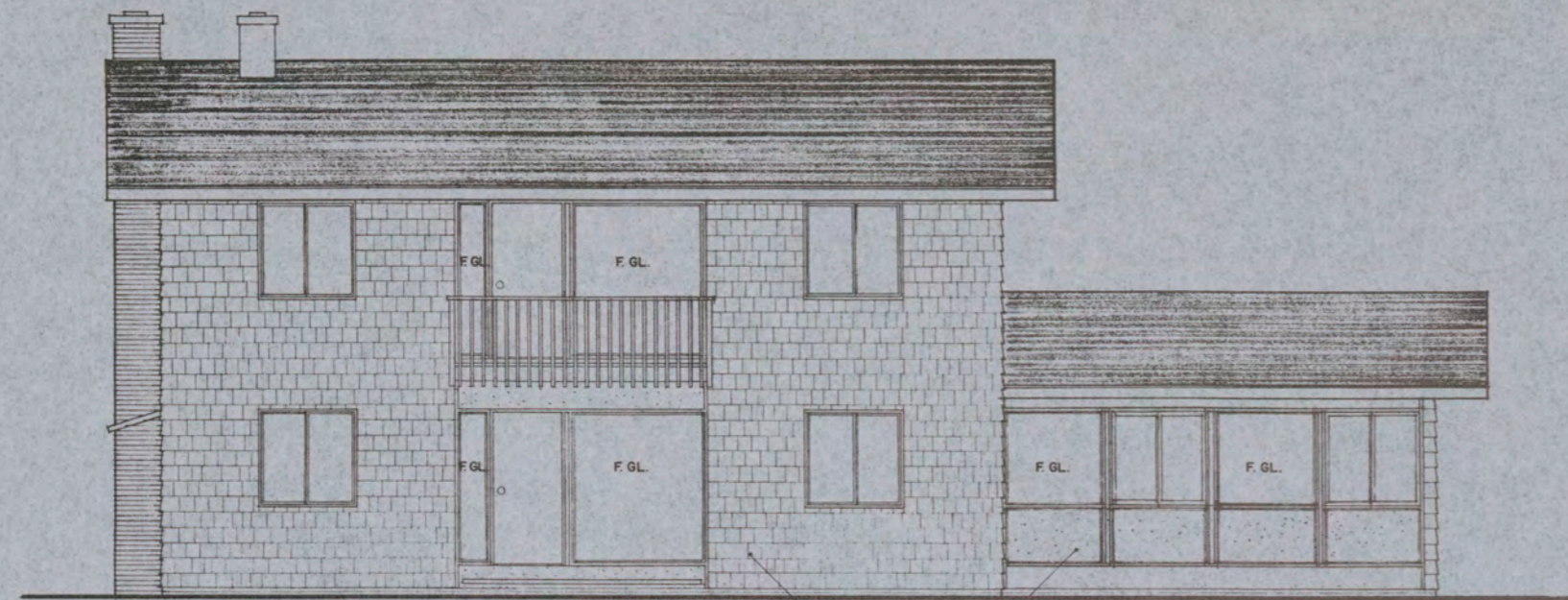
KEYES, LETHBRIDGE  
& CONDON - ARCHITECTS  
WASHINGTON D. C.

**DESCRIPTION**

GENERAL OFFICERS  
4 BR. 2 STORY SINGLE

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.

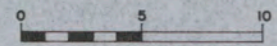
11 GO 2 1  
IDENTIFICATION SYMBOL OF 2



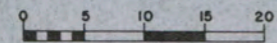
FRONT ELEVATION



END ELEVATION



TYPICAL ELEVATIONS



PLYWD., FIBREBOARD, OR CEMENT ASBESTOS PANEL

WD. SIDING, BD. & BATTEN, PLYWD., OR SHINGLES

PREFABRICATED CHIMNEY

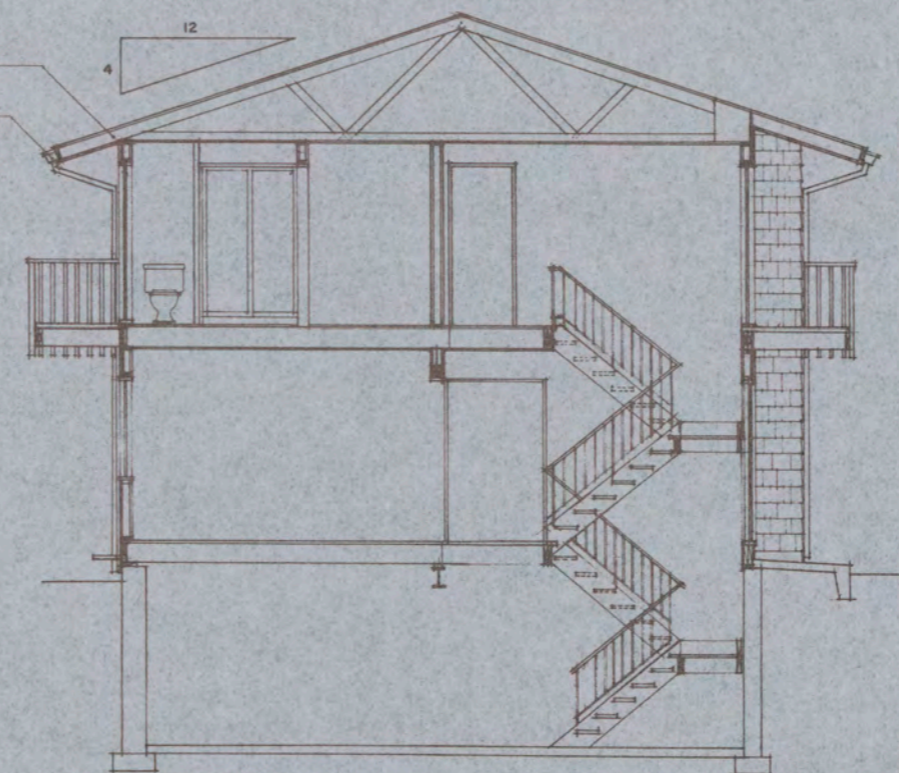
COMPOSITION SHINGLES

WD. TRUSSES 2'-0" O.C.

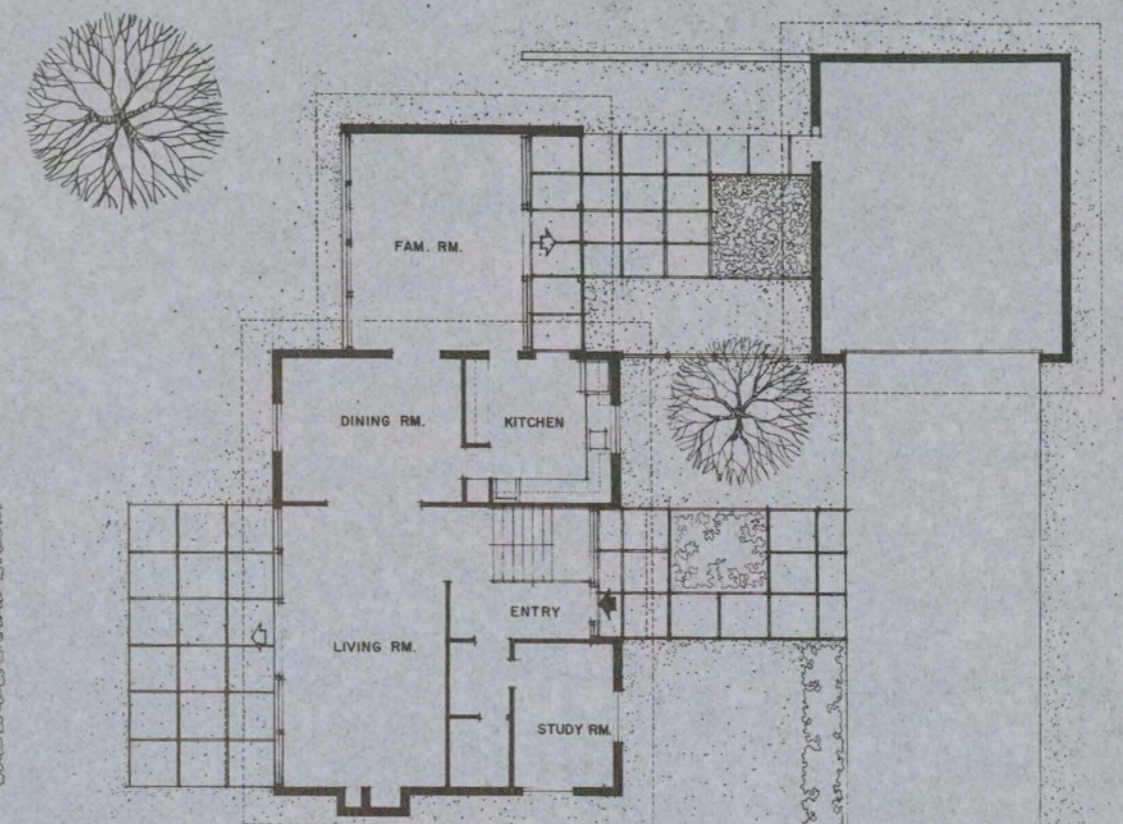
GUTTERS & DOWNSPOUTS WHERE REQUIRED

SLIDING OR CASEMENT WINDOWS IN WD. FRAMES

BALCONY

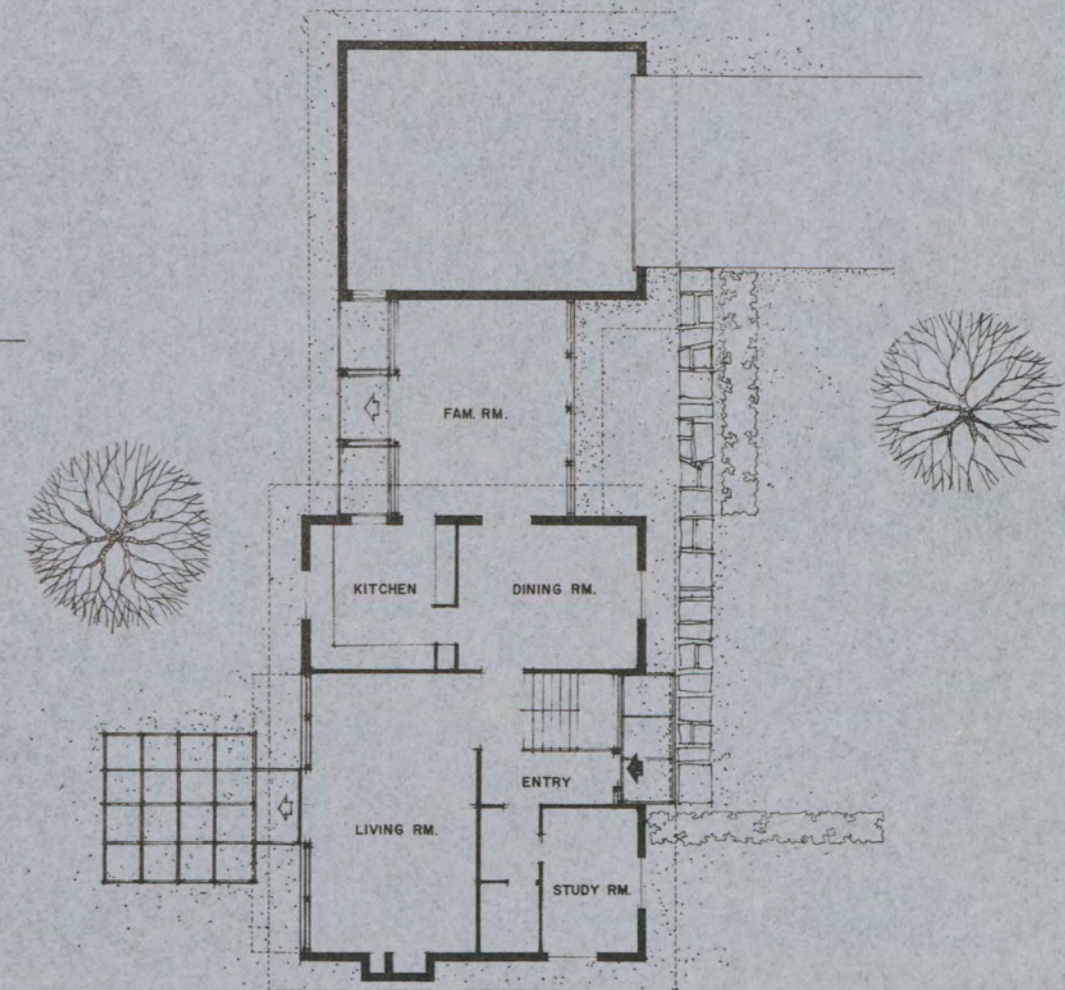


SECTION

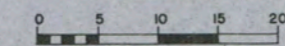


TYPICAL SITING

ALTERNATE LOCATION OF KITCHEN & DINING RM.



TYPICAL SITING



# DEPARTMENT OF DEFENSE — FAMILY HOUSING

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

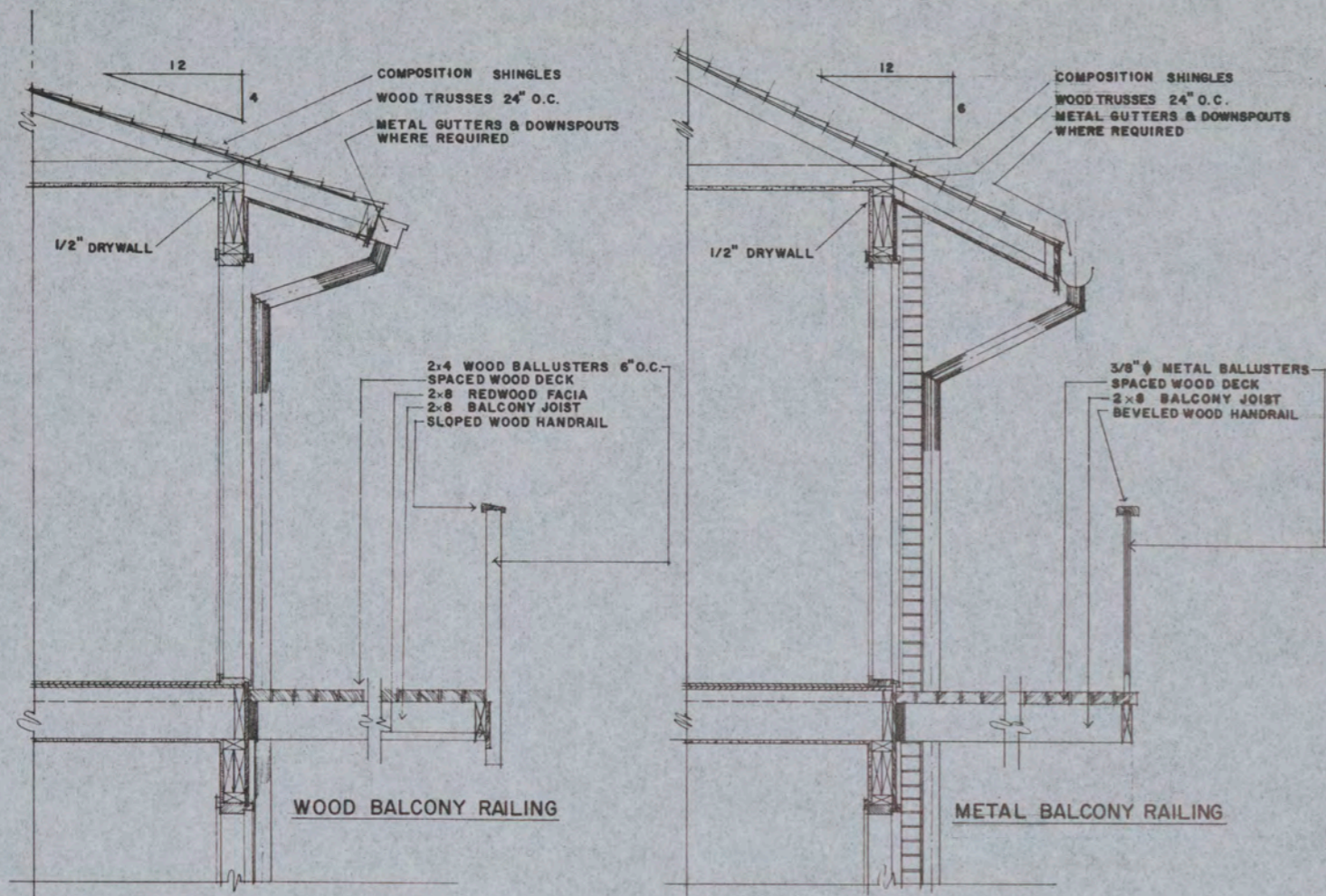
APPROVAL  
*Signed J. Garber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

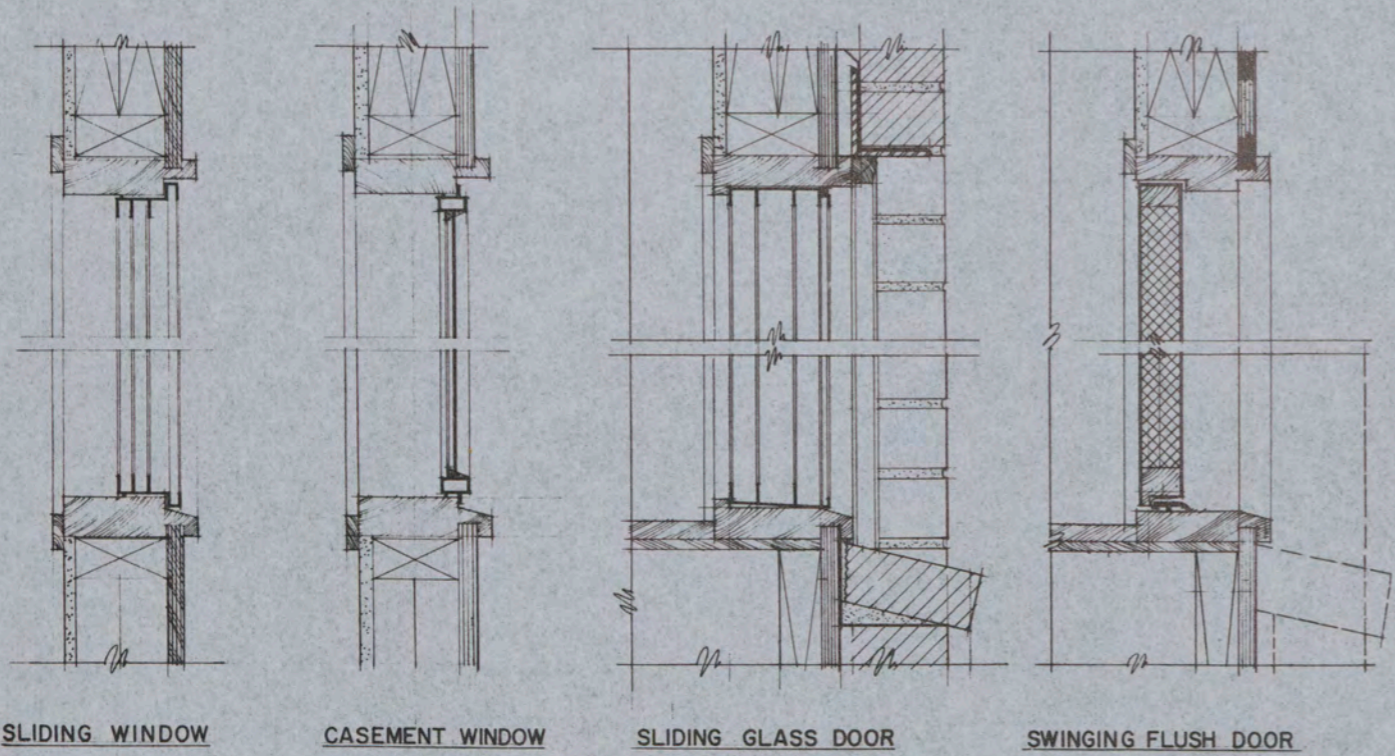
DESCRIPTION  
**GENERAL OFFICERS  
 4 BR. 2 STORY SINGLE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**11 GO 2**  
 IDENTIFICATION SYMBOL **2 OF 2**

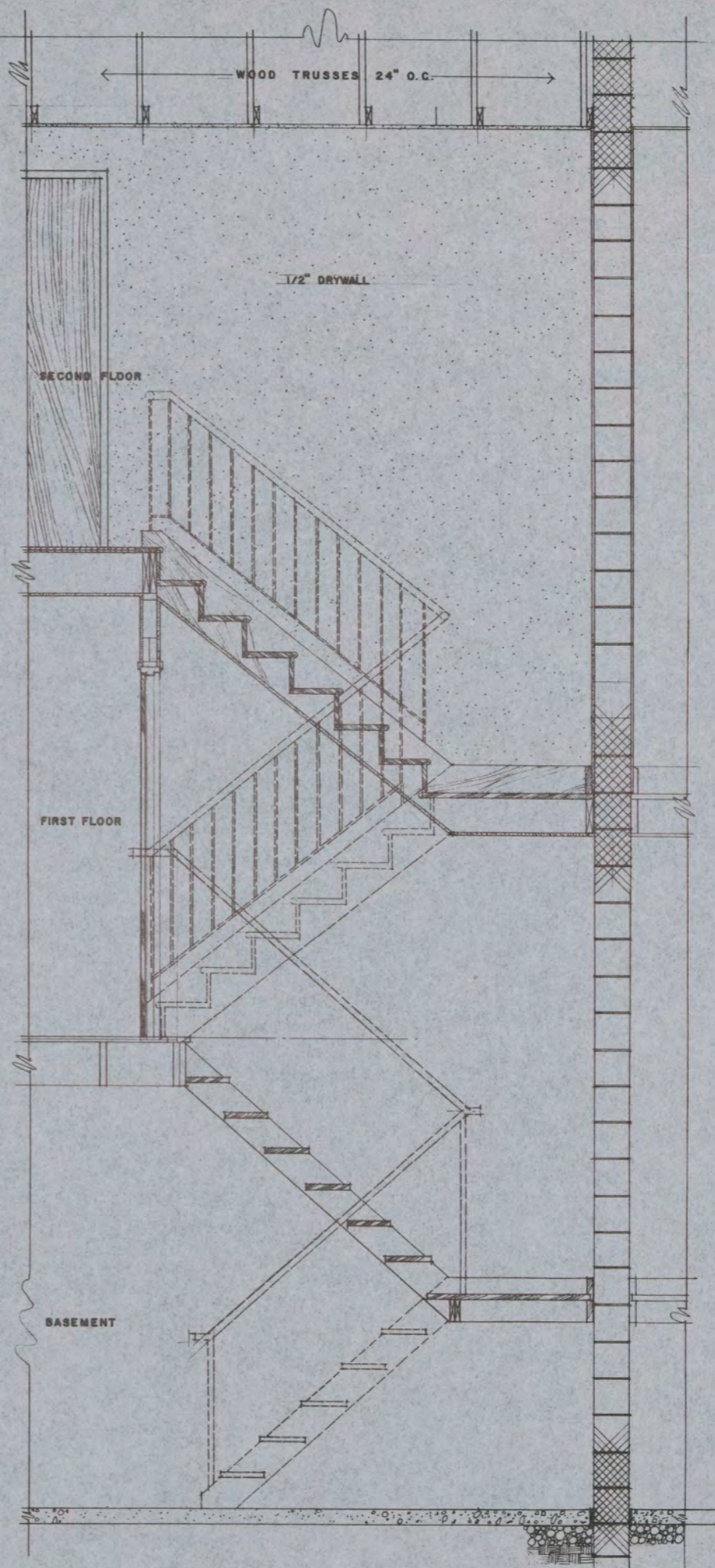




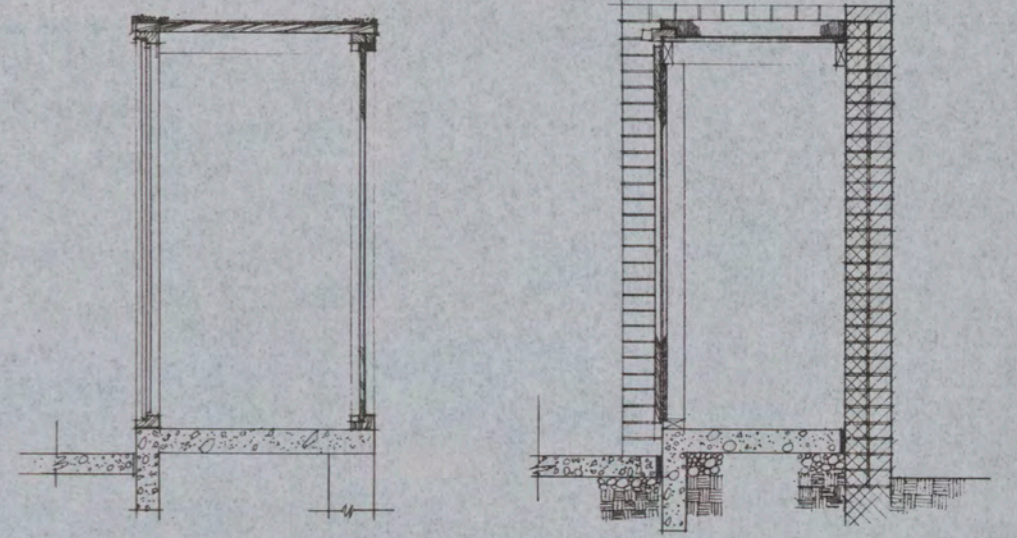
TYPICAL WALL SECTIONS  
3/8" = 1'-0"



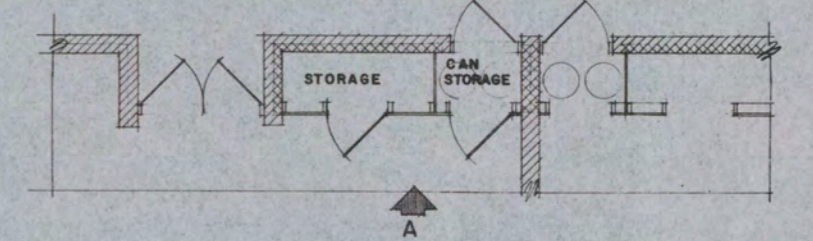
TYPICAL DOOR AND WINDOW DETAILS  
1/8" = 1'-0"



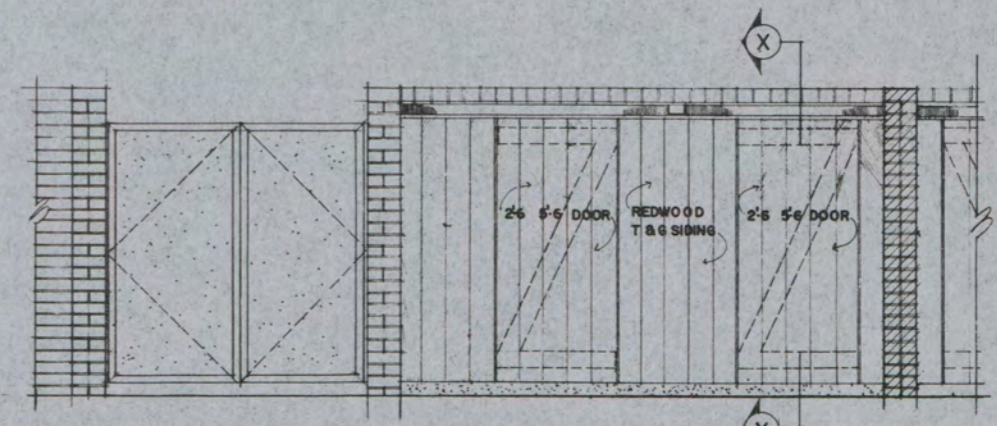
TYPICAL STAIR  
3/8" = 1'-0"



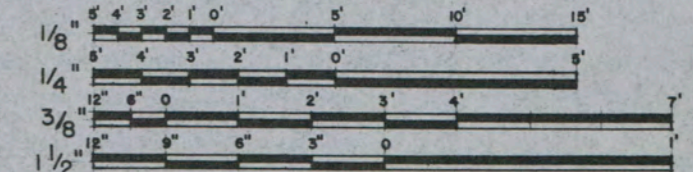
ALTERNATE WOOD STORAGE UNIT  
3/8" = 1'-0"



PLAN  
1/8" = 1'-0"



ELEVATION AT A  
1/4" = 1'-0"



GRAPHIC SCALES

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 KEYES, LETHBRIDGE  
 & CONDON - ARCHITECTS  
 WASHINGTON D. C.

DESCRIPTION  
**DETAILS**

DESIGN GROUP  
**II DETAILS**  
 IDENTIFICATION SYMBOL

SHEET NO.  
**1**  
 OF  
**1**

## DESIGN GROUP III

### GENERAL REMARKS

Design Group III contains Town House units of three and four bedrooms for Enlisted Men and Company Grade Officers in Warm Climate zones.

#### SITE PLANNING

The designs of this Group were based on the following general objectives of site planning:

Provide maximum separation of pedestrians from vehicular traffic, both within the housing area, from unit to unit, and between the housing area and the related base facilities.

Eliminate automotive traffic from movement within housing development wherever possible, and facilitate vehicular traffic by designing a loop road for site and using culs-de-sac when feasible.

Develop a grouping of living units with no more than twenty families occupying one cluster, to achieve individuality and identification.

Group the several buildings in each cluster to relate to certain common facilities.

Provide space in motor court for residents' cars, and locate the cars as near to respective living units as feasible, screening the area with plant materials to minimize the visual impact of the parked cars.

Encourage the increased use of related indoor and outdoor spaces by including essential privacy screening by means of plant materials or fences.

Provide greenbelts and recreational areas common to the various housing clusters.

The site plan illustrates how clusters of town houses and single family dwellings fit into a total site design. The articulation

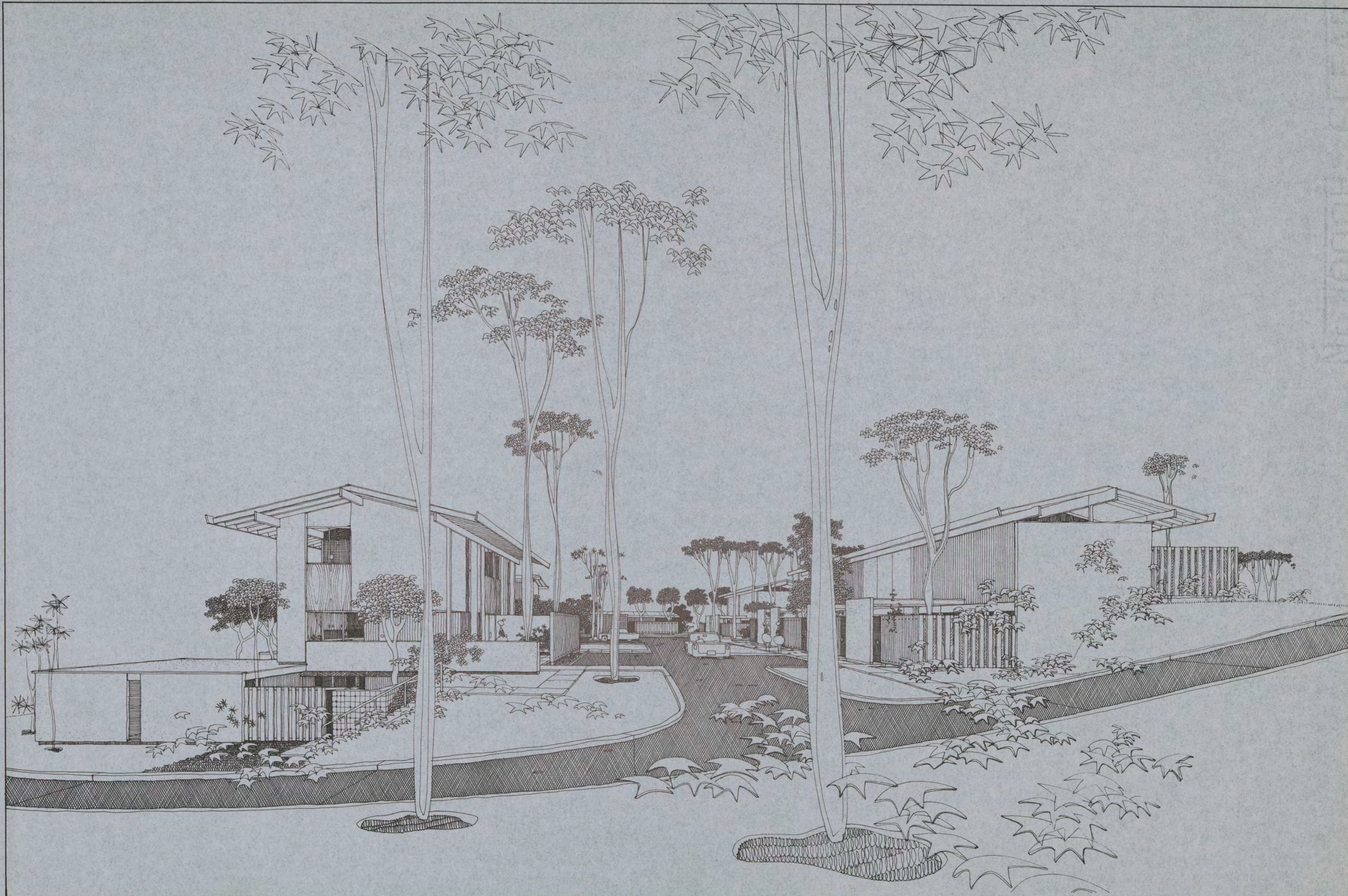
of greenbelts and recreational areas accomplishes the two-sided objective of unifying the site elements and separating the housing clusters from each other. The units of Design Group III provide outdoor facilities for each unit which is in close proximity to common recreational areas.

#### UNIT PLANNING

These plans have been designed to accommodate the maximum flexibility in their adaptation to level through rather steep sloping sites. It should be noted that some of the plans that have been designed for a hillside condition are adaptable to a level site. Although several variations in roof systems and finished materials have been indicated on the drawings, it is not the intention that all should be used in any given project. Unity can only be obtained by the consistent use of materials in one community.

The plans have been drawn assuming wood stud structural system, but other systems such as concrete block may be used in accordance with local conditions of availability and practice. It should be noted that in certain areas of earthquake hazard the stud system would be most practical. If concrete block (with all cells filled) is not used for party walls, double stud and sound insulation is imperative.

Under certain site plan conditions, the carport may be attached to the unit using the fence of the entry court as the backwall of the carport. Clustered carport and motor court schemes provide maximum economy in project development. The living courts should be fenced so that they can provide an area for infants to play out-of-doors and under the mother's supervision with no worry for the safety of the child.

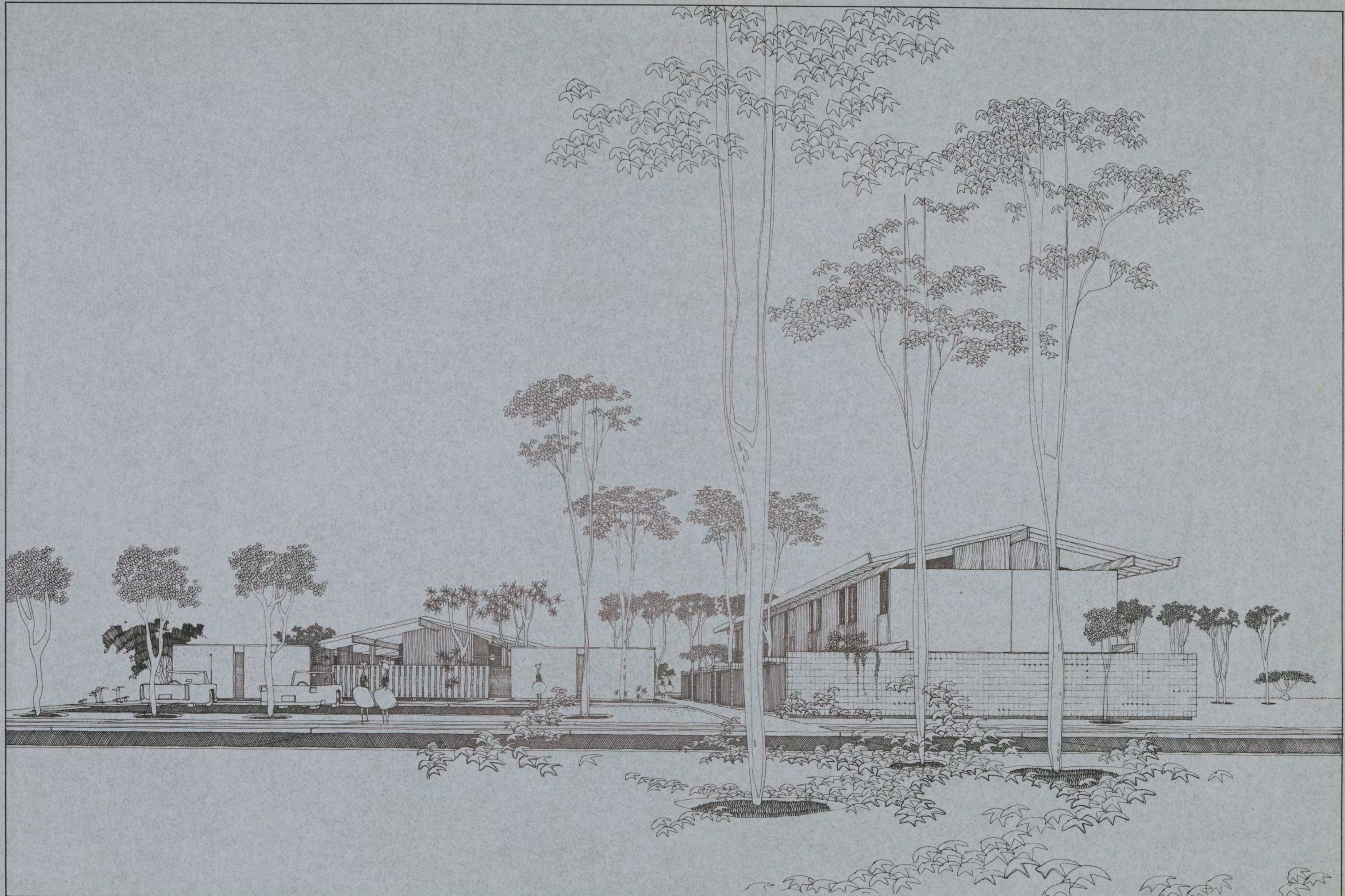


**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

**DESCRIPTION**  
**ENTRANCE COURT VIEW**  
**ENLISTED MEN'S UNITS**  
**ON HILLSIDE SITE**

**DESIGN GROUP**  
**III VIEW 1**  
 IDENTIFICATION SYMBOL



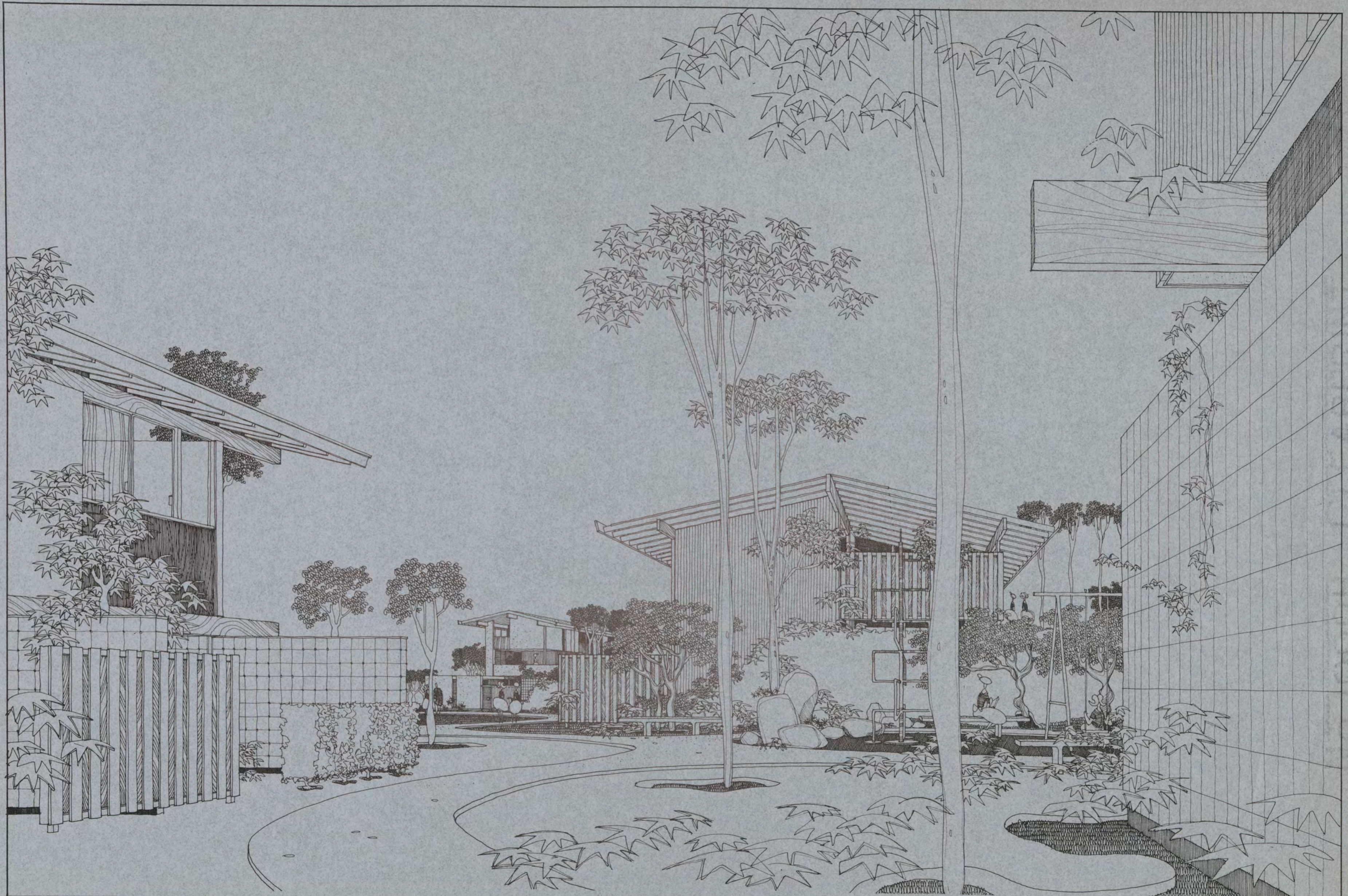
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

**DESCRIPTION**  
**STREET VIEW**  
**COMPANY GRADE OFFICERS UNITS**  
**ON FLAT SITE**

DESIGN GROUP  
**III VIEW 2**  
IDENTIFICATION SYMBOL

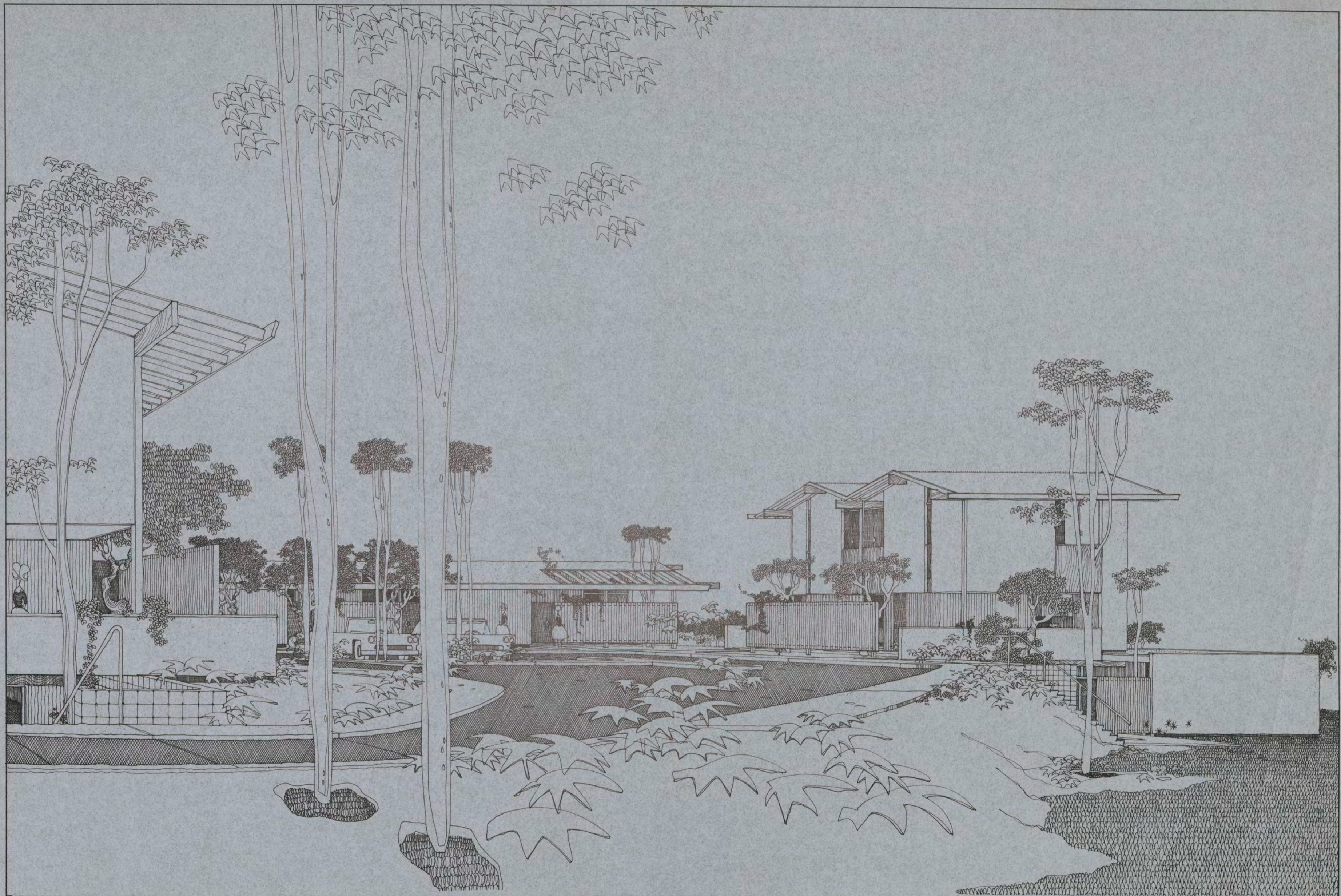


**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES • ARCHITECTS  
 LOS ANGELES CALIF.

**DESCRIPTION**  
**GARDEN VIEW**  
**ENLISTED MEN'S HOUSING UNITS**

**DESIGN GROUP**  
**III VIEW 3**  
 IDENTIFICATION SYMBOL



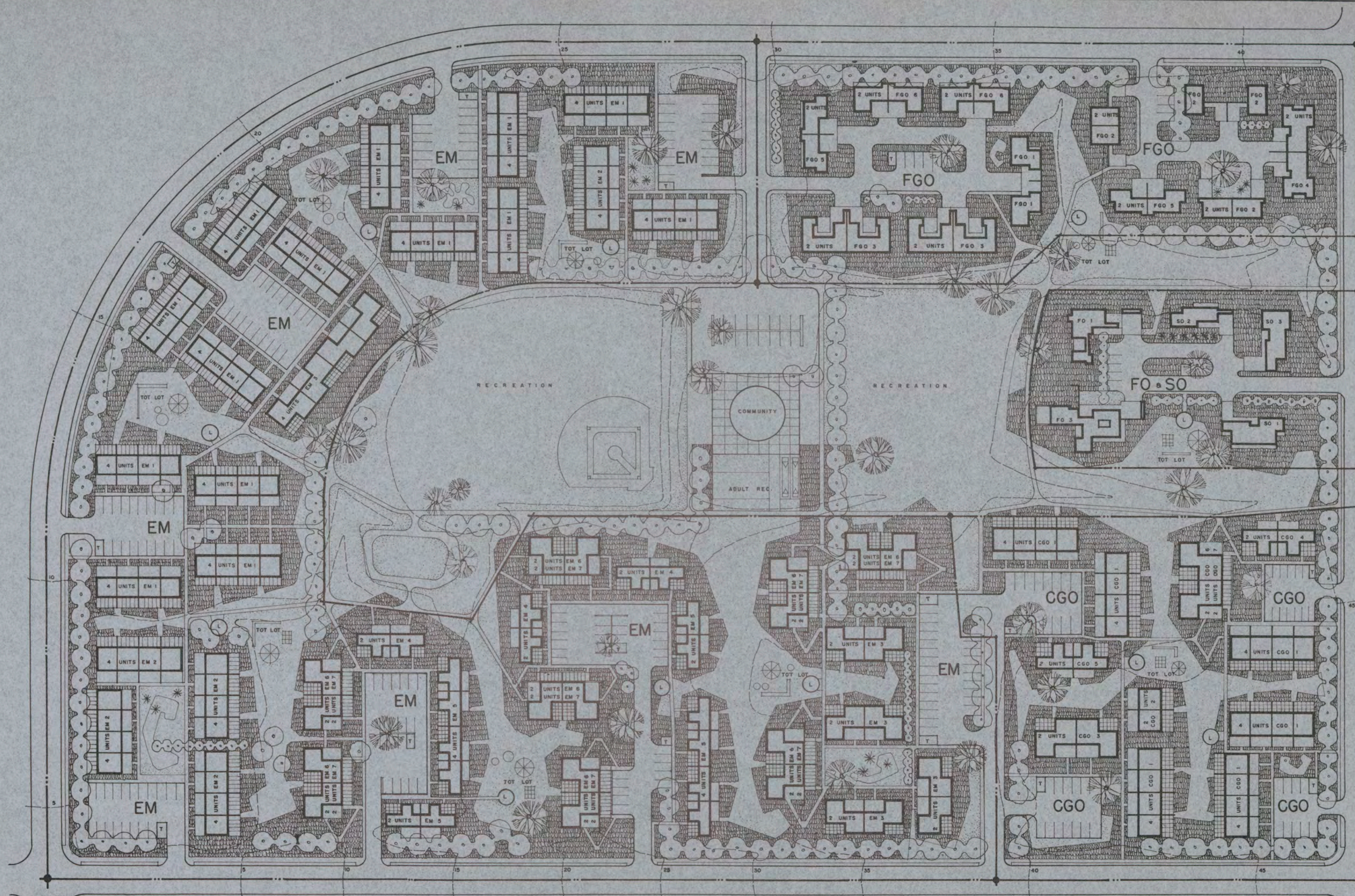
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

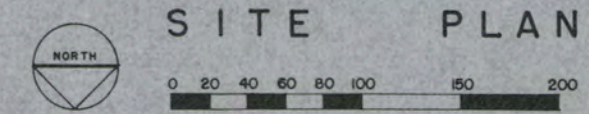
**ARCHITECTS**  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

**DESCRIPTION**  
**STREET VIEW**  
**ENLISTED MEN'S HOUSING UNITS**

**DESIGN GROUP**  
**III VIEW 4**  
 IDENTIFICATION SYMBOL



CLASSIFICATION	NUMBER OF BEDROOMS	NO. OF LIVING UNITS AND PERCENTAGE	TYPE	LAND AREA	DENSITY / GROSS ACRE	DENSITY / NET ACRE
EM	ENLISTED MEN 3 4	18 20 138 TOTAL 69%	TOWNHOUSE TOWNHOUSE	10.50 ACRES	8.8 UNITS / ACRE	12.5 UNITS / ACRE
CGO	COMPANY GRADE OFFICERS 3 4	30 6 36 TOTAL 18%	TOWNHOUSE TOWNHOUSE	4.15 ACRES	8.6 UNITS / ACRE	12.0 UNITS / ACRE
FGO	FIELD GRADE OFFICERS 3 4	14 8 22 TOTAL 11%	DUPLEX DUPLEX	4.00 ACRES	5.5 UNITS / ACRE	8.0 UNITS / ACRE
SO & FO	SENIOR OFFICERS FLAG OFFICERS 3 4	3 2 5 TOTAL 2%	SINGLE SINGLE	1.25 ACRES	4.0 UNITS / ACRE	5.6 UNITS / ACRE
RECREATION				5.10 ACRES		
TOTAL :		201 LIVING UNITS	TOTAL : 30.00 ACRES (INCLUDING RECREATION OF 5.10 ACRES)			



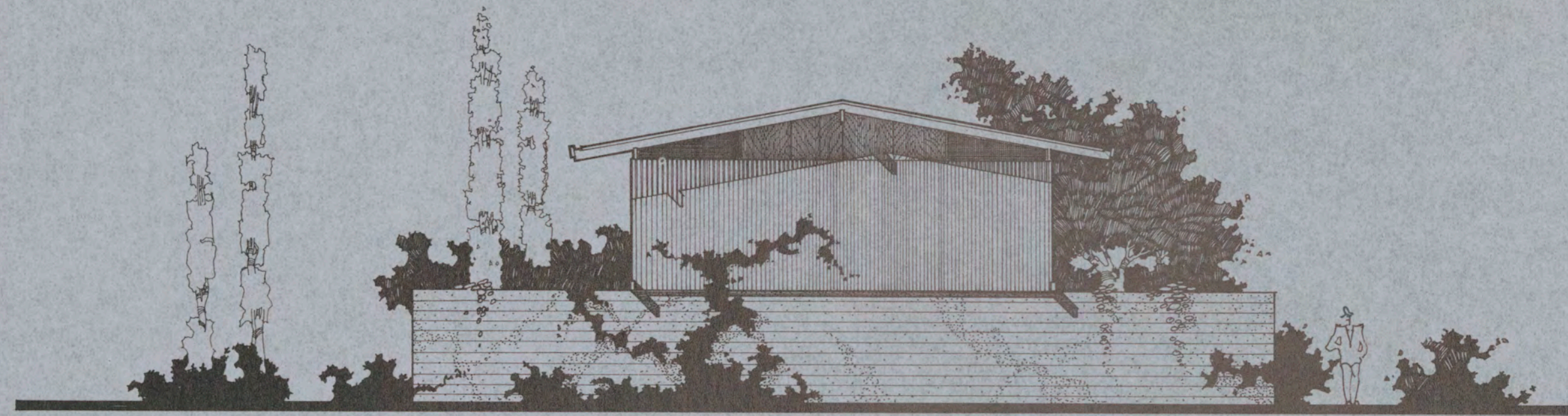
SITE PLAN

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

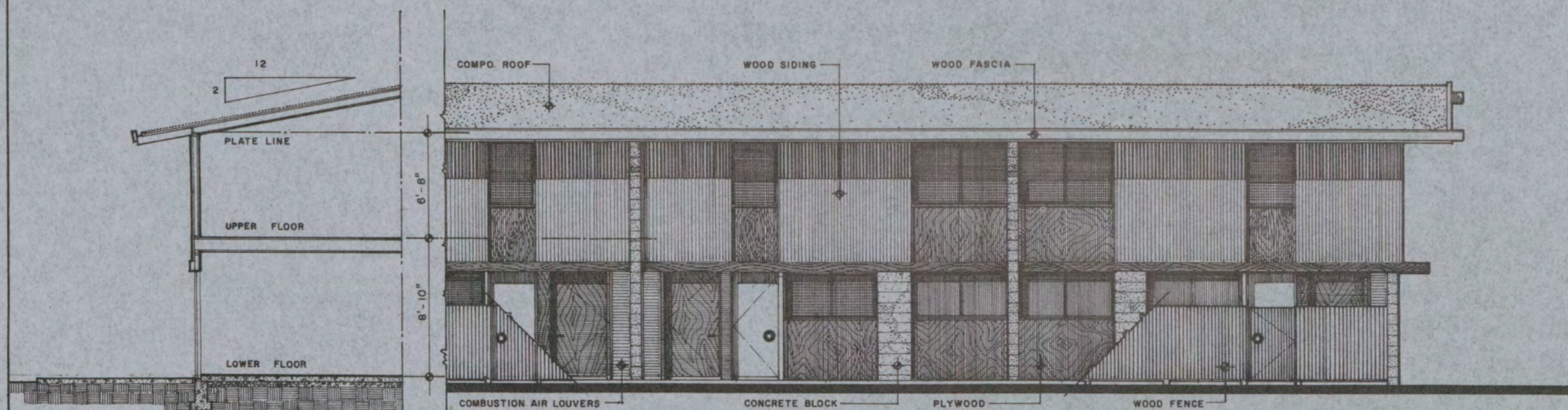
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**DESIGN GROUP III**  
**SITE PLAN**

DESIGN GROUP  
**III SITE**  
 IDENTIFICATION SYMBOL

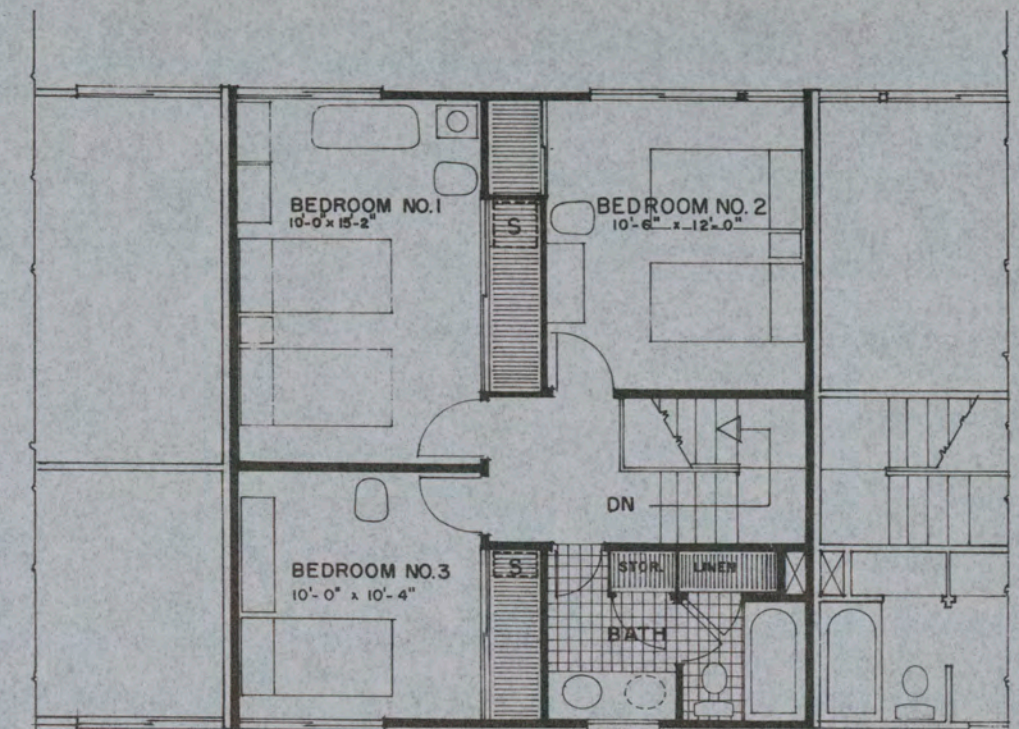


END ELEVATION (WEST)

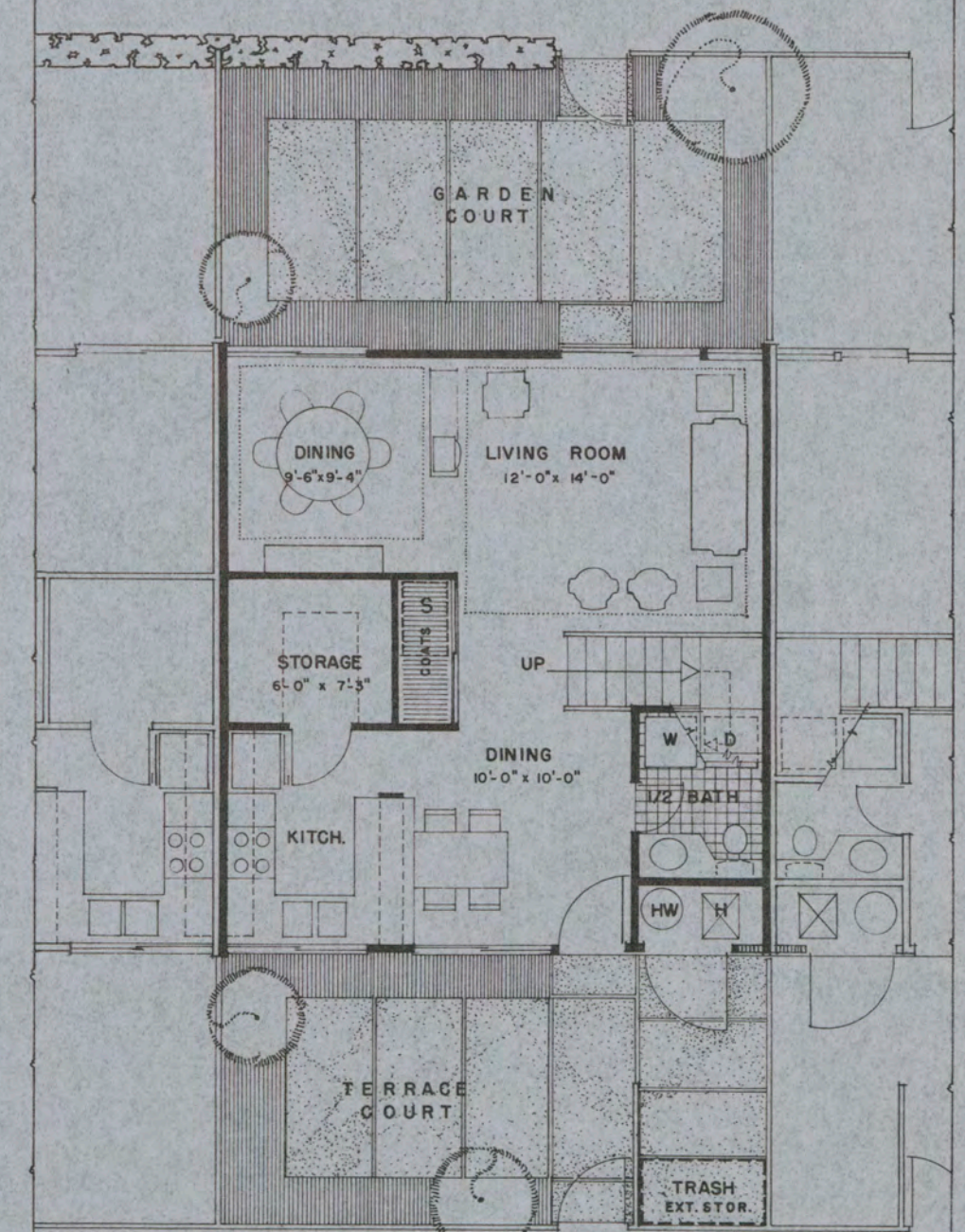


1/2 SECTION

SIDE ELEVATION (SOUTH)



UPPER FLOOR PLAN (BEDROOM LEVEL)



LOWER FLOOR PLAN (ENTRY LEVEL)

0' 5' 10'



GROSS AREA 1272 SQ.FT.  
NET AREA 1013 SQ.FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

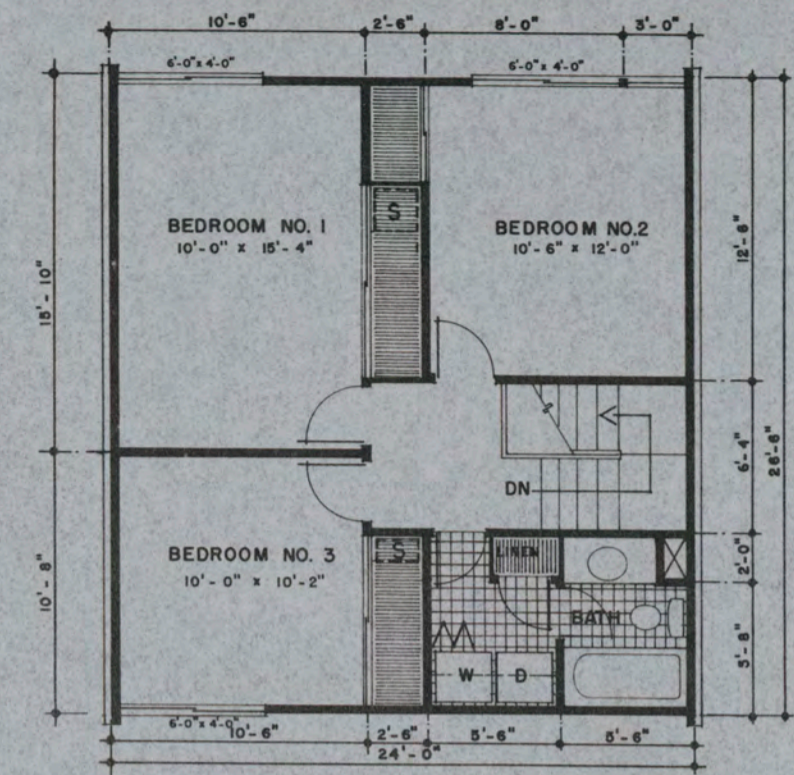
APPROVAL  
*Signed J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

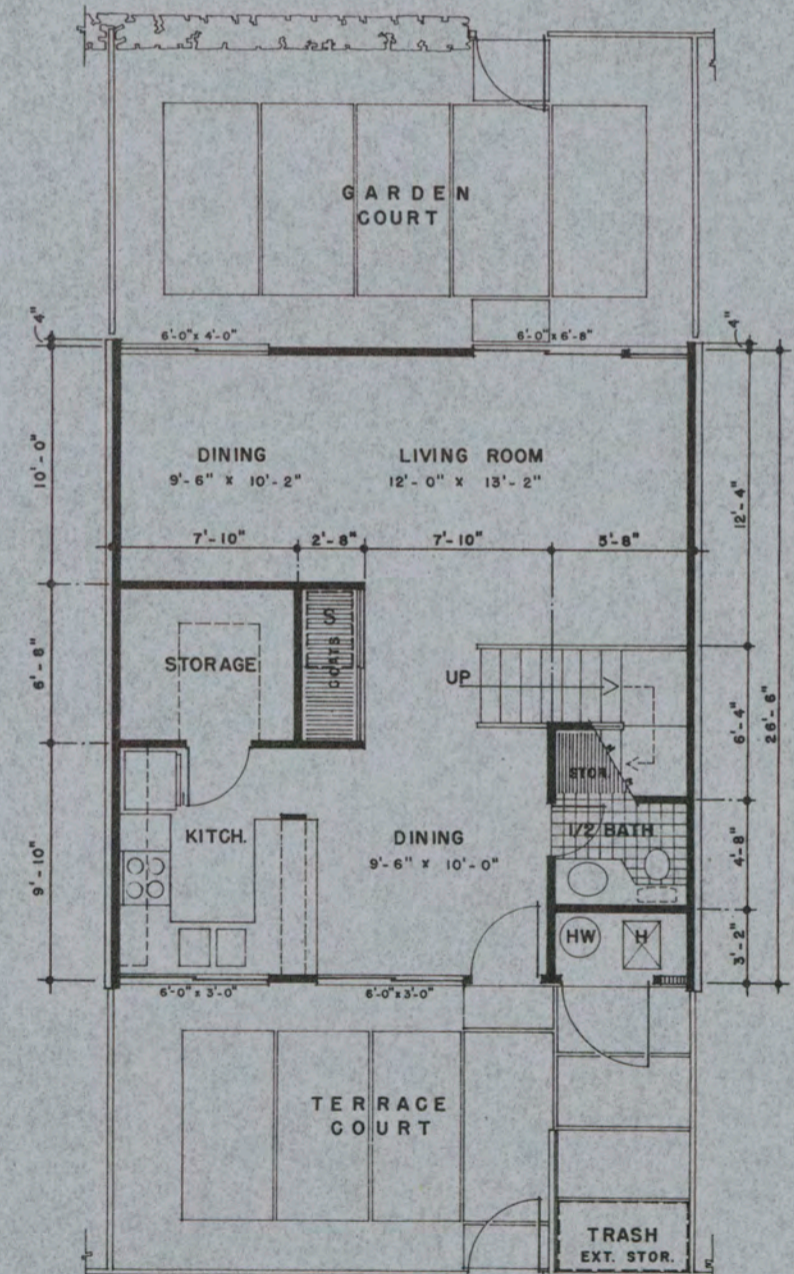
DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 1a** **1**  
IDENTIFICATION SYMBOL **OF 2**

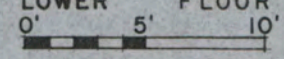




UPPER FLOOR PLAN (BEDROOM LEVEL)

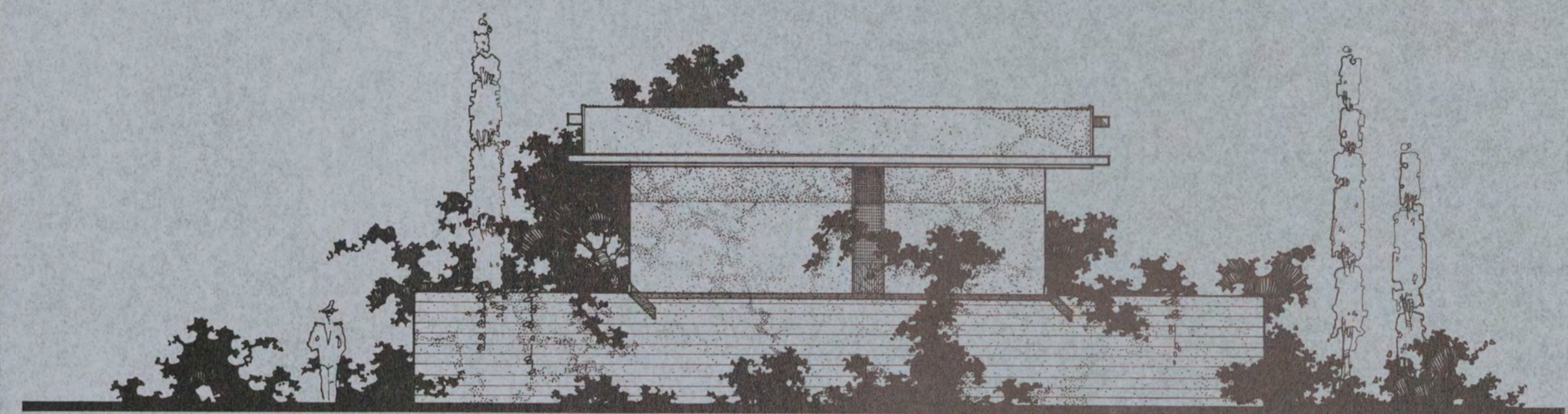


LOWER FLOOR PLAN (ENTRY LEVEL)

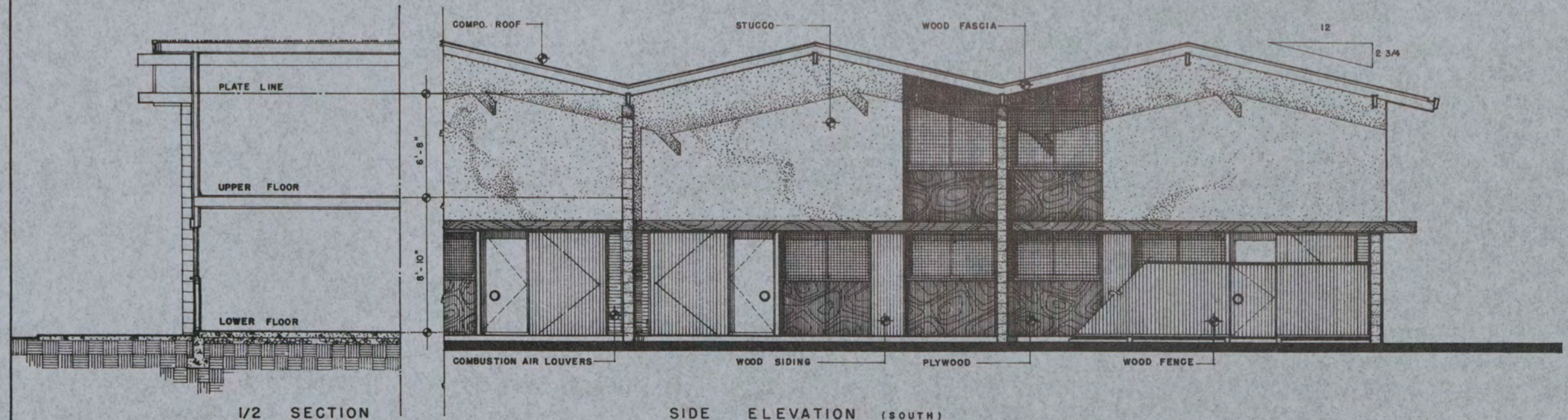


GROSS AREA 1272 SQ. FT.  
NET AREA 1013 SQ. FT.

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	EM	1a	2 OF 2
IDENTIFICATION SYMBOL			



END ELEVATION (EAST)



1/2 SECTION

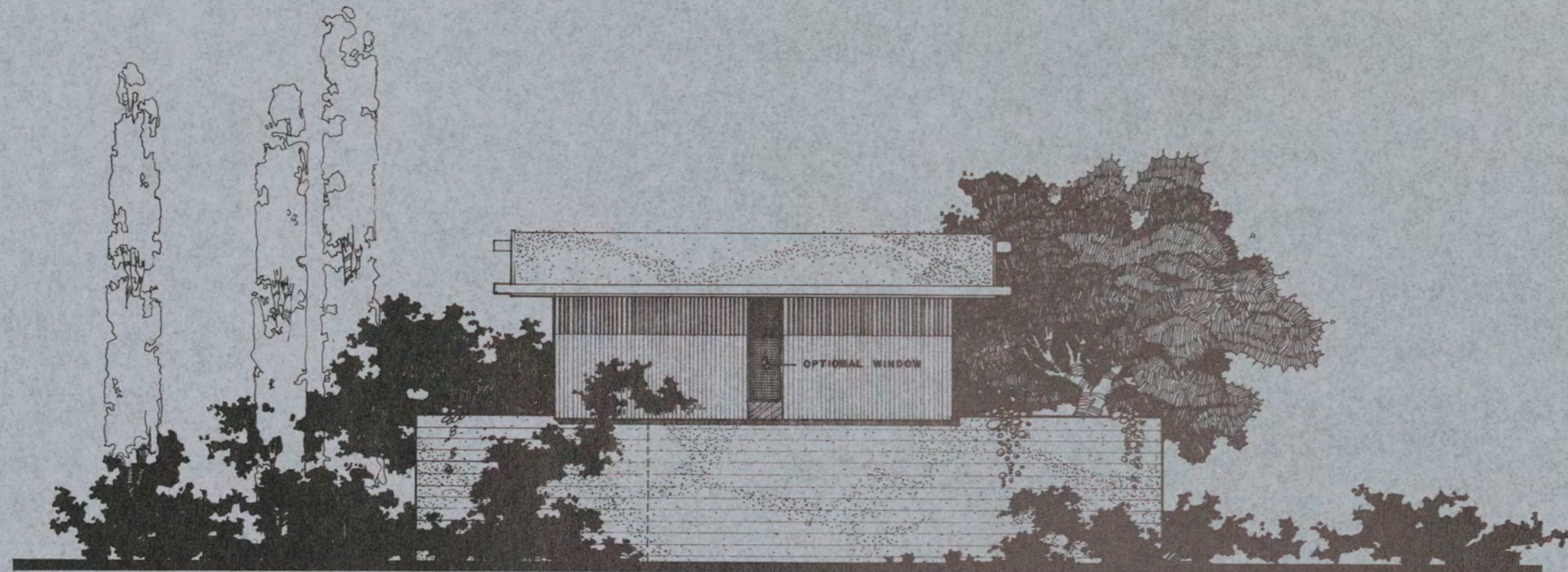
SIDE ELEVATION (SOUTH)

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

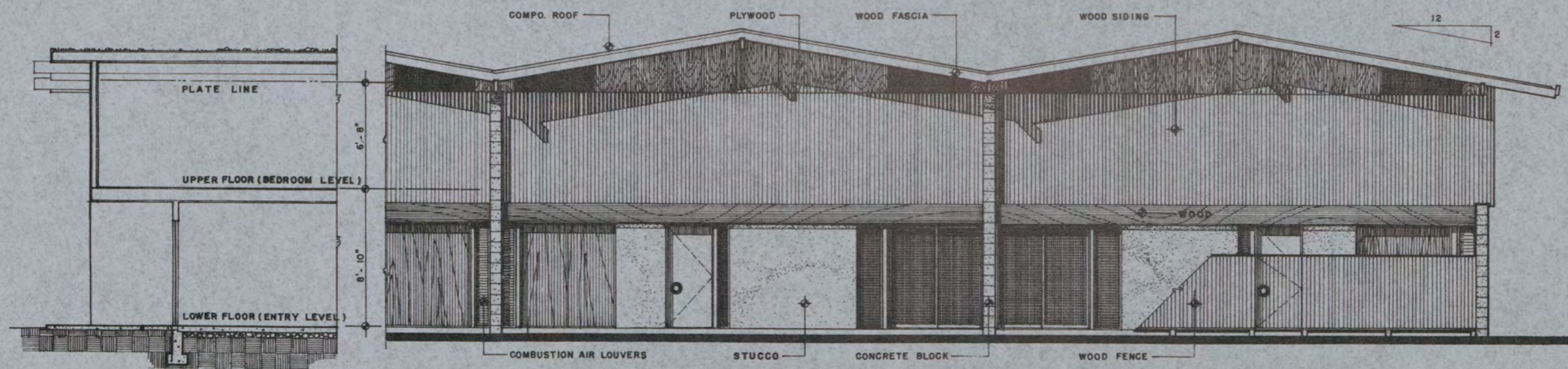
APPROVAL  
*Signed J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

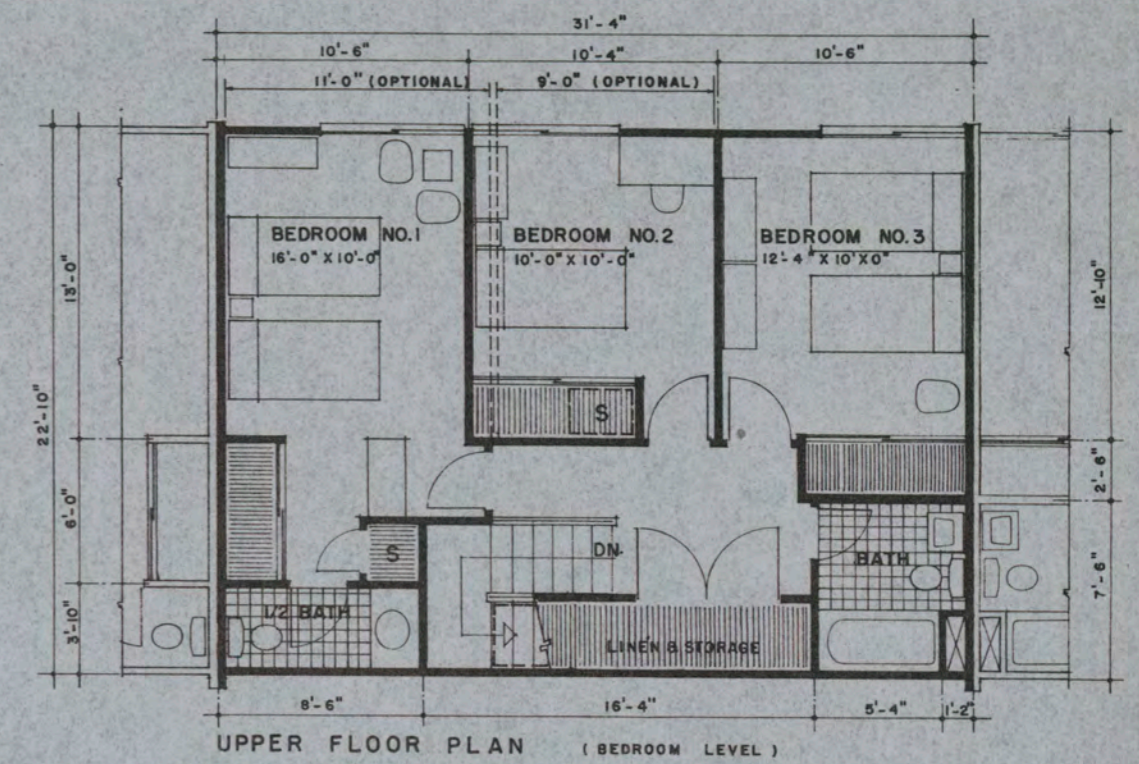


END ELEVATION (EAST)

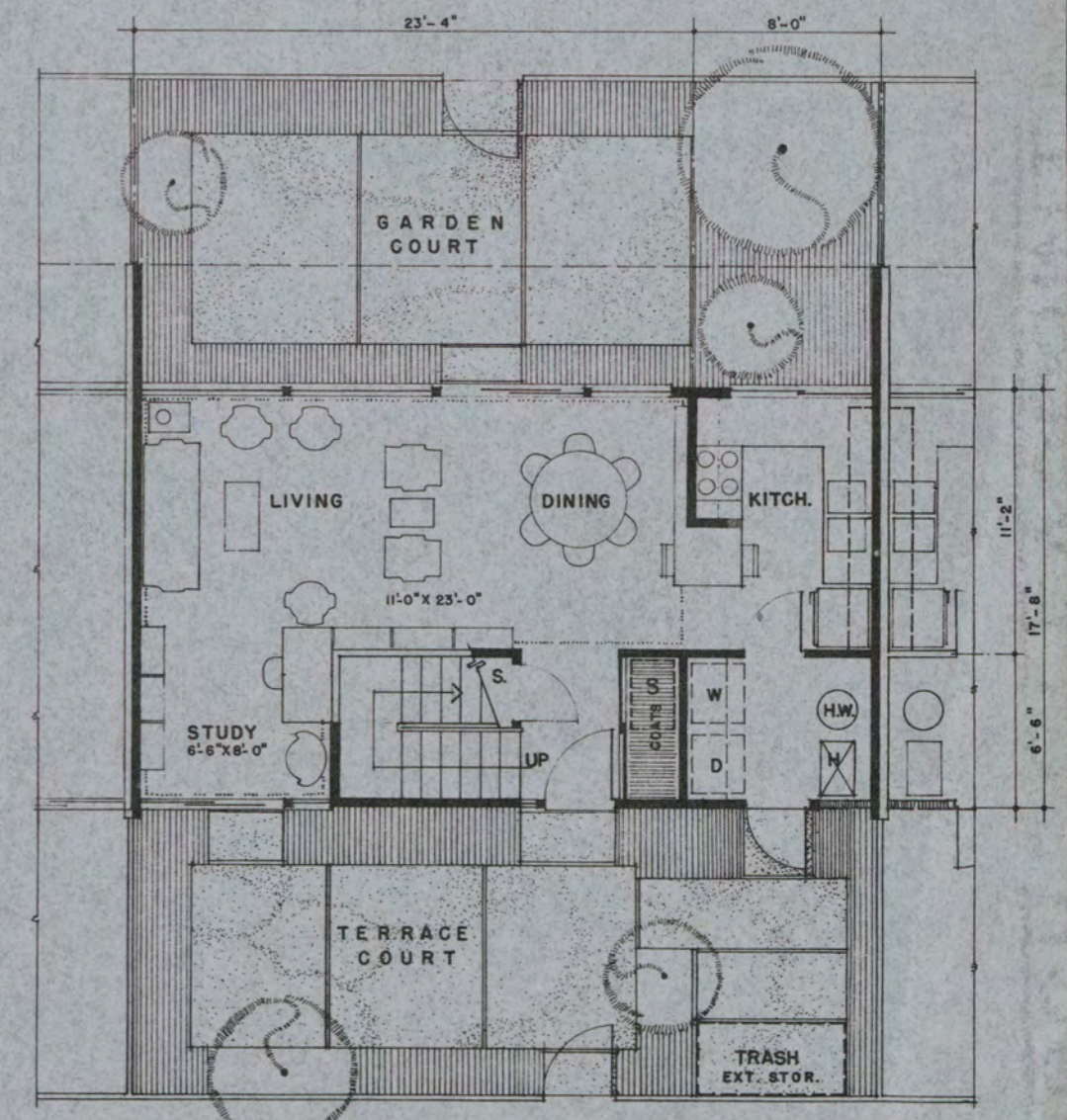


1/2 SECTION

SIDE ELEVATION (SOUTH)



UPPER FLOOR PLAN (BEDROOM LEVEL)



LOWER FLOOR PLAN (ENTRY LEVEL)



GROSS AREA 1269 SQ.FT.  
NET AREA 1013 SQ.FT.

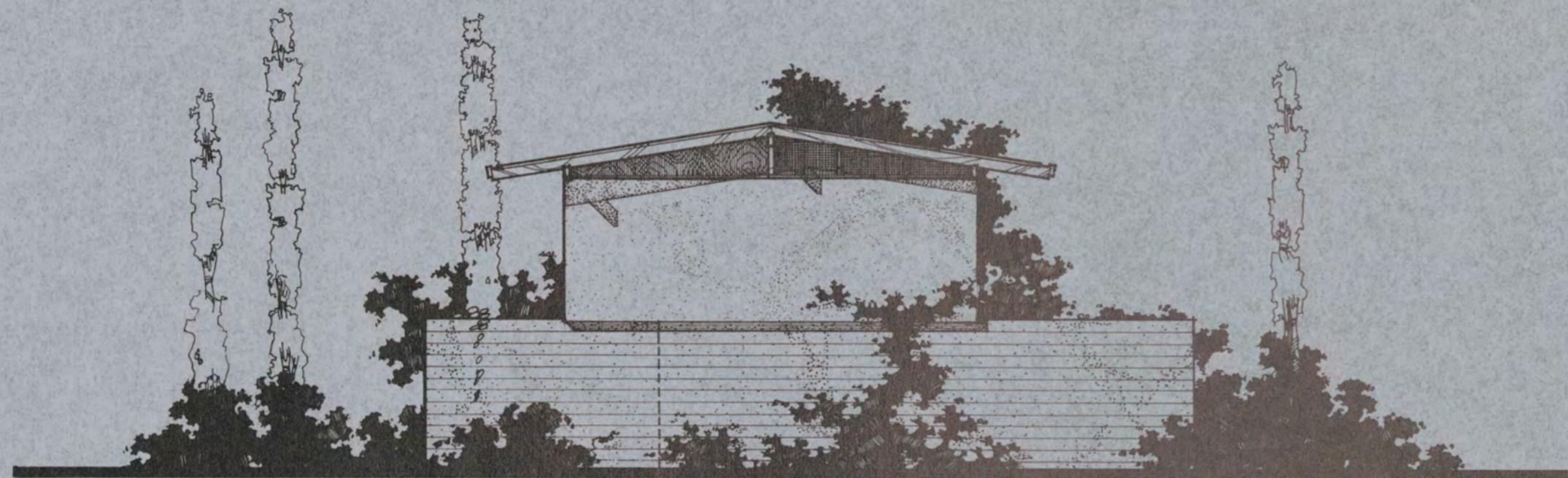
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

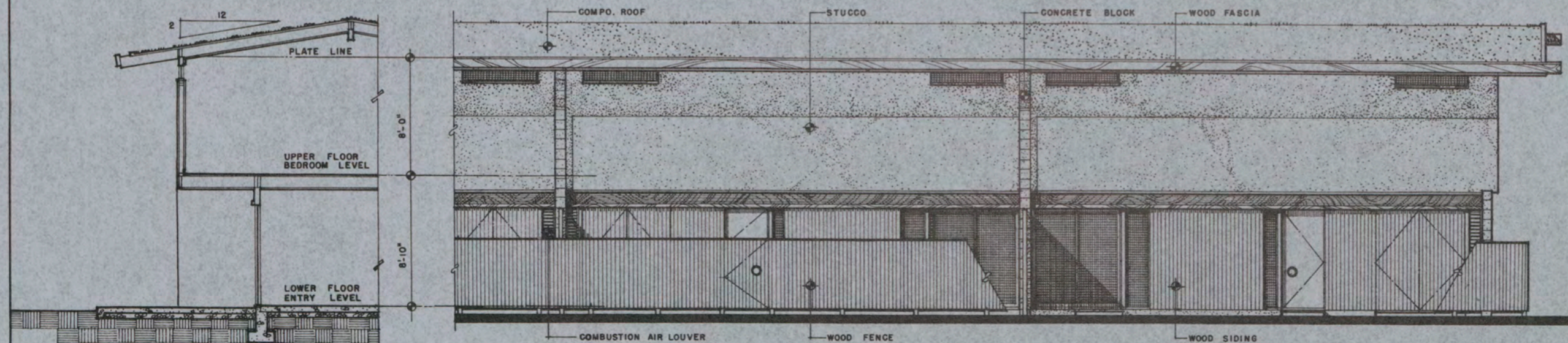
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 1b** **1**  
IDENTIFICATION SYMBOL OF **2**

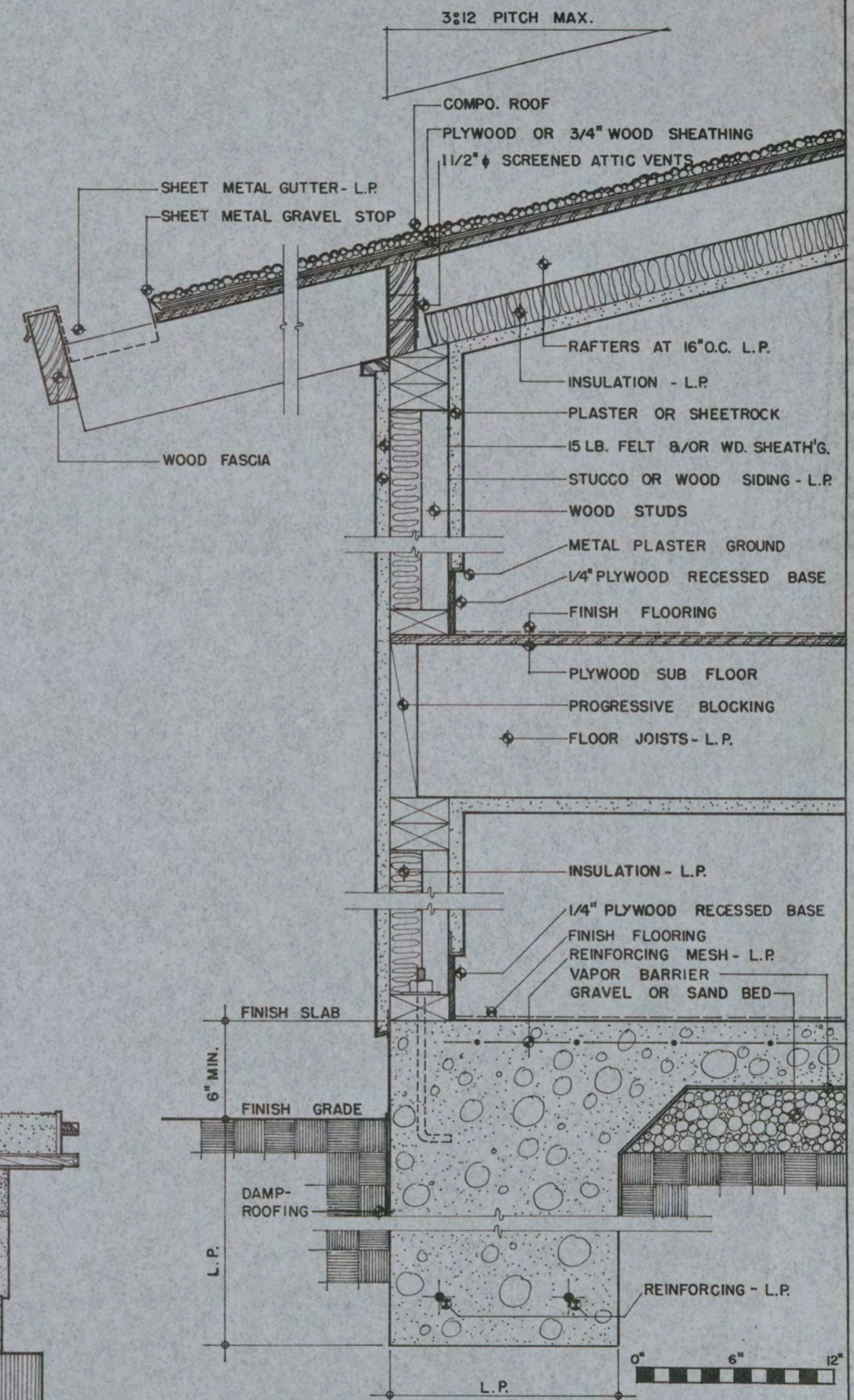


END ELEVATION (EAST)



SECTION

SIDE ELEVATION (SOUTH)



TYPICAL WALL SECTION

L.P. - LOCAL PRACTICE

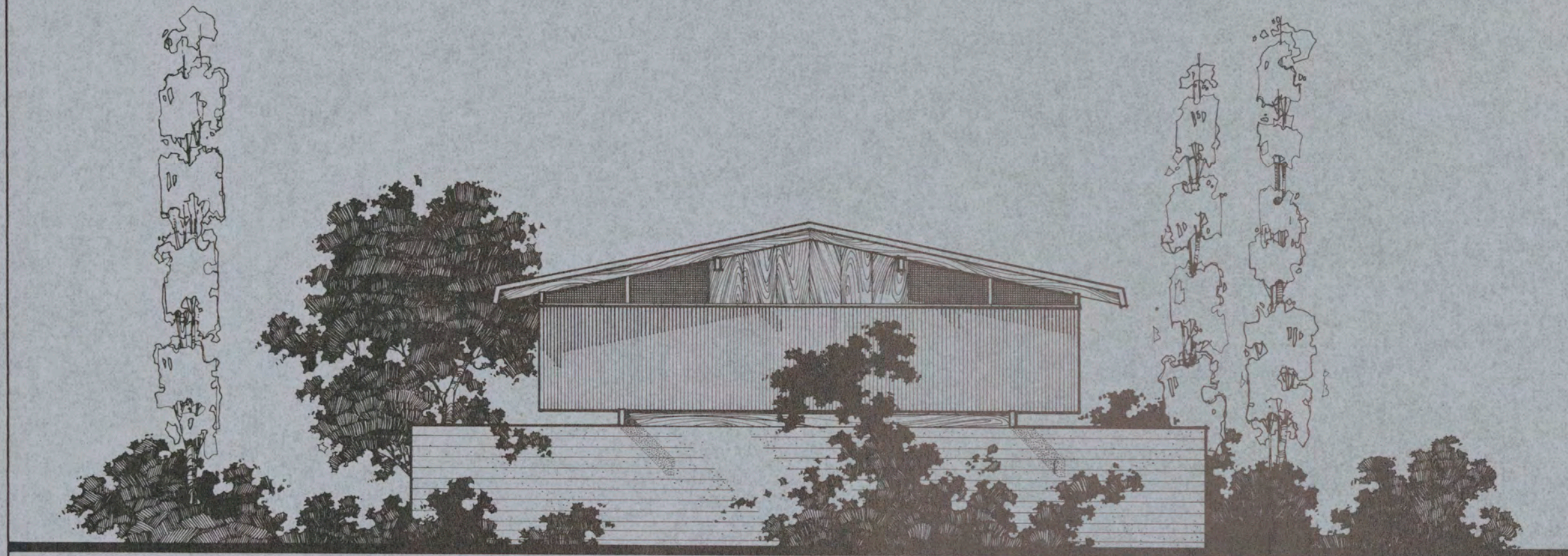
**DEPARTMENT OF DEFENSE - FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

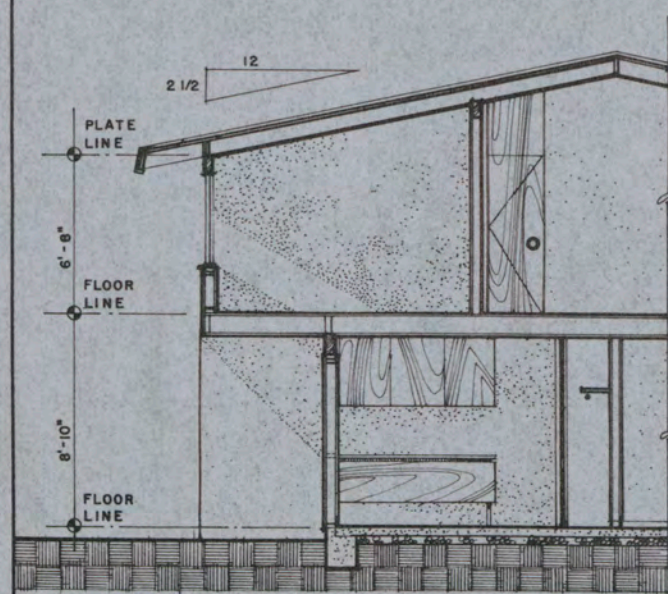
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

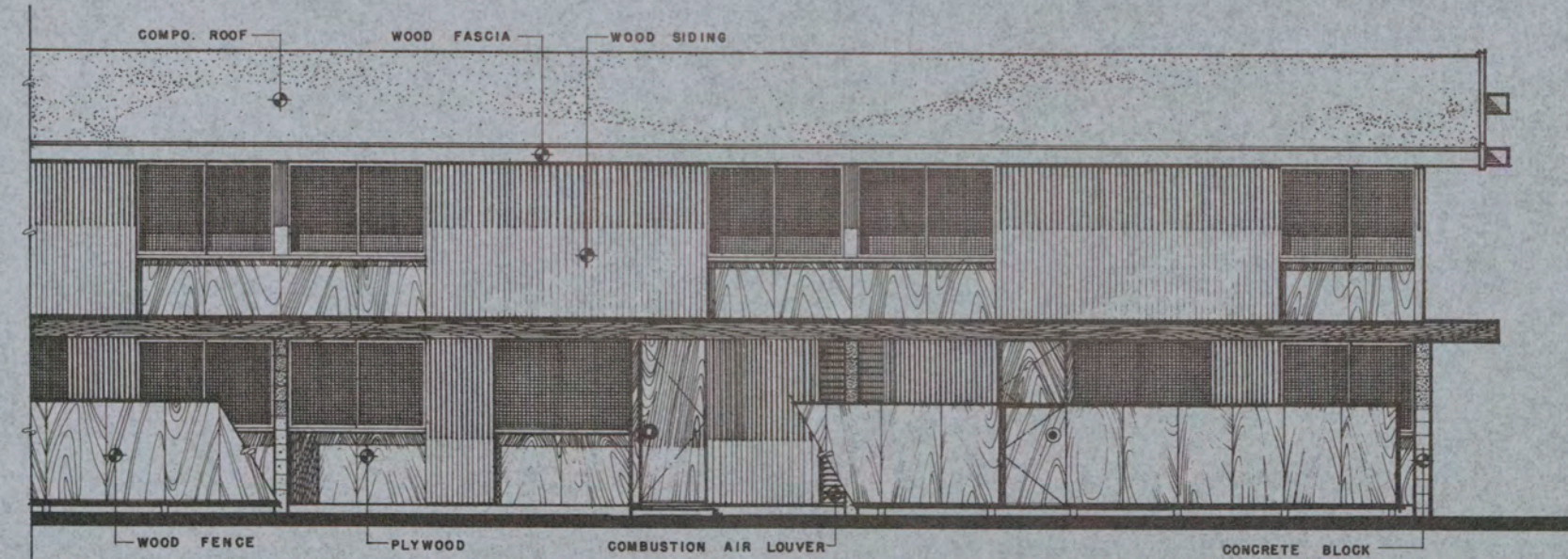
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 1b 2**  
 IDENTIFICATION SYMBOL OF 2



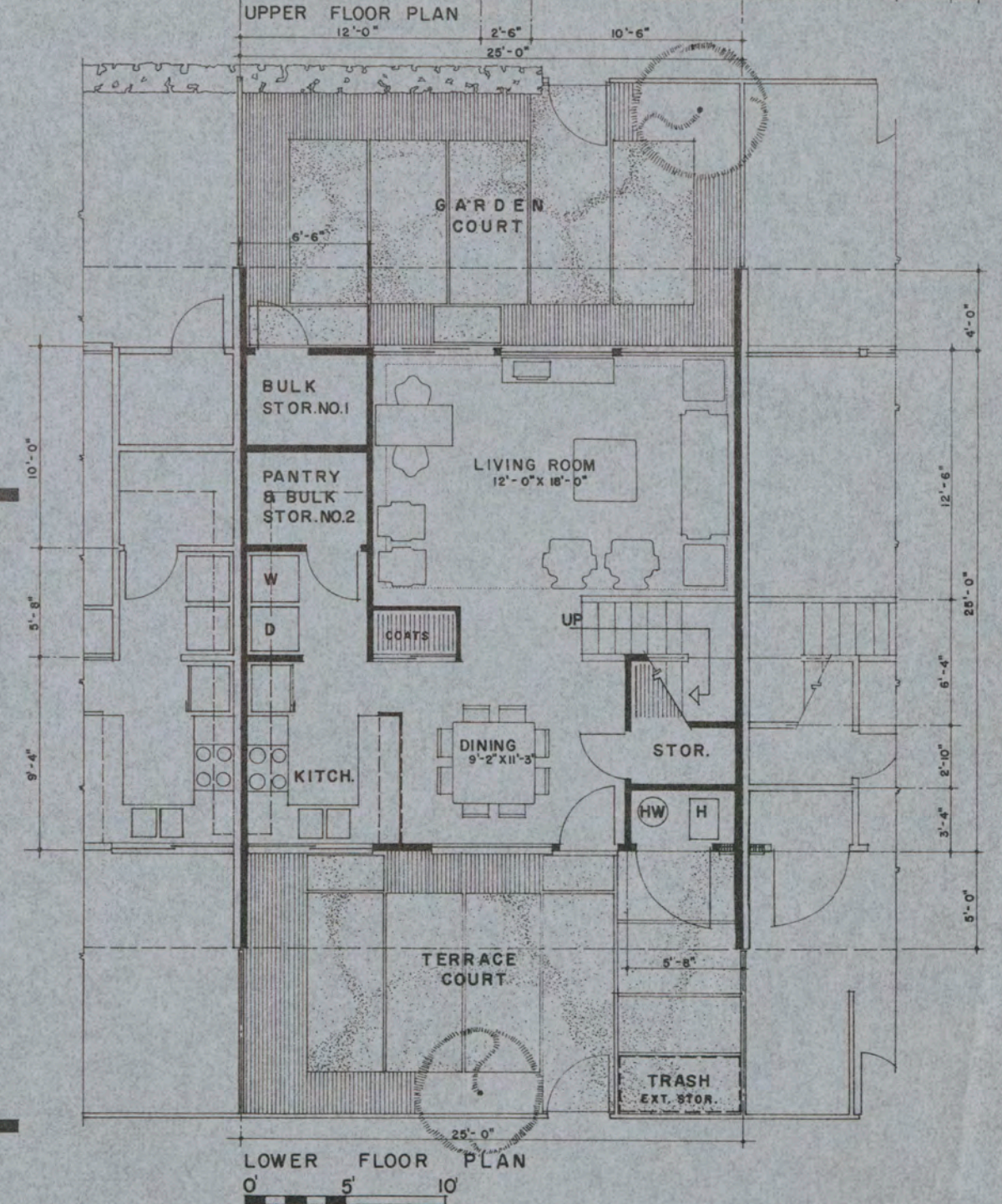
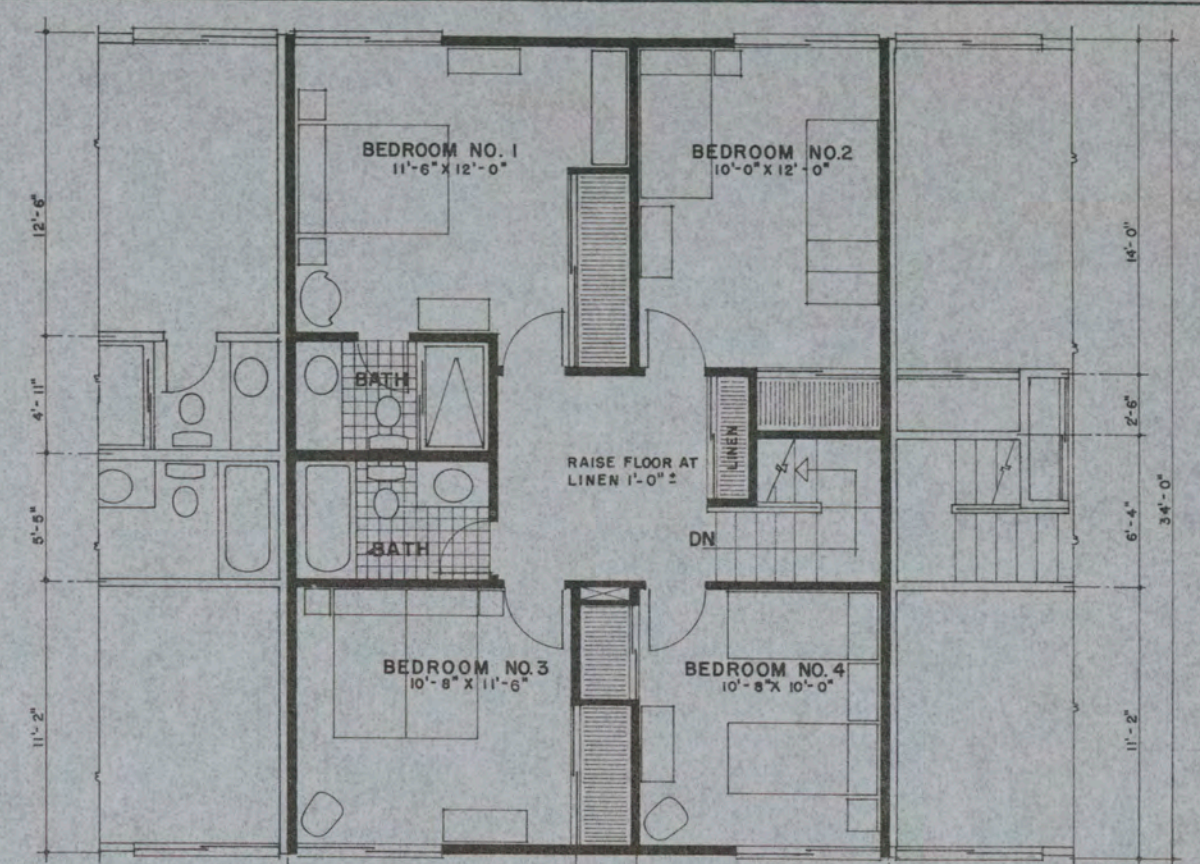
END ELEVATION (EAST)



1/2 SECTION



SIDE ELEVATION (SOUTH)



GROSS AREA 1475 SQ. FT.  
NET AREA 1183 SQ. FT.



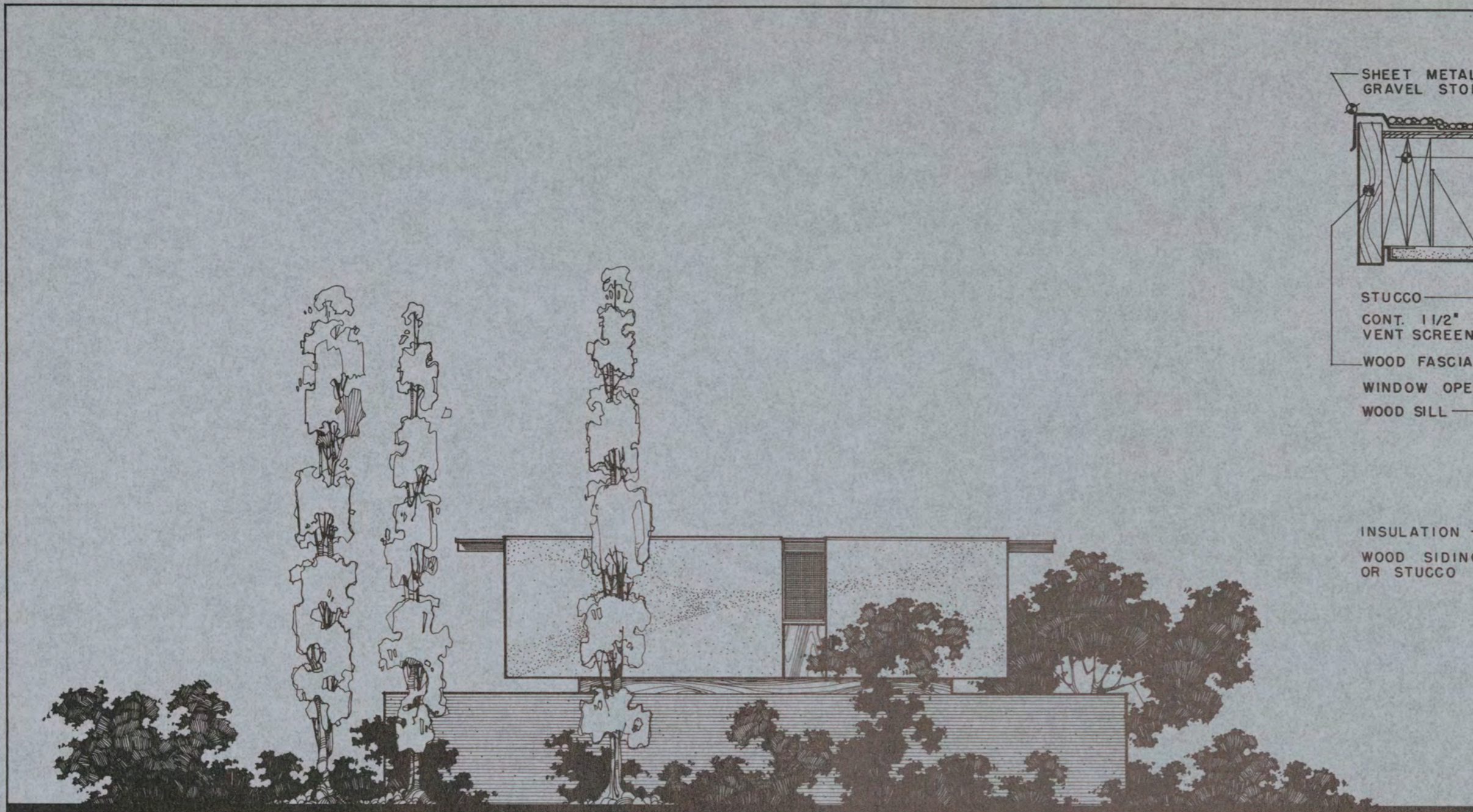
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

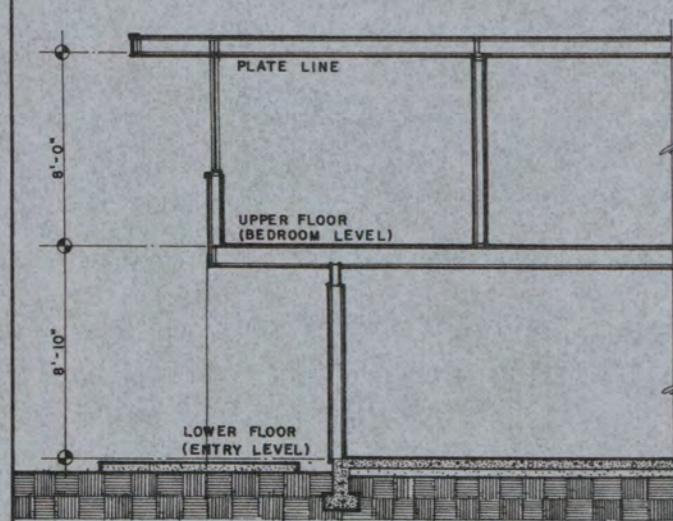
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES • ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
4 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

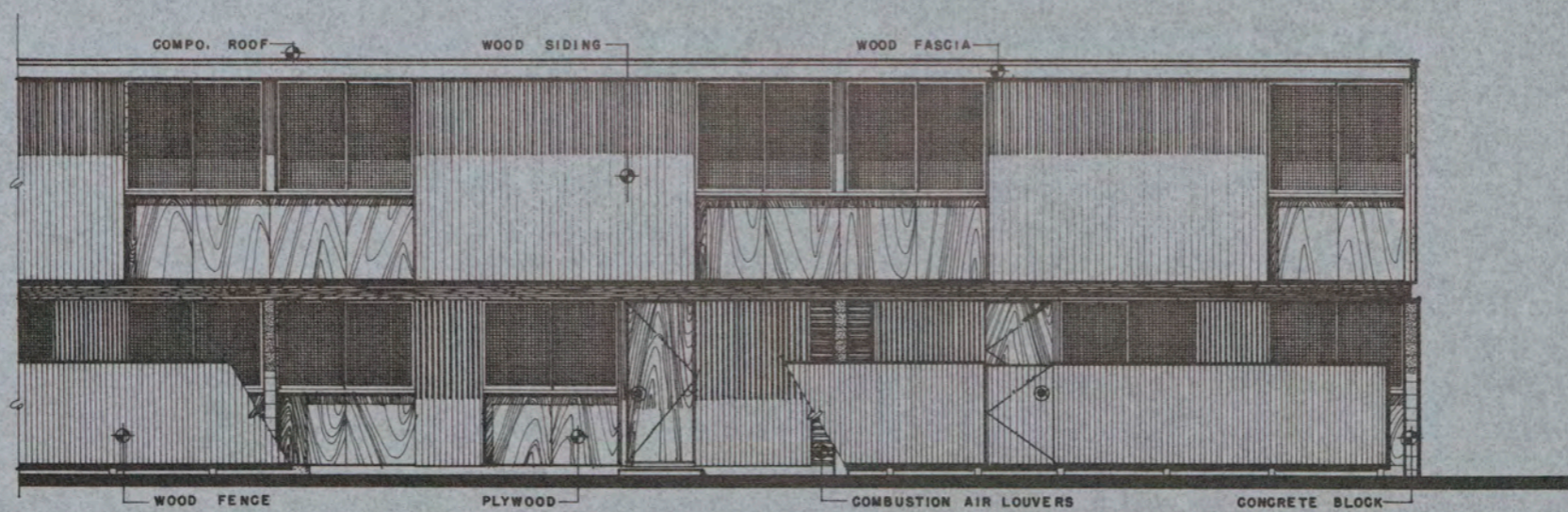
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 2 1**  
IDENTIFICATION SYMBOL OF 2



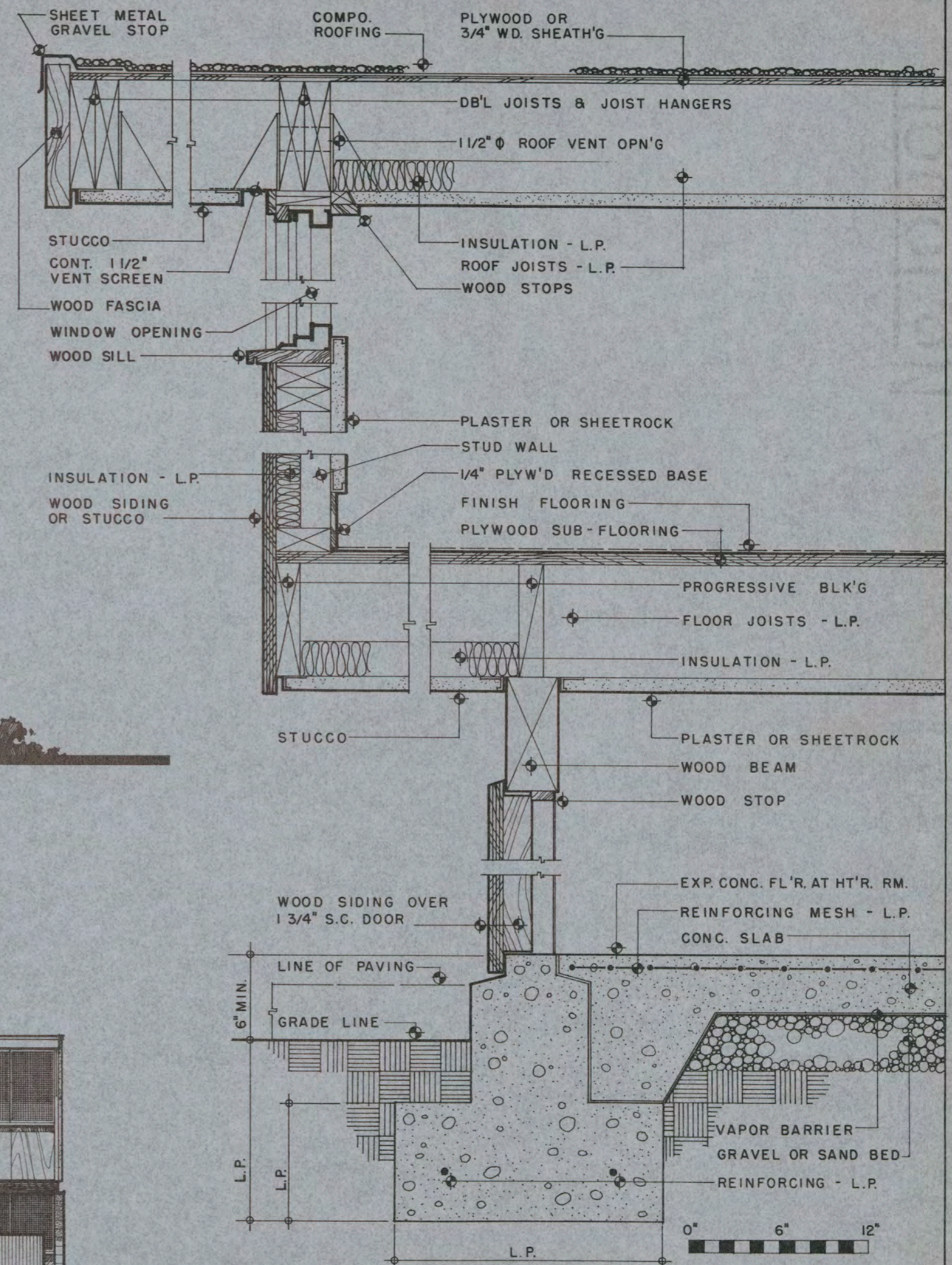
END ELEVATION (EAST)



1/2 SECTION



SIDE ELEVATION



TYPICAL WALL SECTION

L.P. - LOCAL PRACTICE

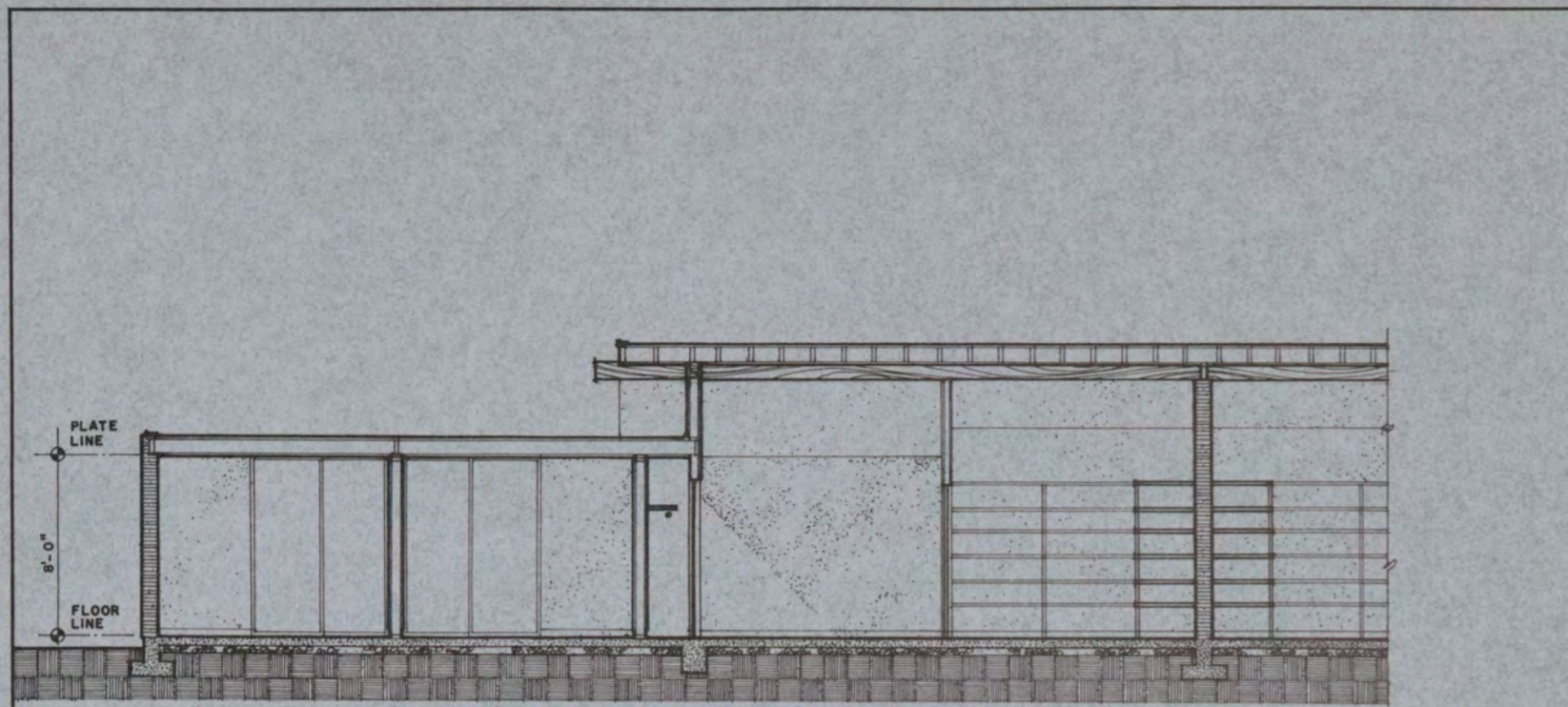
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

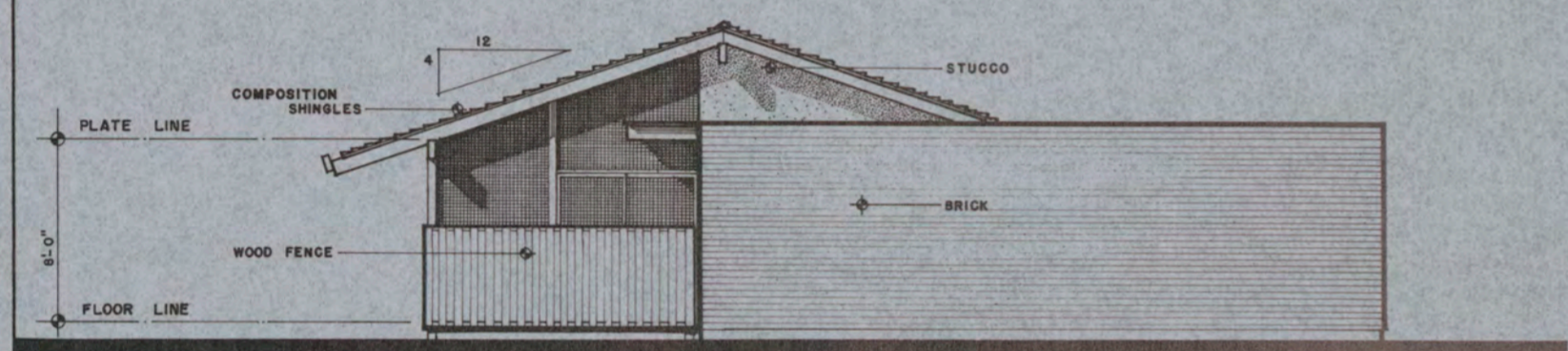
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**4 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 2**  
 IDENTIFICATION SYMBOL **2 OF 2**



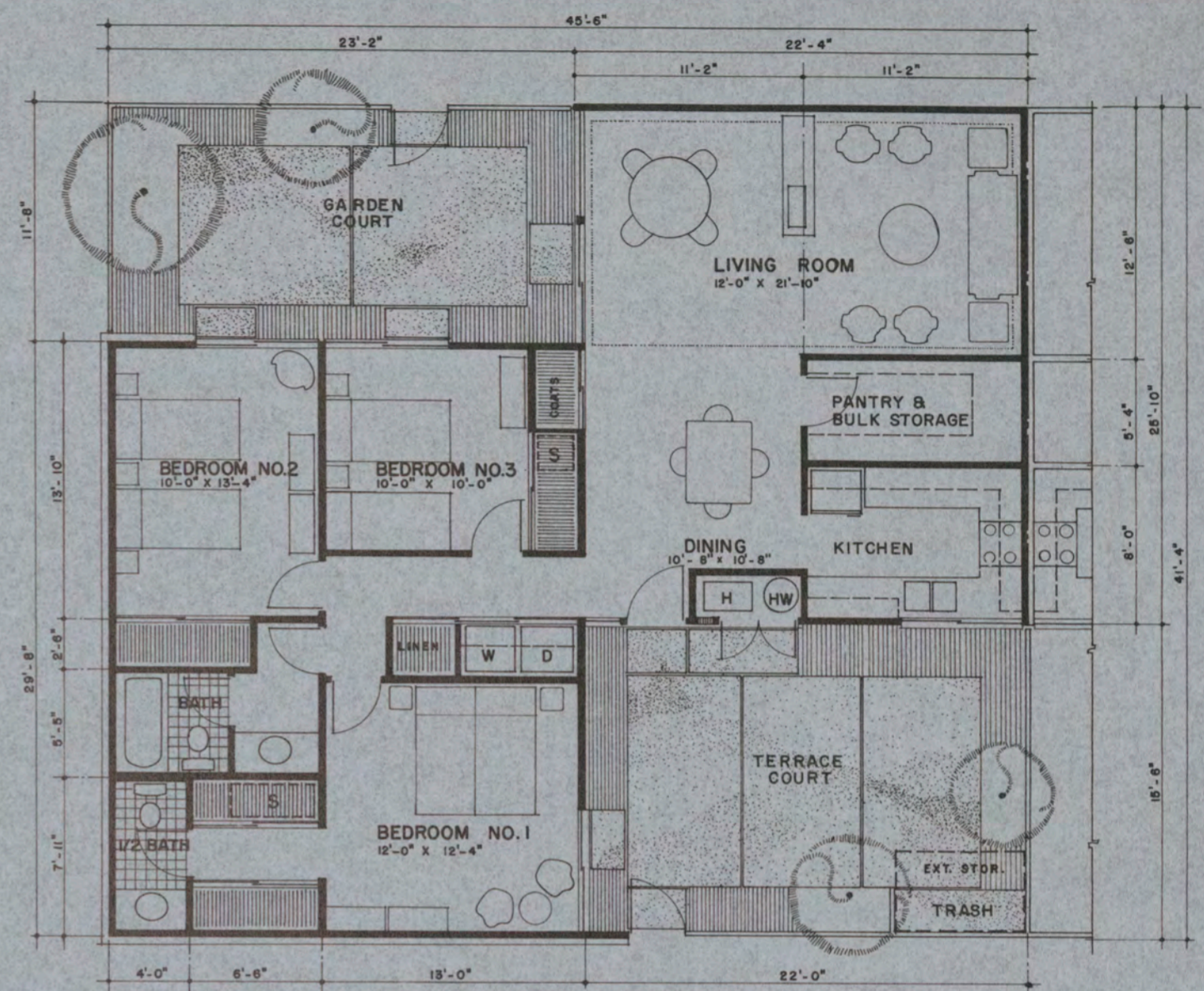
SECTION



END ELEVATION (WEST)



SIDE ELEVATION (SOUTH)



FLOOR PLAN



GROSS AREA 1269 SQ.FT.  
NET AREA 1080 SQ.FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

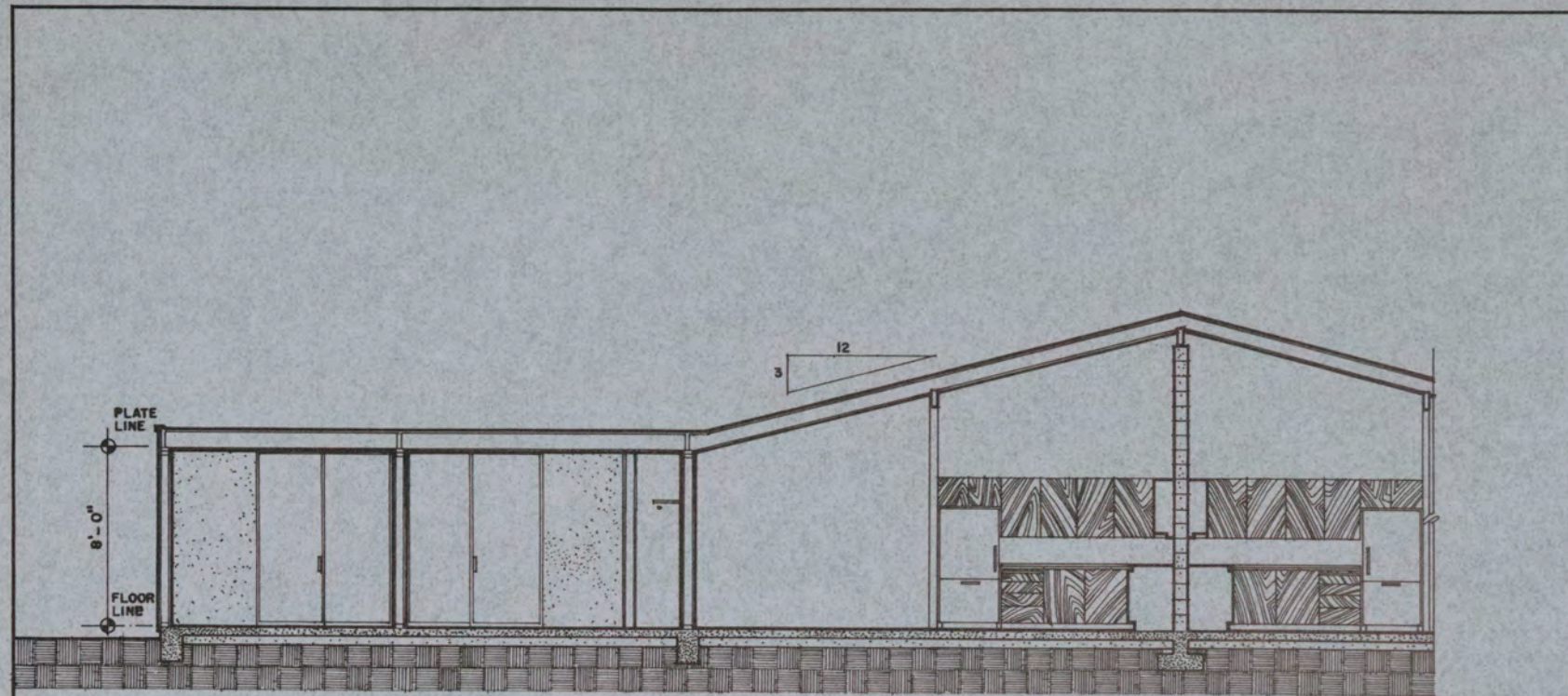
APPROVAL  
*Sydney J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES • ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 1 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	EM	3	1 OF 2

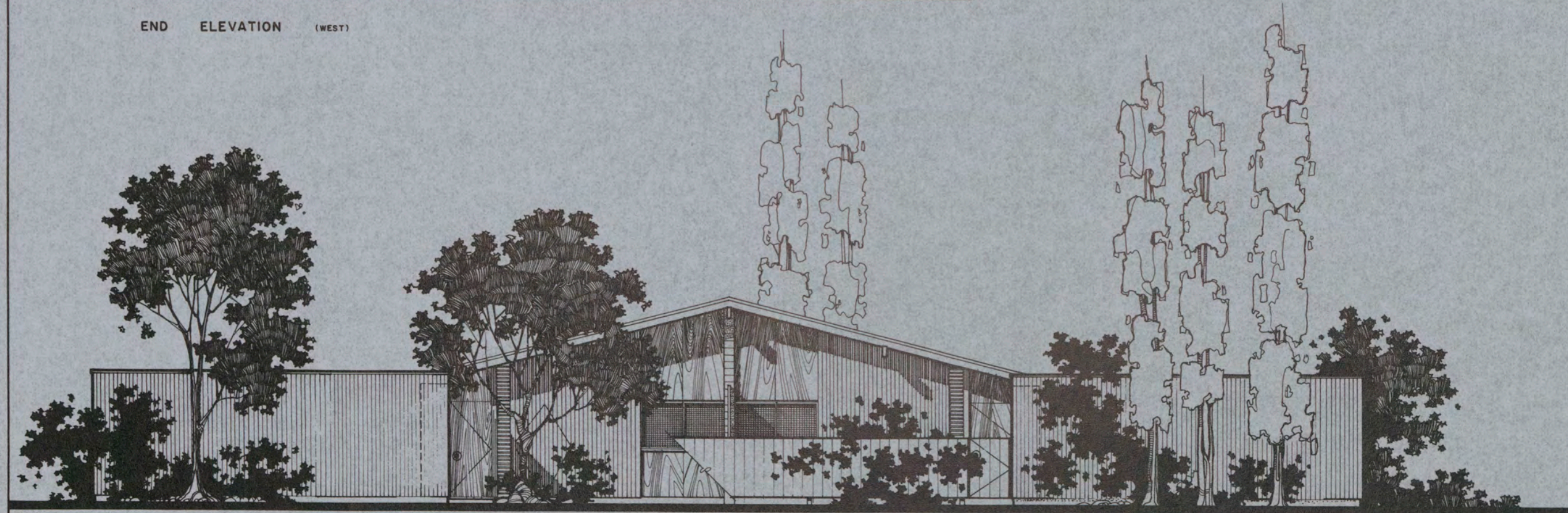
IDENTIFICATION SYMBOL



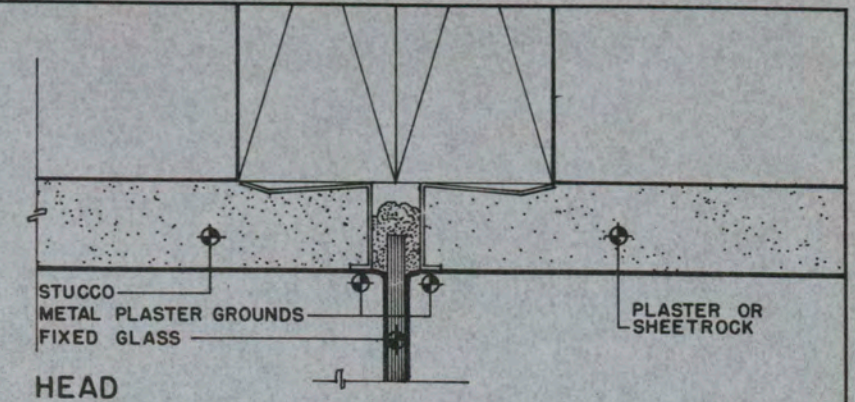
SECTION



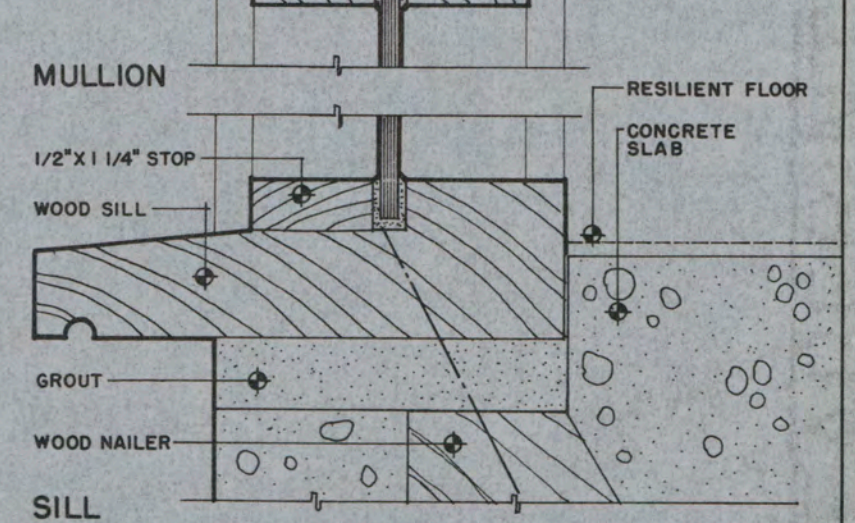
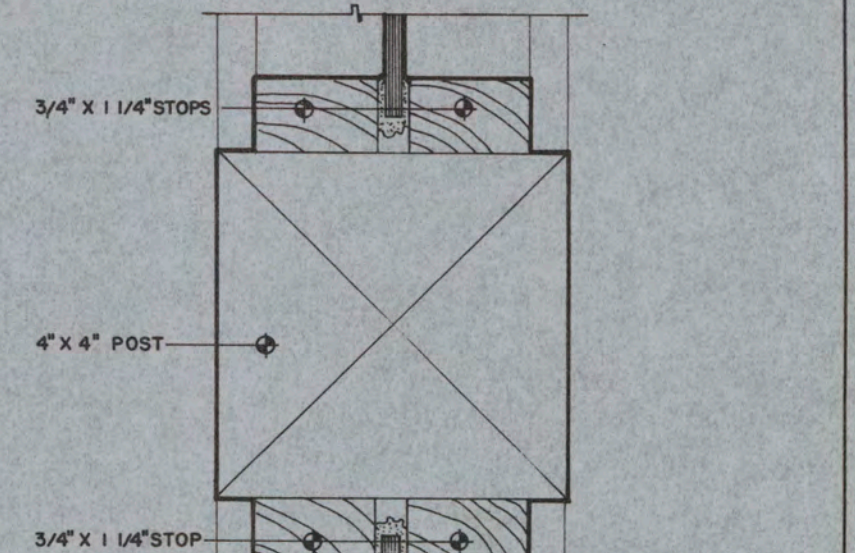
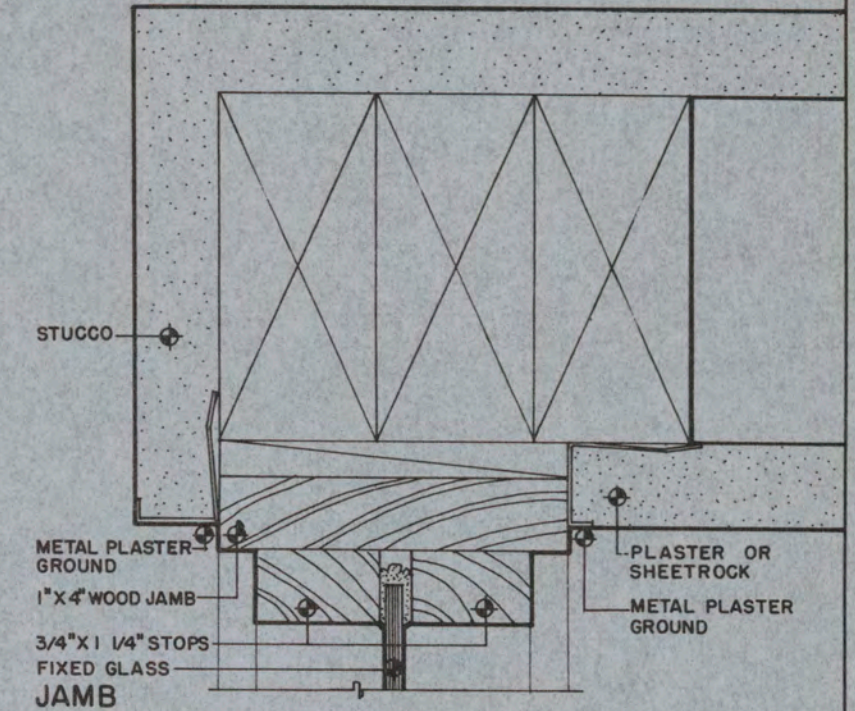
END ELEVATION (WEST)



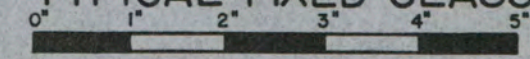
SIDE ELEVATION (SOUTH)



HEAD



TYPICAL FIXED GLASS DETAILS



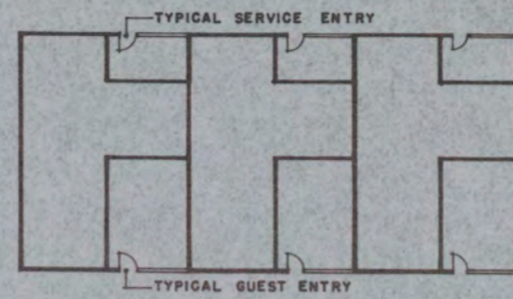
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

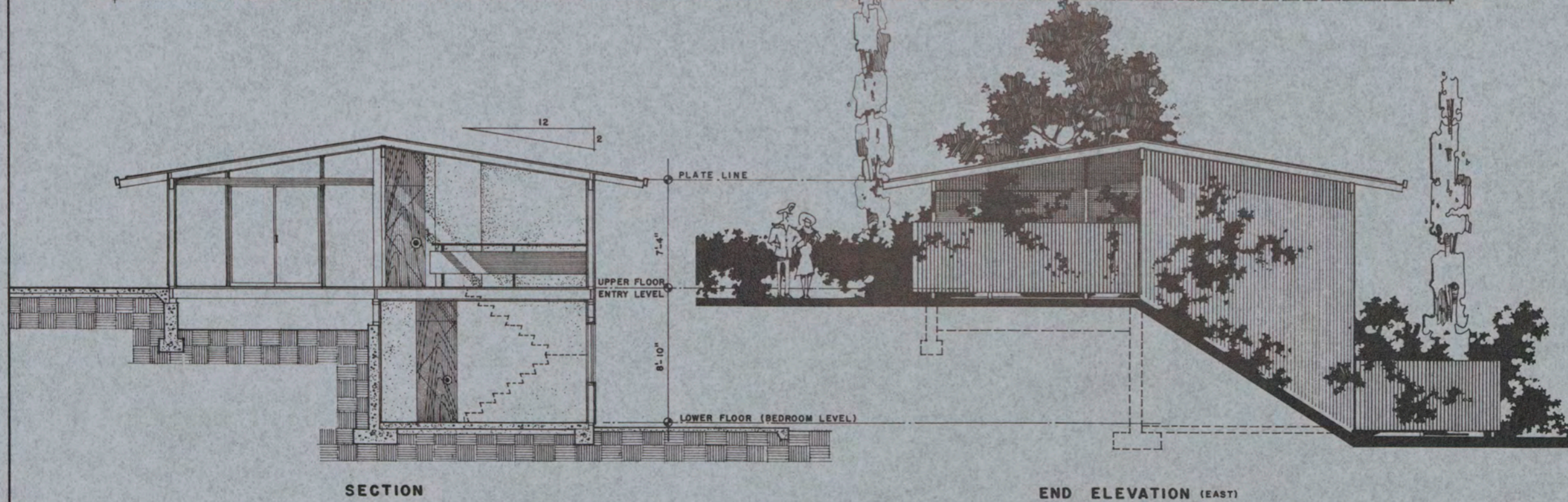
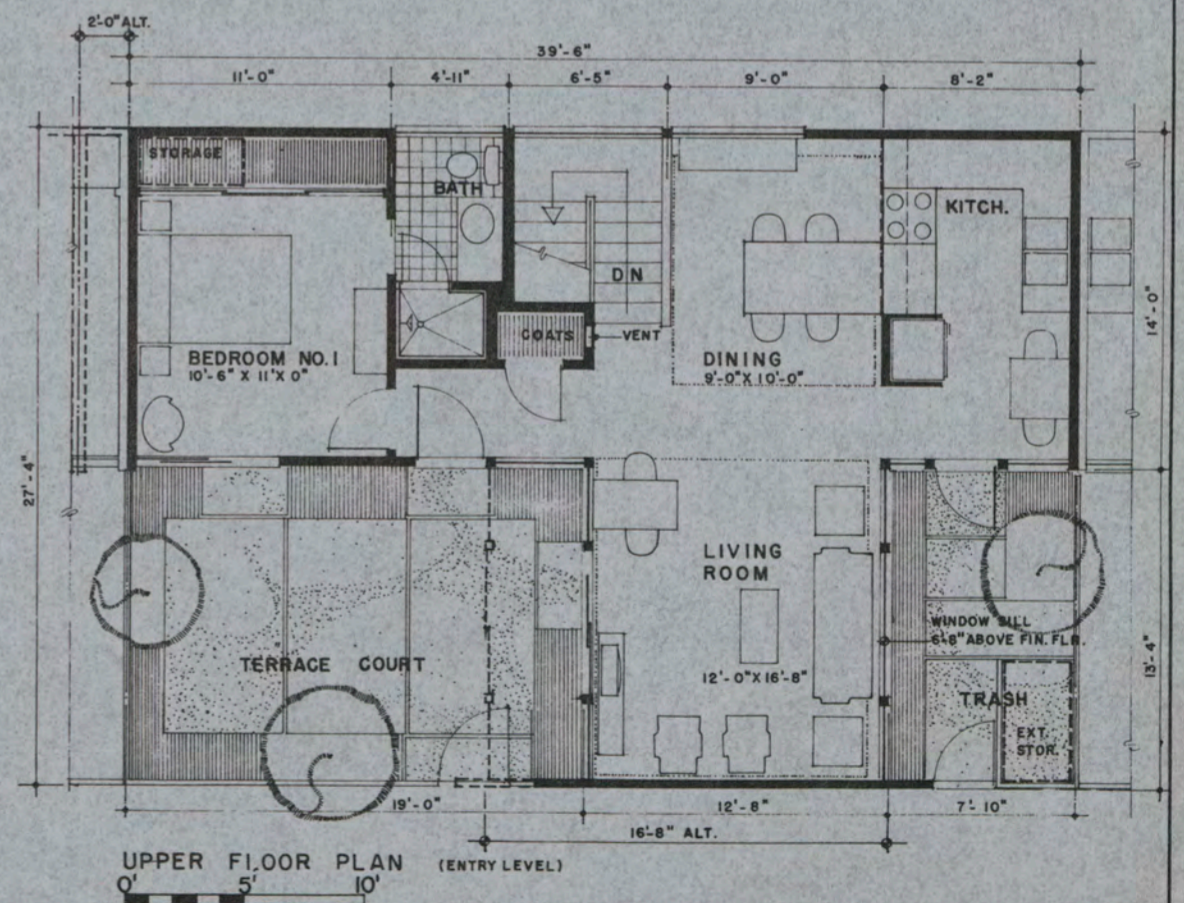
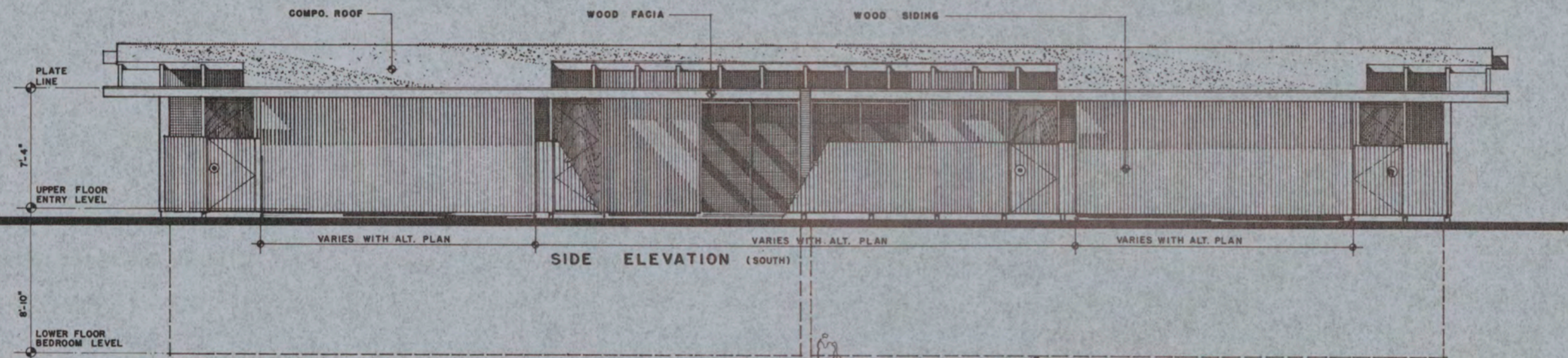
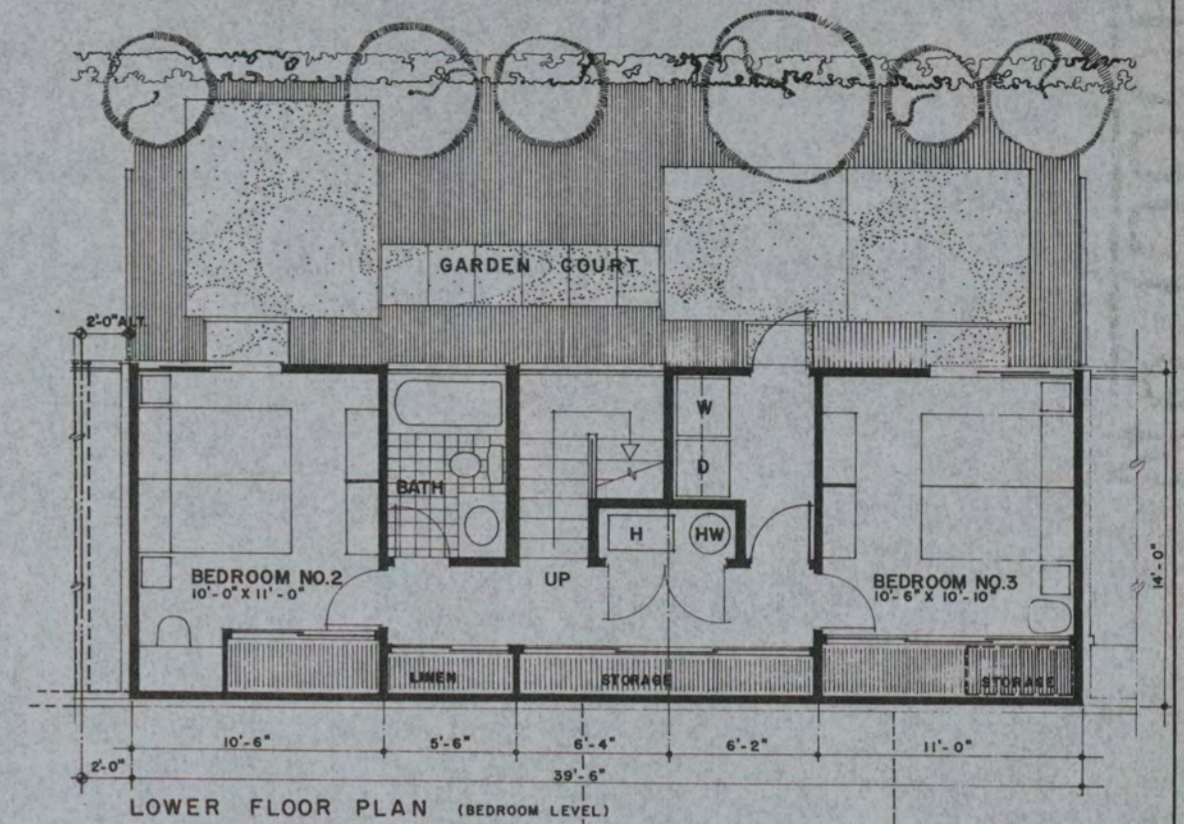
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 1 STORY TOWNHOUSE**  
**FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 3**  
 IDENTIFICATION SYMBOL  
**2 OF 2**



ALT. SITE PLAN ARRANGEMENT  
 \* NOTE: PLAN MAY BE USED ON A LEVEL SITE  
 SCALE: 1/16" = 1'-0"



GROSS AREA 1275 SQ. FT.  
 NET AREA 1000 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

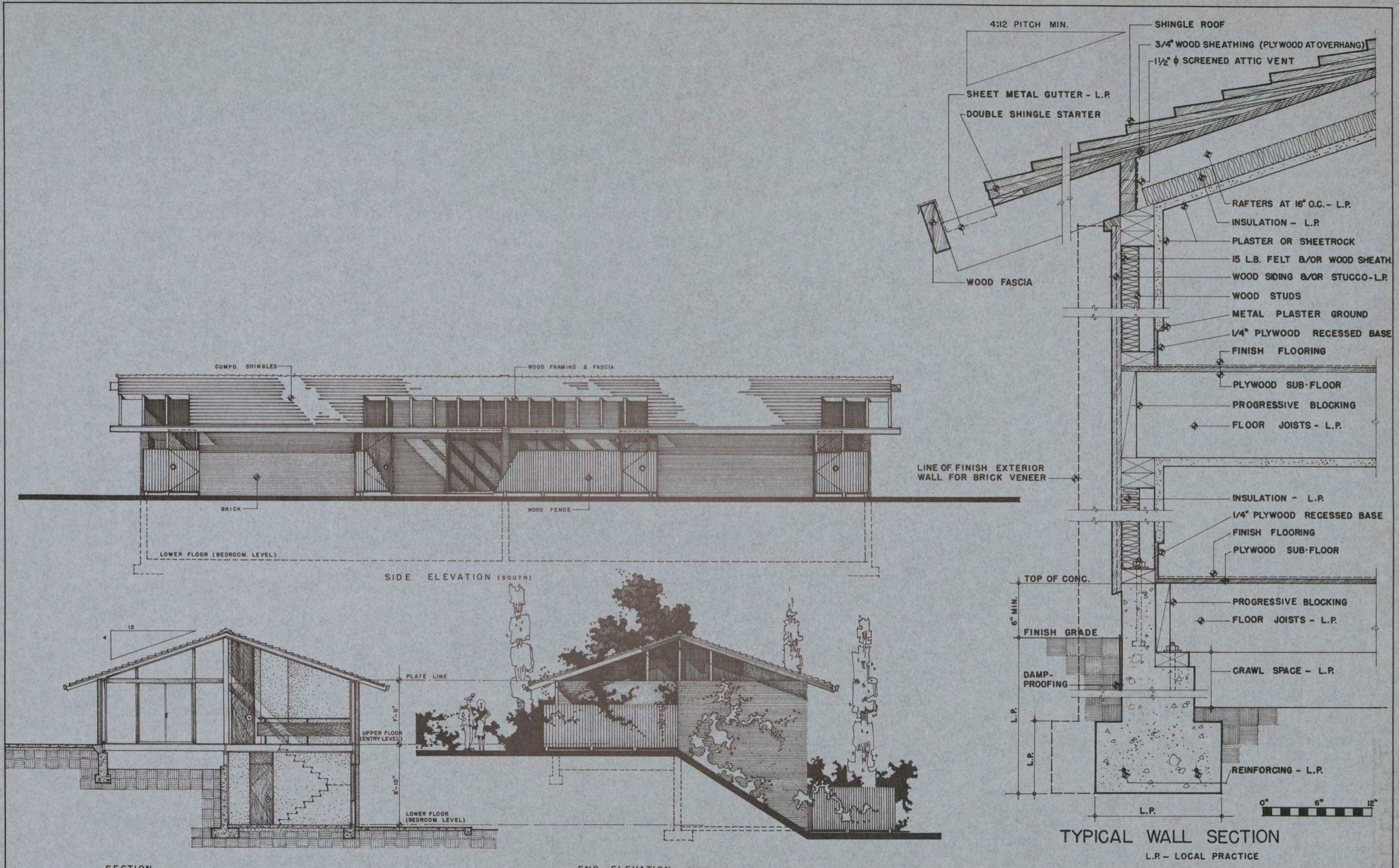
APPROVAL  
*Signed J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
 3 BR. 2 STORY TOWNHOUSE  
 HILLSIDE ENTER TOP FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 4a**  
 IDENTIFICATION SYMBOL  
**1 OF 2**





GROSS AREA 1275 SQ.FT.  
 NET AREA 1000 SQ.FT.

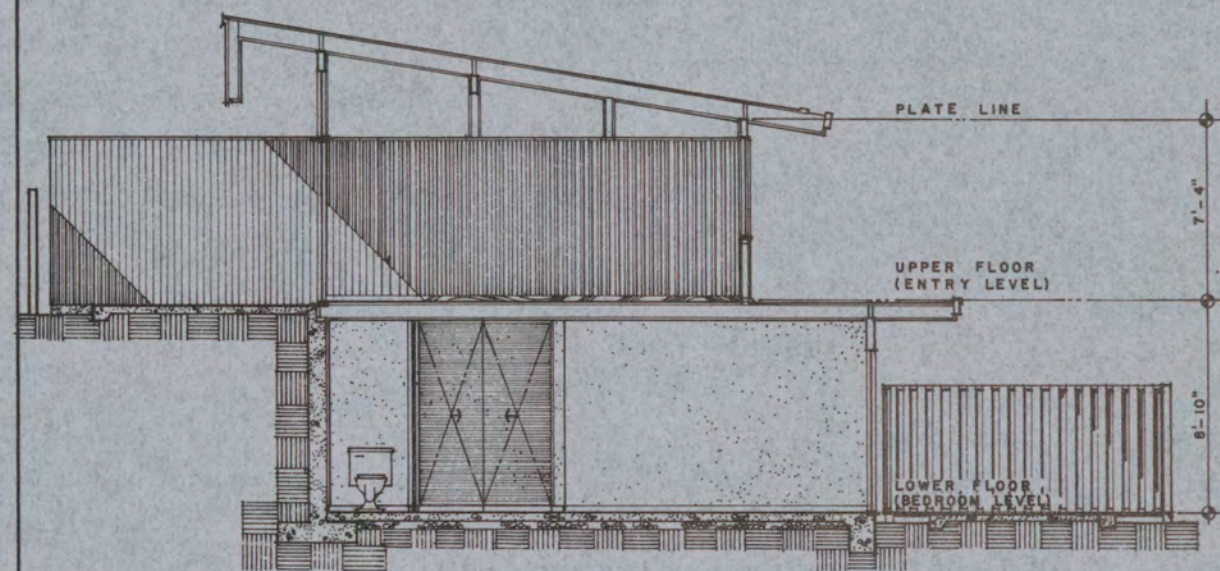
**DEPARTMENT OF DEFENSE - FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Galt*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

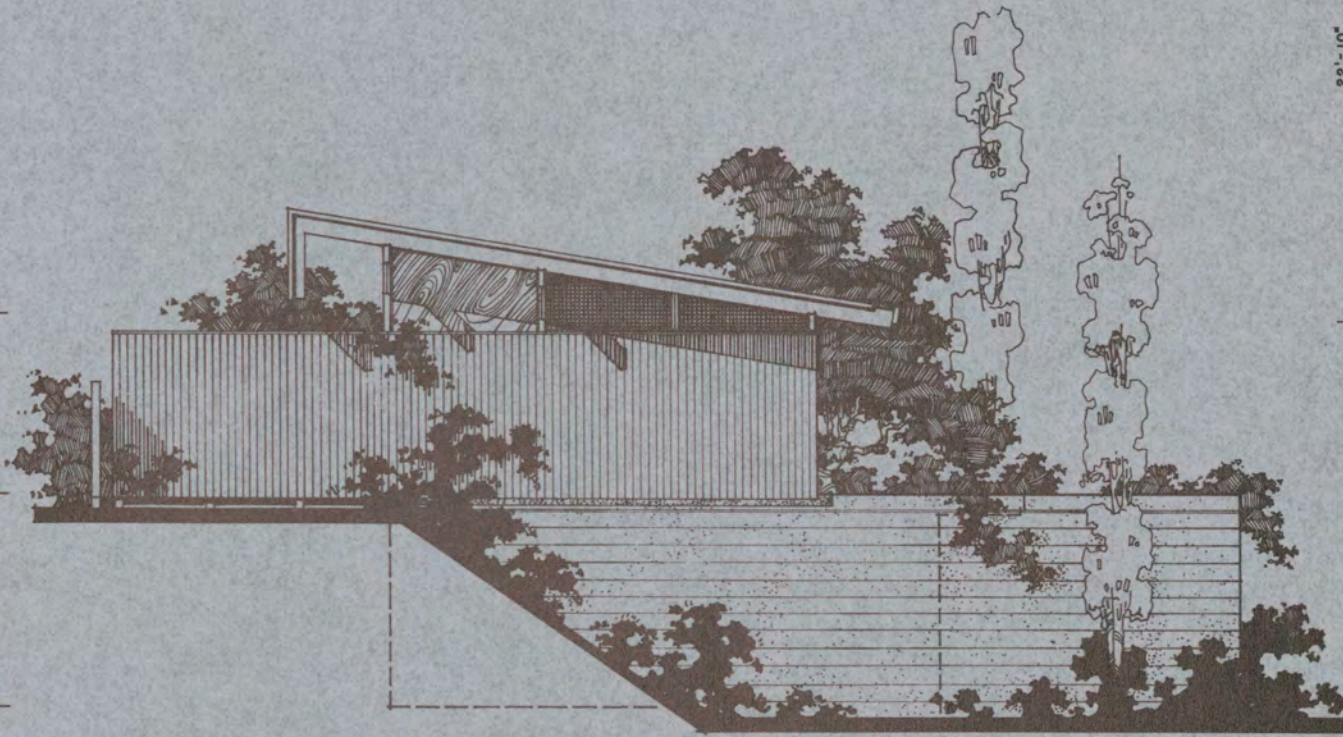
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**HILLSIDE ENTER TOP FLOOR**

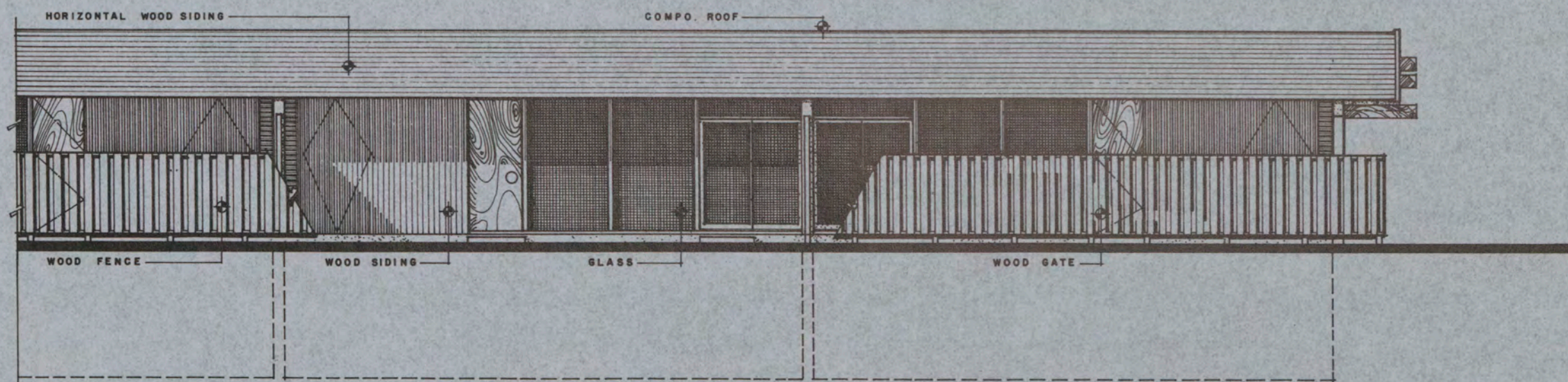
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 4a** **2**  
 IDENTIFICATION SYMBOL OF 2



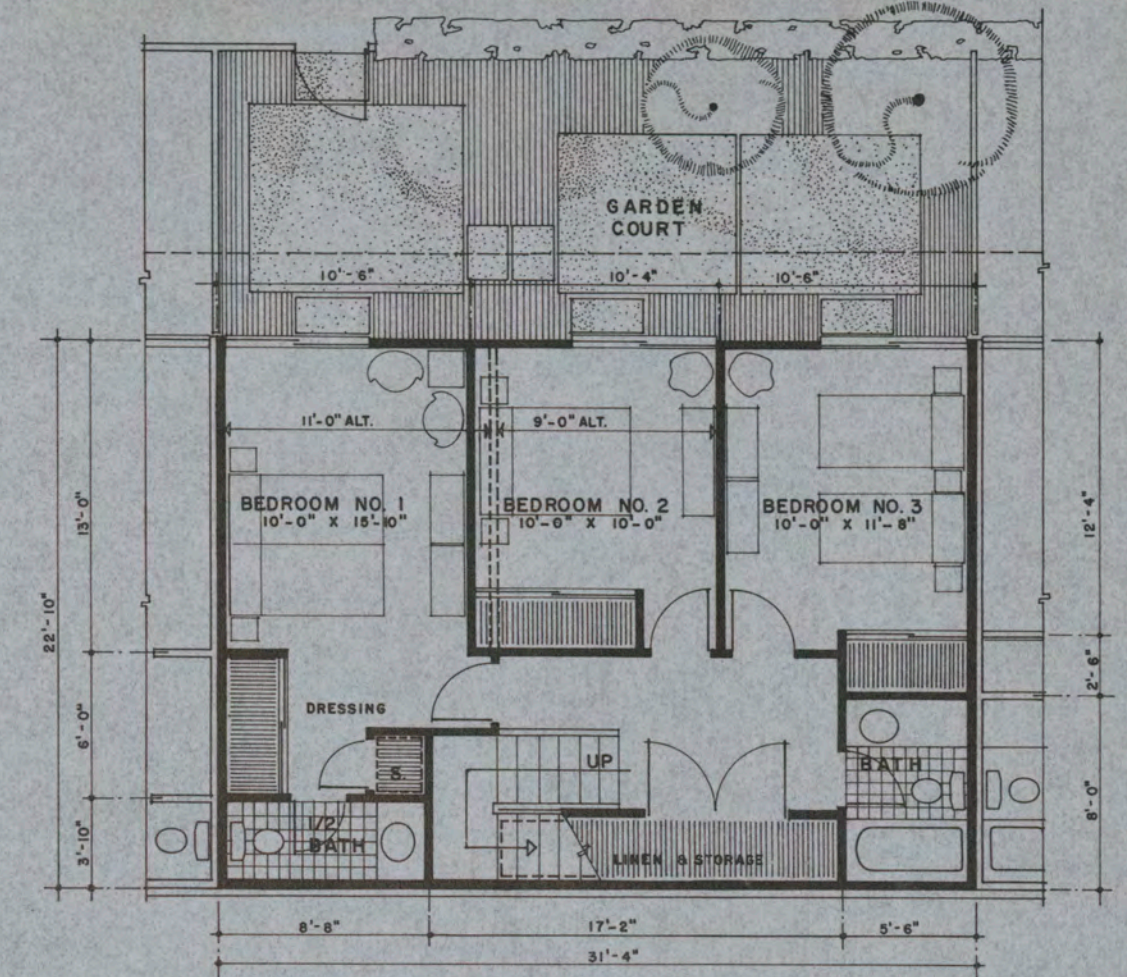
SECTION



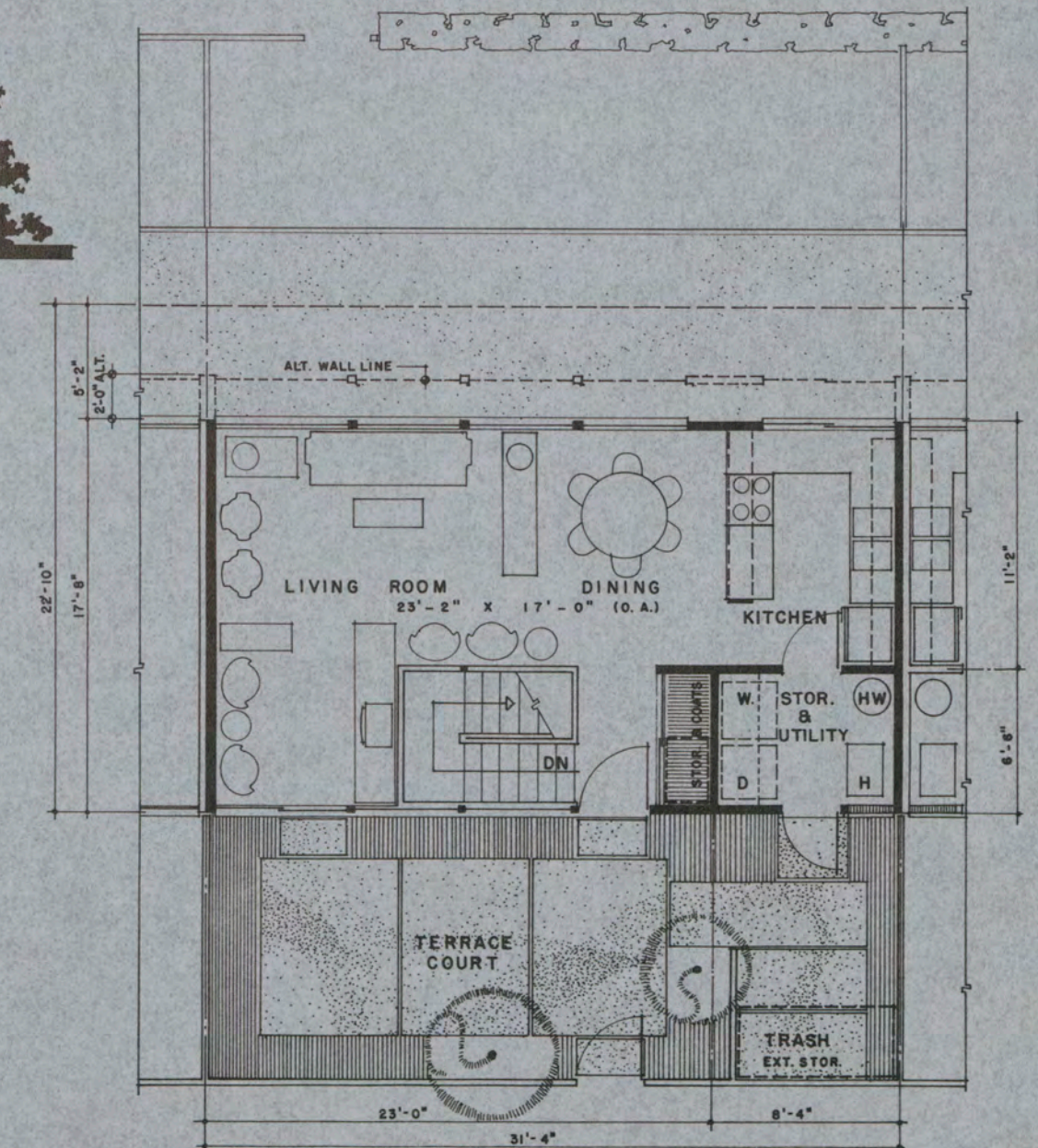
END ELEVATION (EAST)



SIDE ELEVATION (SOUTH)



LOWER FLOOR PLAN (BEDROOM LEVEL)



UPPER FLOOR PLAN (ENTRY LEVEL)

GROSS AREA 1269 SQ. FT.  
NET AREA 1008 SQ. FT.

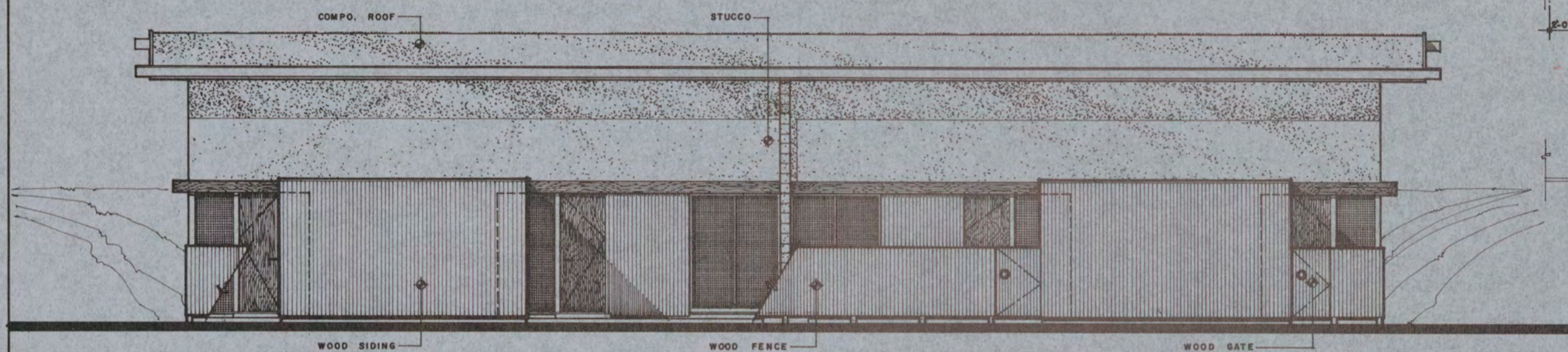
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

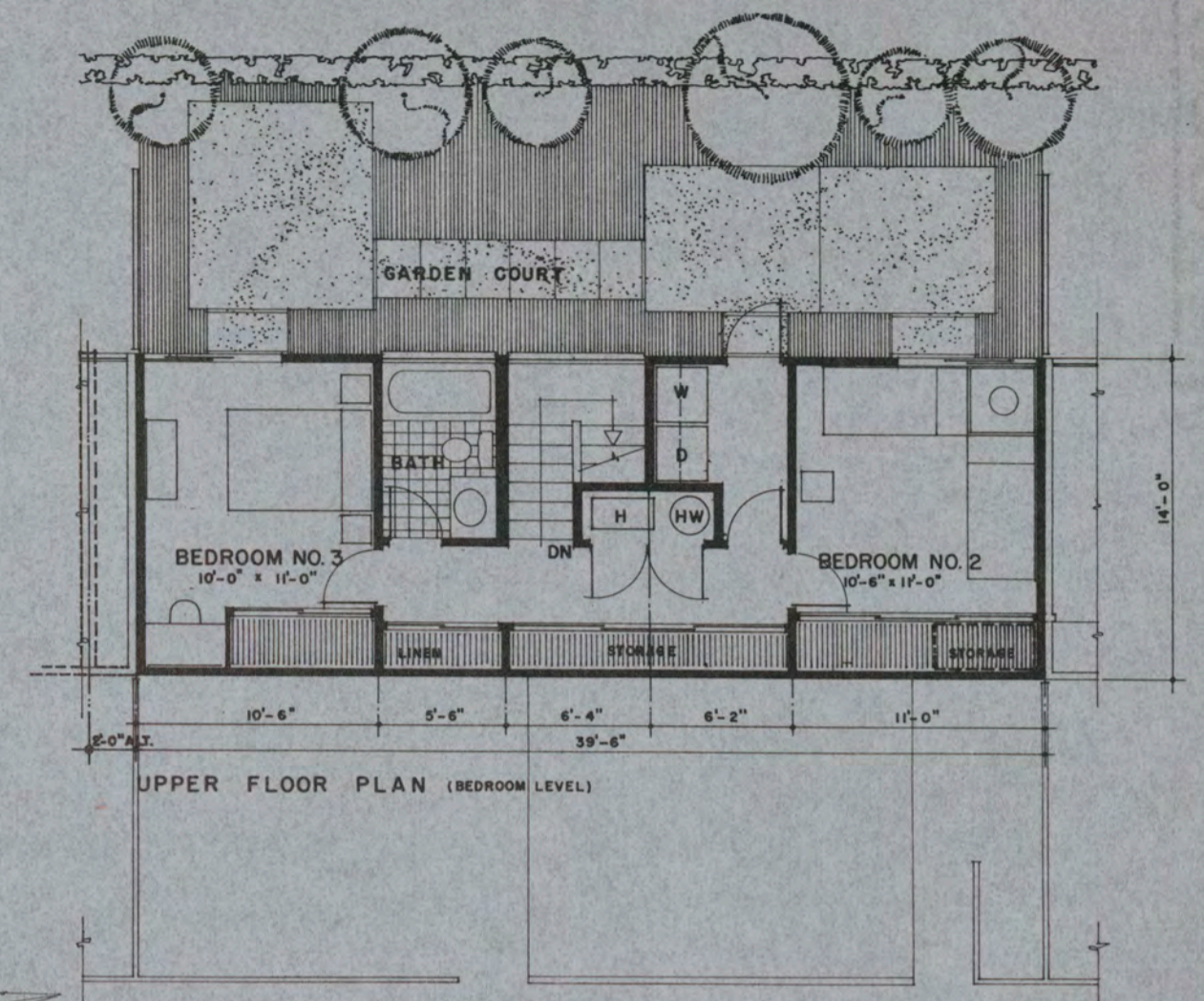
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES • ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER TOP FLOOR**

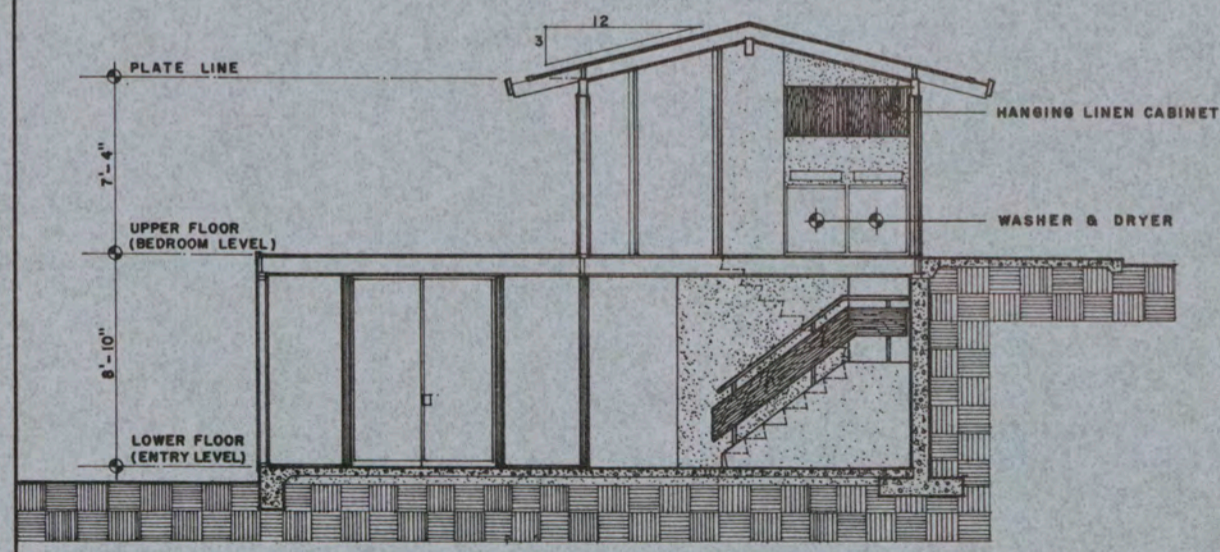
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 4b 1**  
IDENTIFICATION SYMBOL OF 1



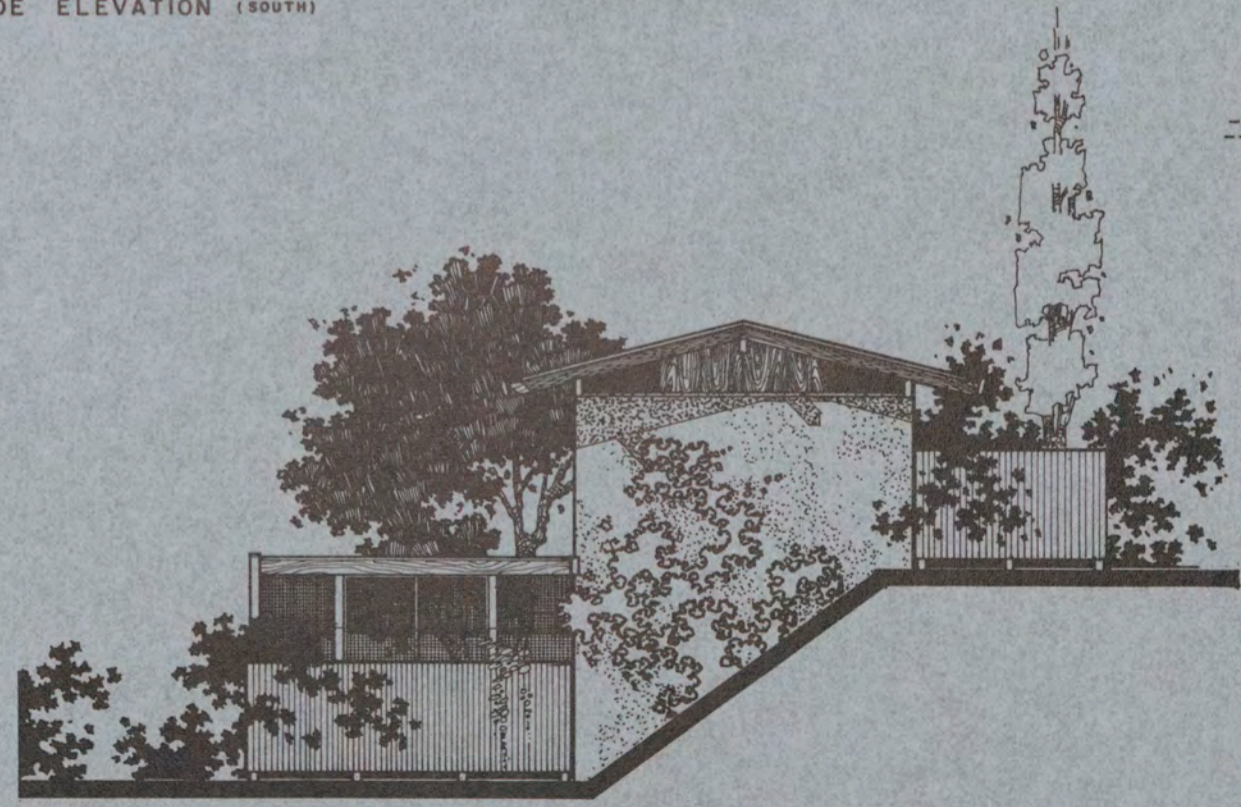
SIDE ELEVATION (SOUTH)



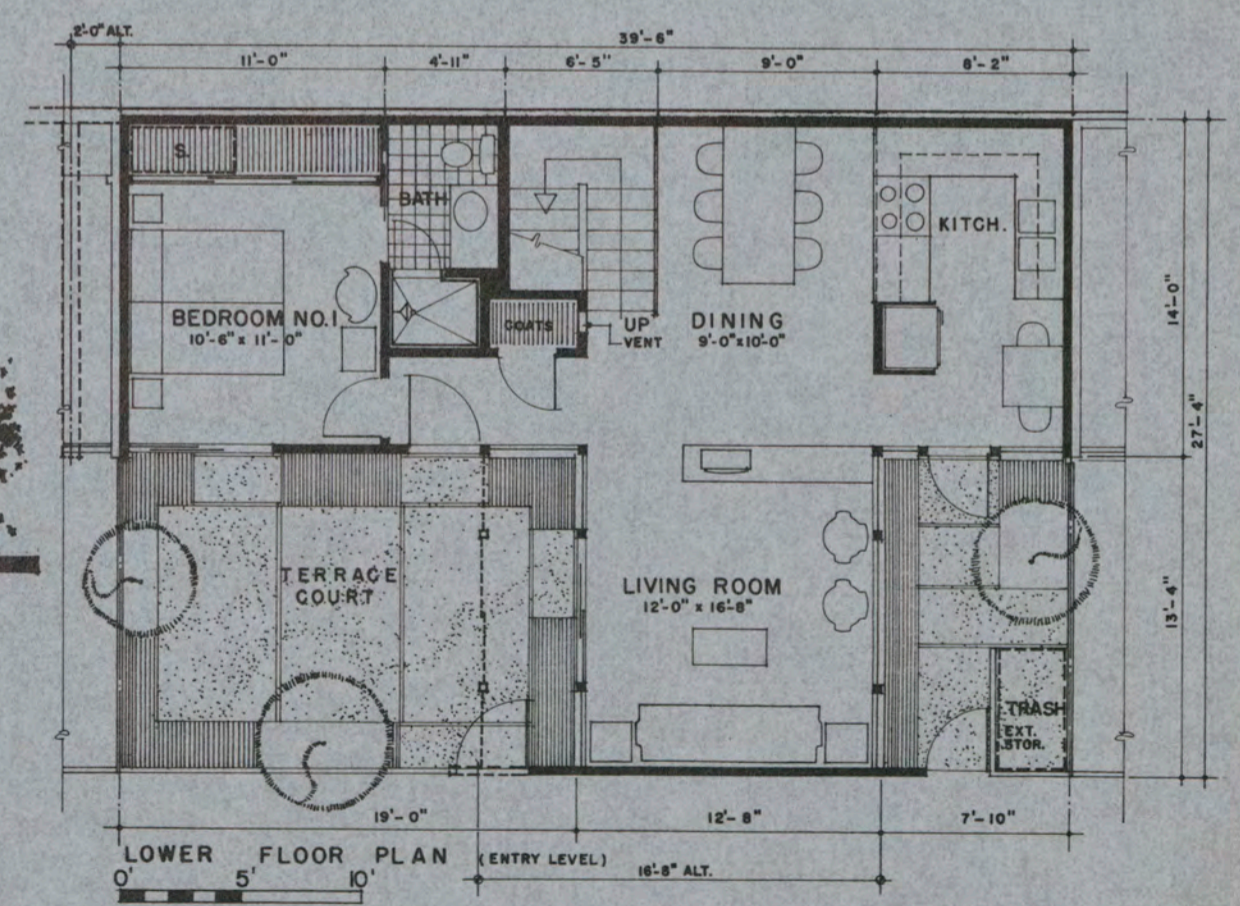
UPPER FLOOR PLAN (BEDROOM LEVEL)



SECTION



END ELEVATION (EAST)



LOWER FLOOR PLAN (ENTRY LEVEL)

GROSS AREA 1272 SQ. FT.  
NET AREA 1000 SQ. FT.



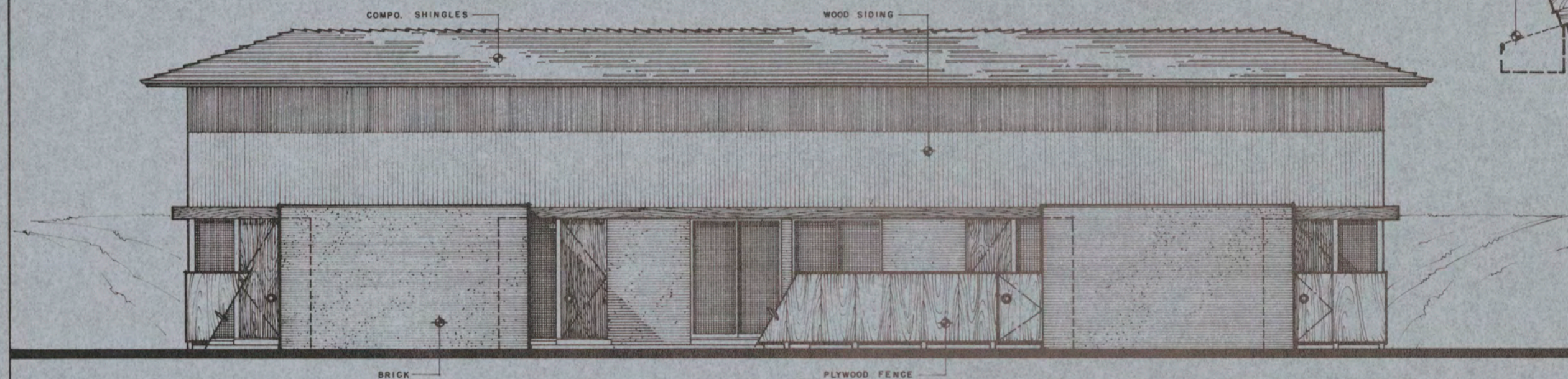
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Galen*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

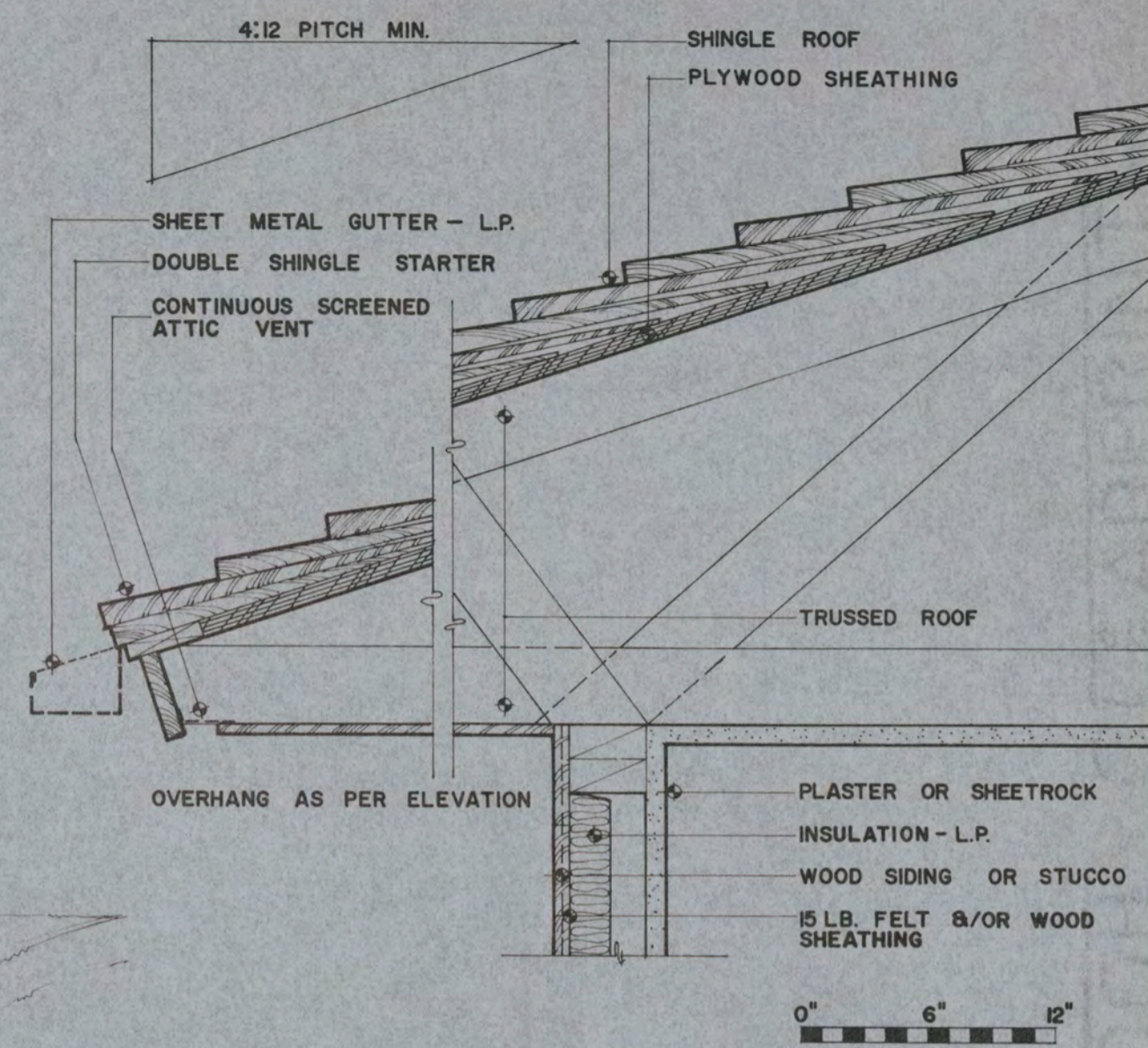
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER BOTTOM FLOOR**

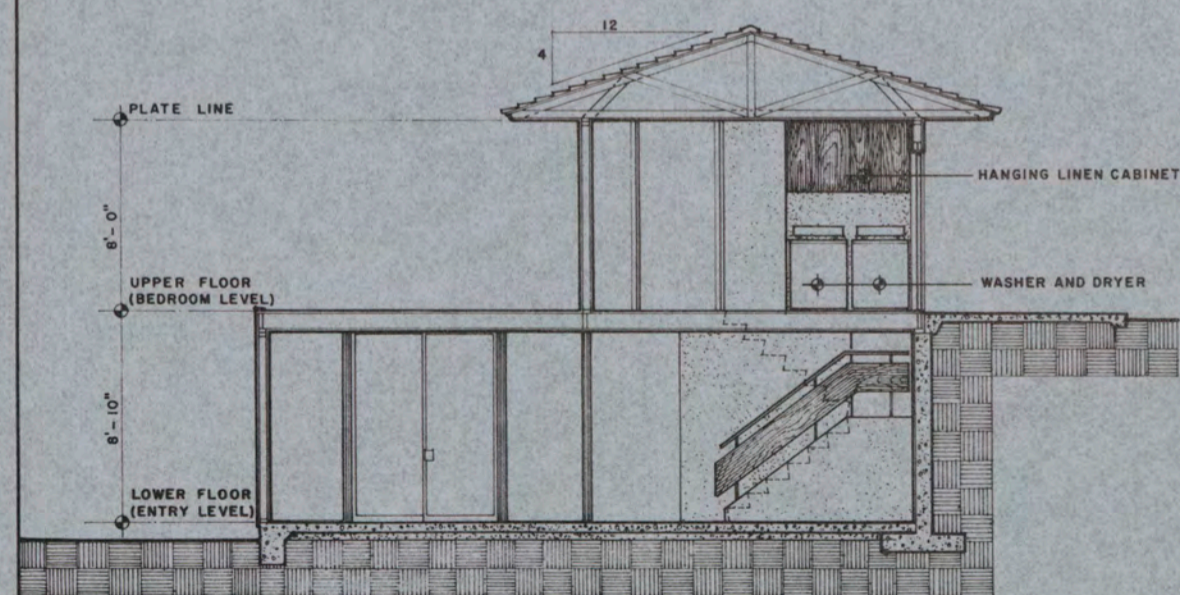
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 5a** 1 OF 2  
IDENTIFICATION SYMBOL



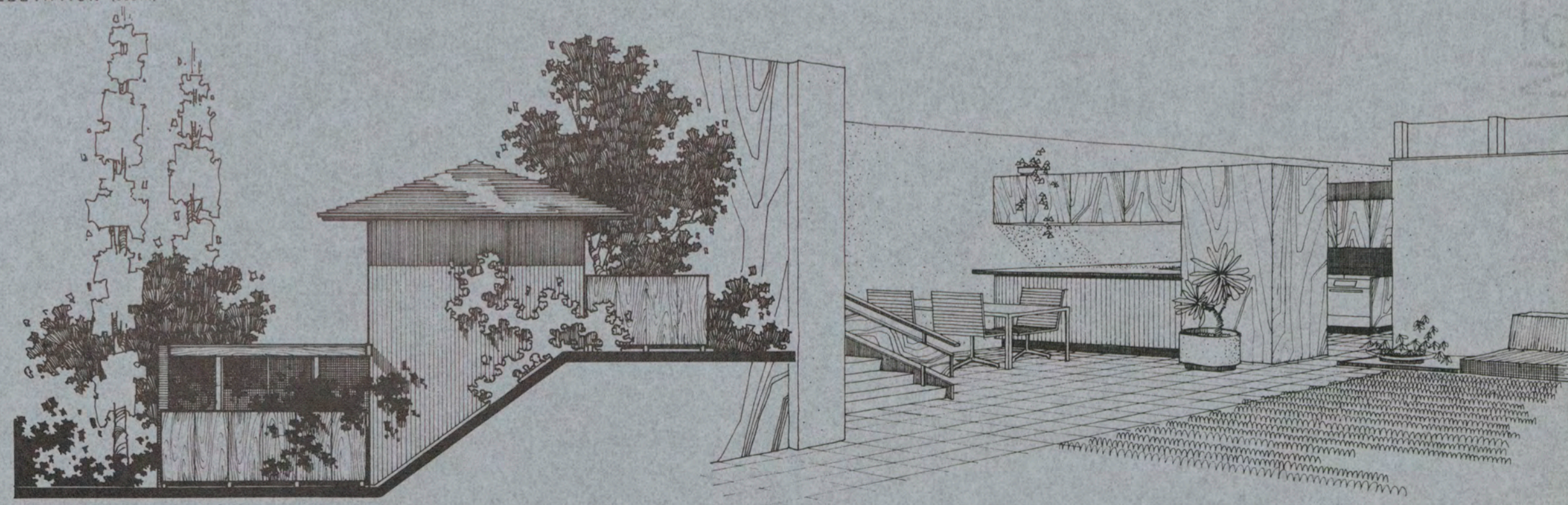
SIDE ELEVATION (SOUTH)



TYPICAL EAVE SECTION  
L.P. - LOCAL PRACTICE



SECTION



END ELEVATION (EAST)

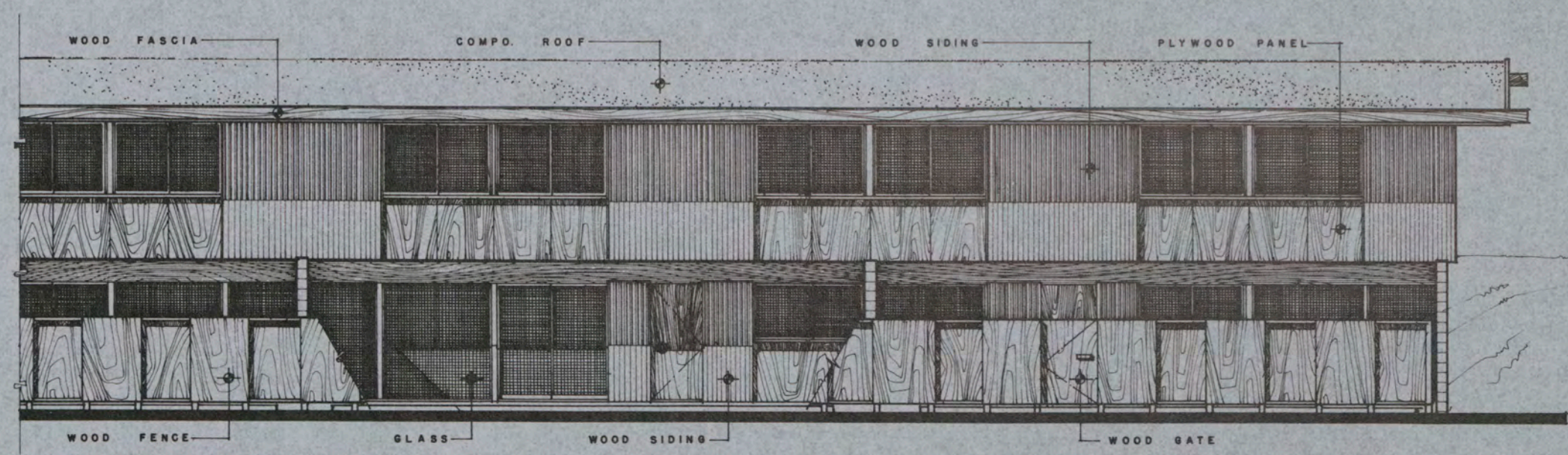
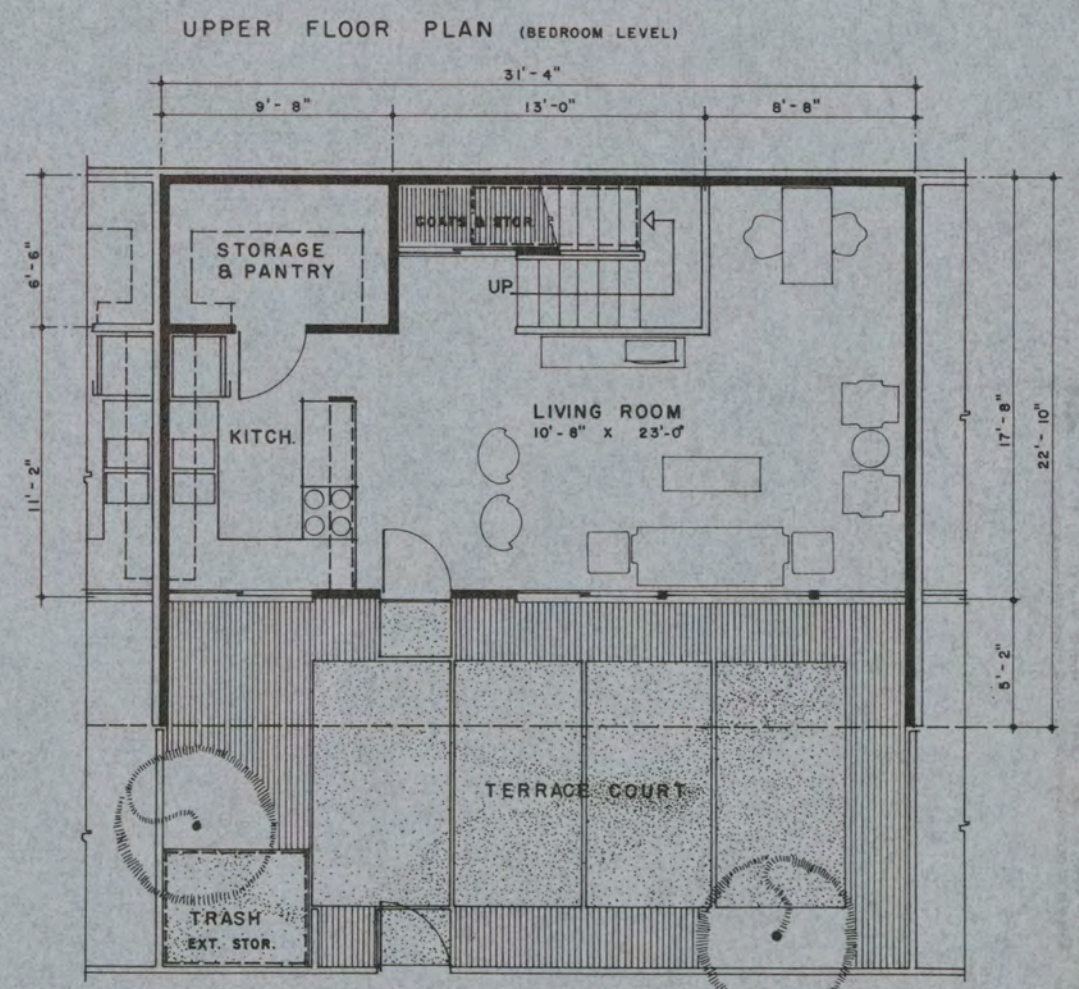
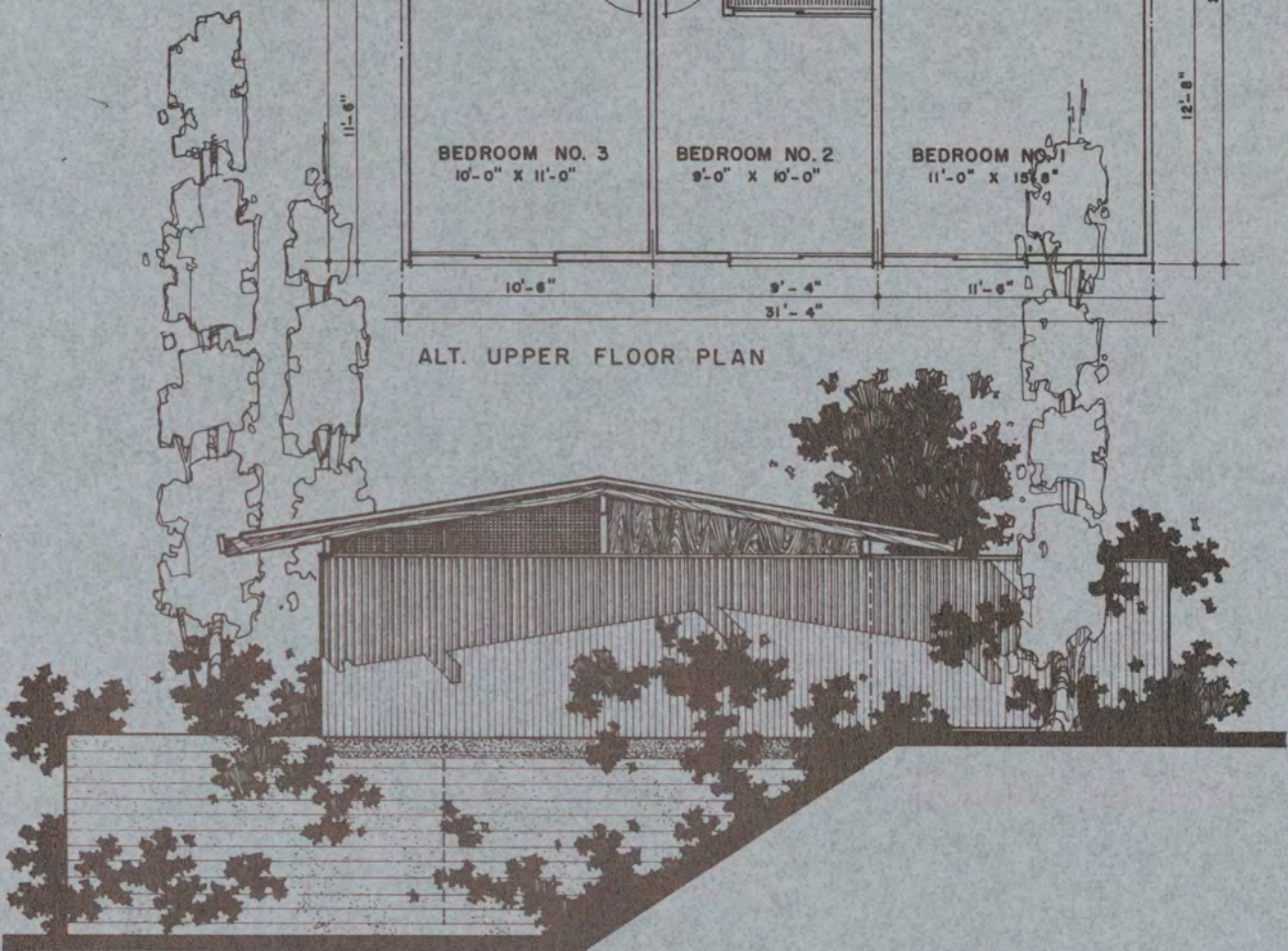
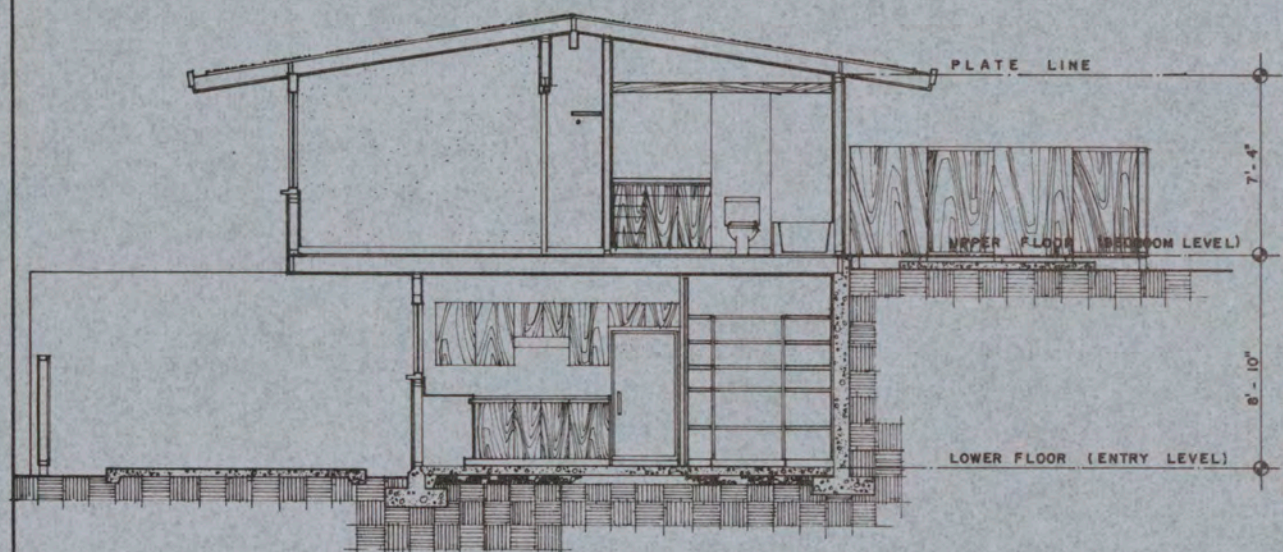
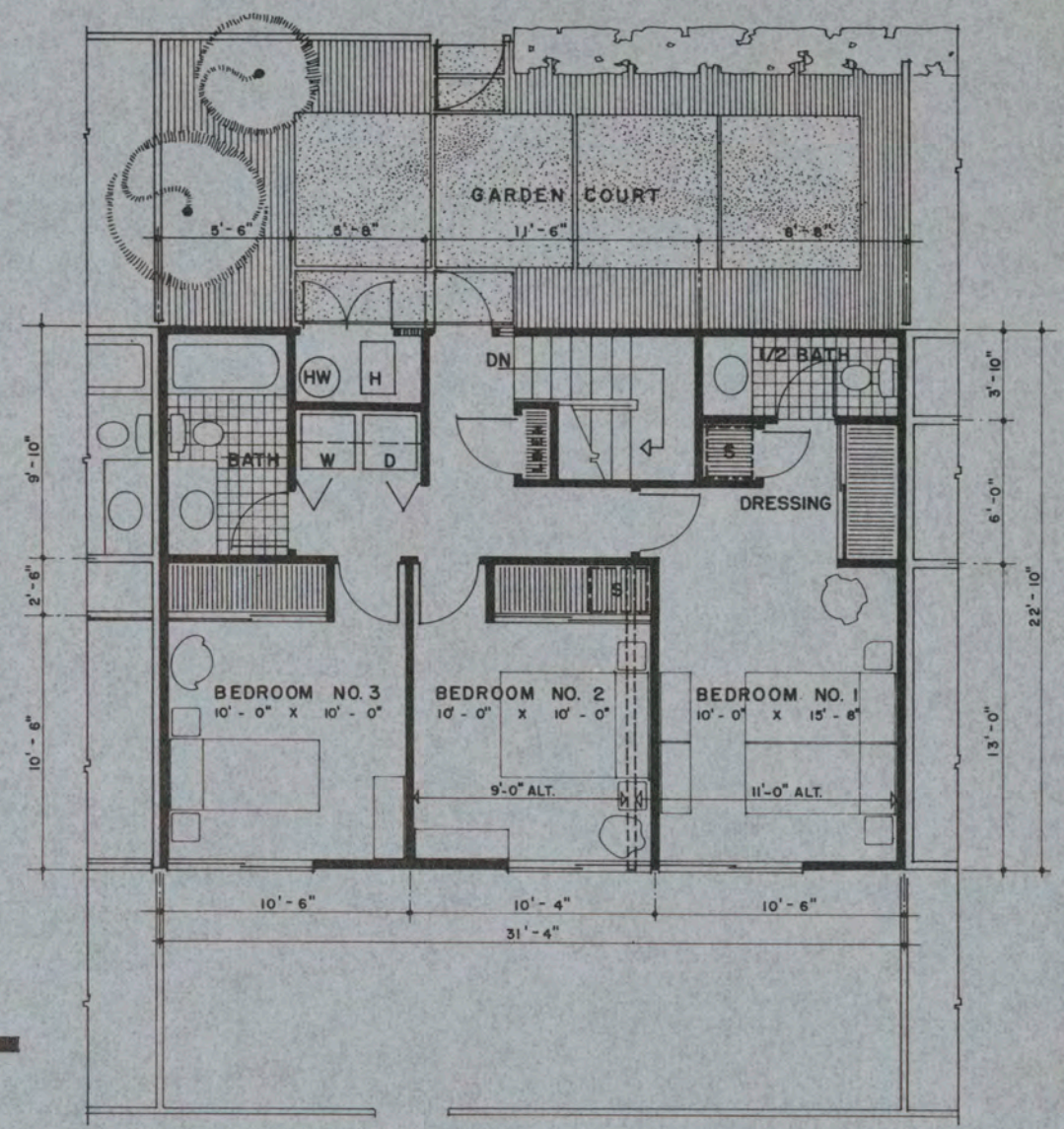
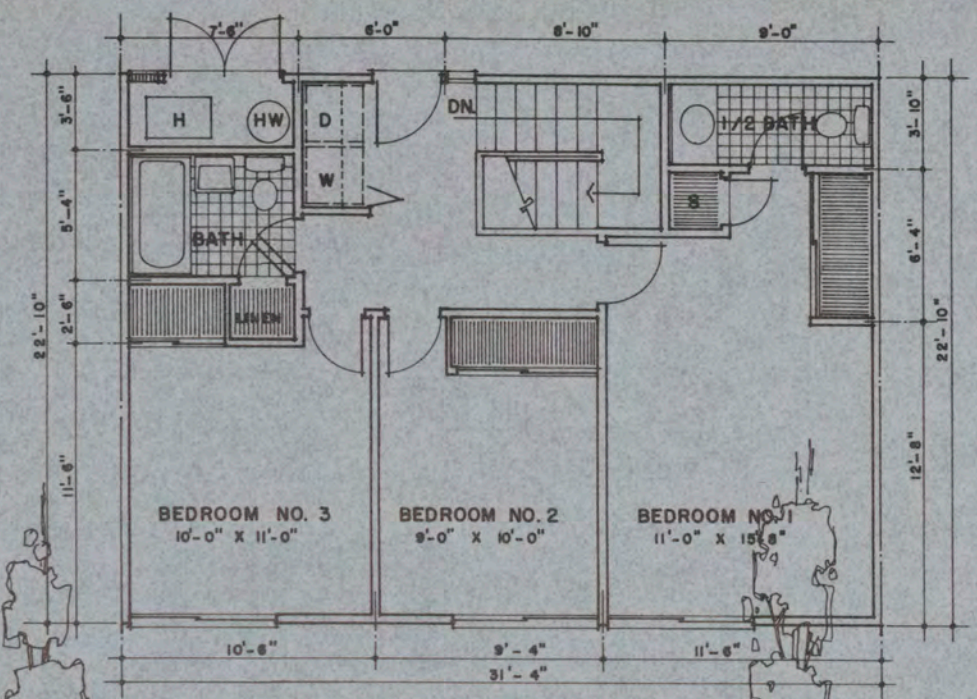
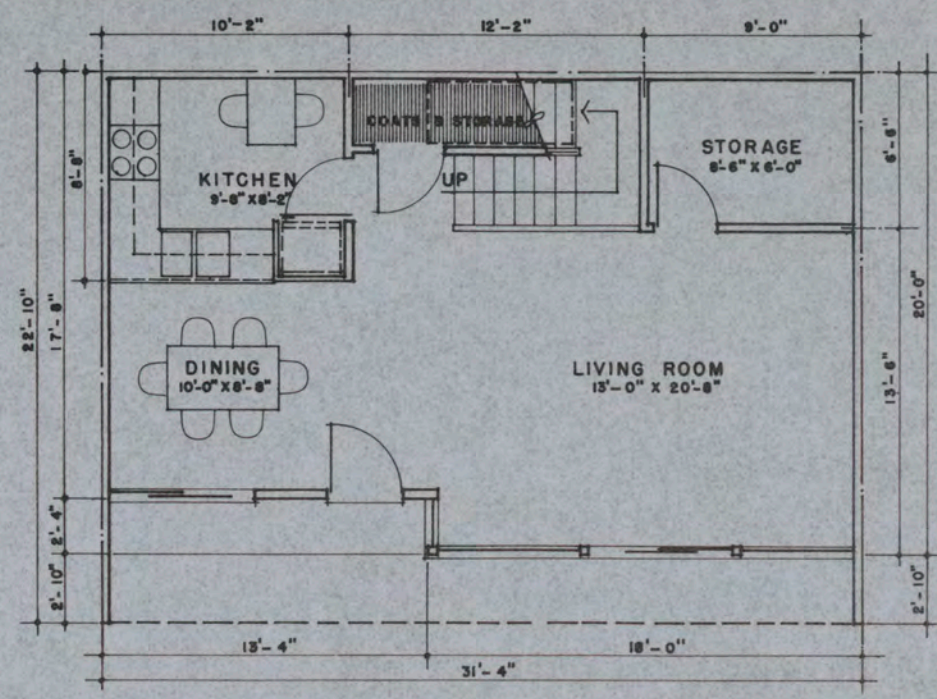
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 2 STORY TOWNHOUSE**  
**HILLSIDE ENTER BOTTOM FLOOR**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	EM	5a	2 OF 2
IDENTIFICATION SYMBOL			2



GROSS AREA 1269 SQ. FT.  
NET AREA 998 SQ. FT.

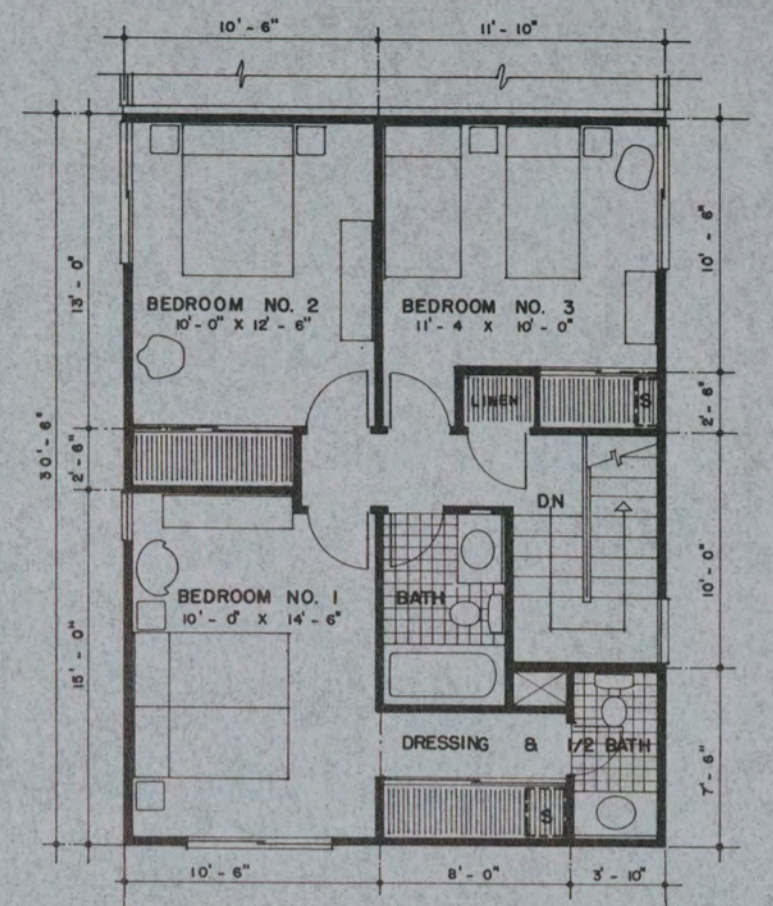
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmond J. Garber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

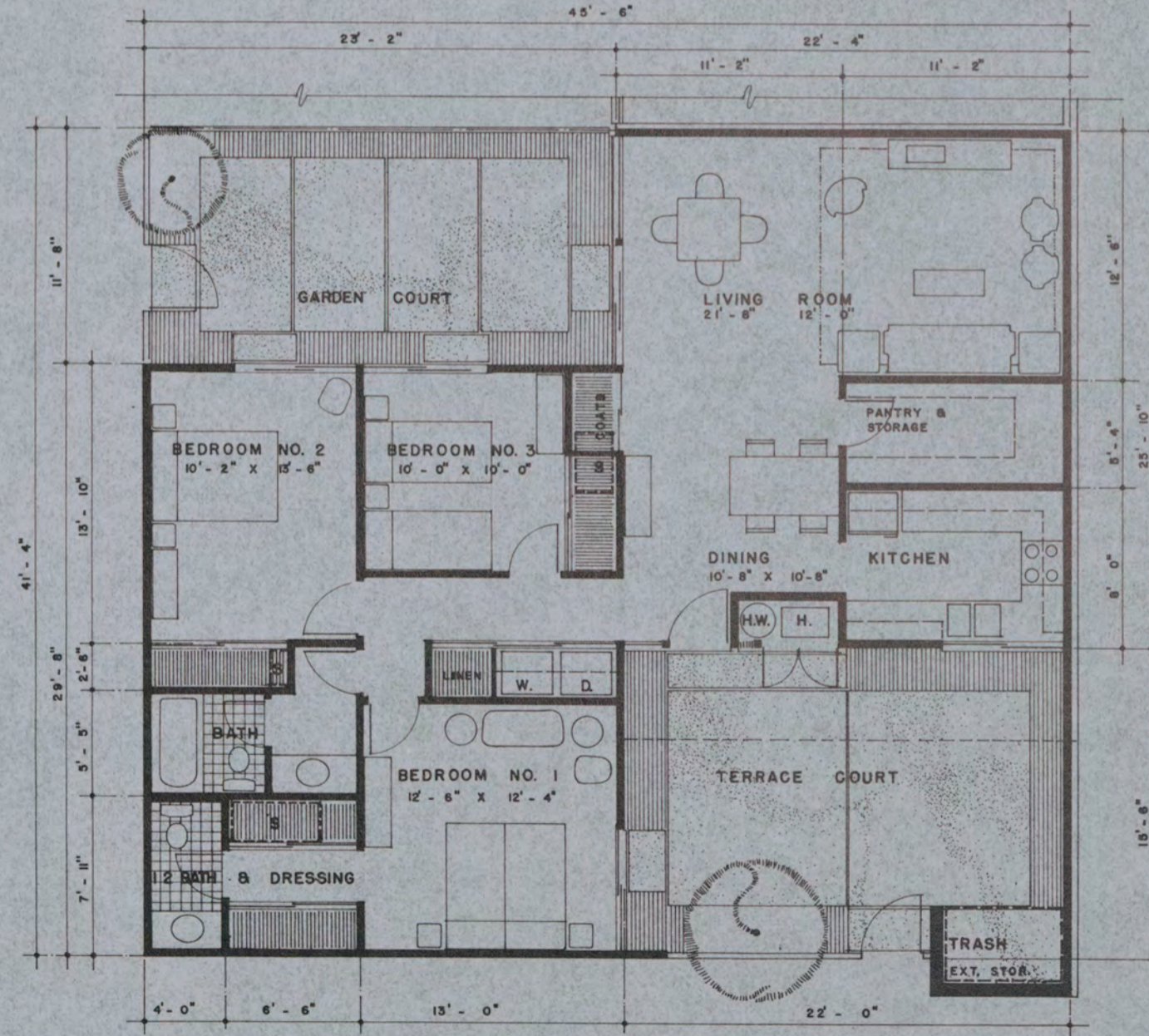
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER BOTTOM FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 5b** 1 OF 1  
IDENTIFICATION SYMBOL

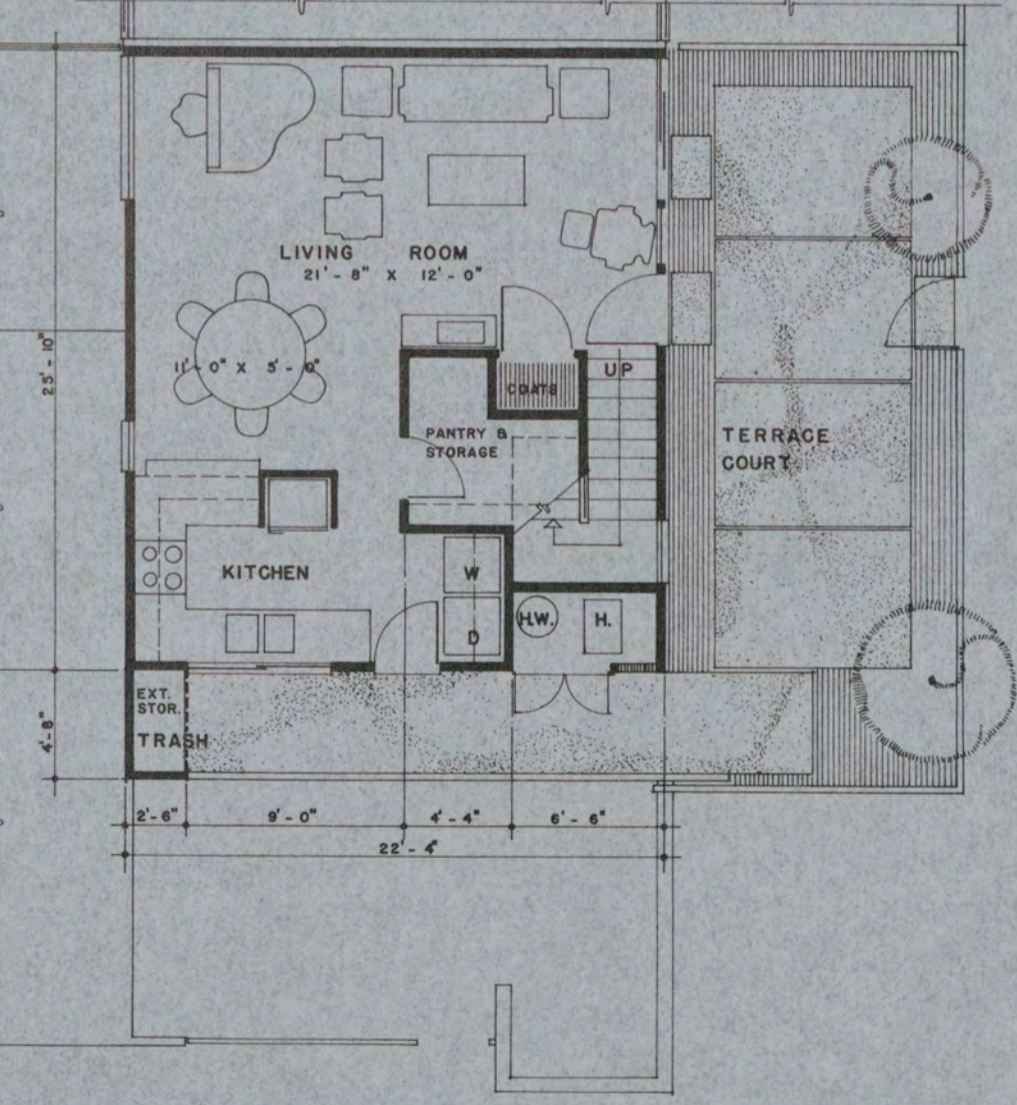


THIRD FLOOR PLAN (BEDROOM LEVEL - TWO STORY UNIT)



LOWER FLOOR PLAN (ONE STORY UNIT)

GROSS AREA 1268 SQ. FT.  
NET AREA 1080 SQ. FT.



SECOND FLOOR PLAN (ENTRY LEVEL - TWO STORY UNIT)

0 5' 10'

GROSS AREA 1258 SQ. FT.  
NET AREA 1000 SQ. FT.



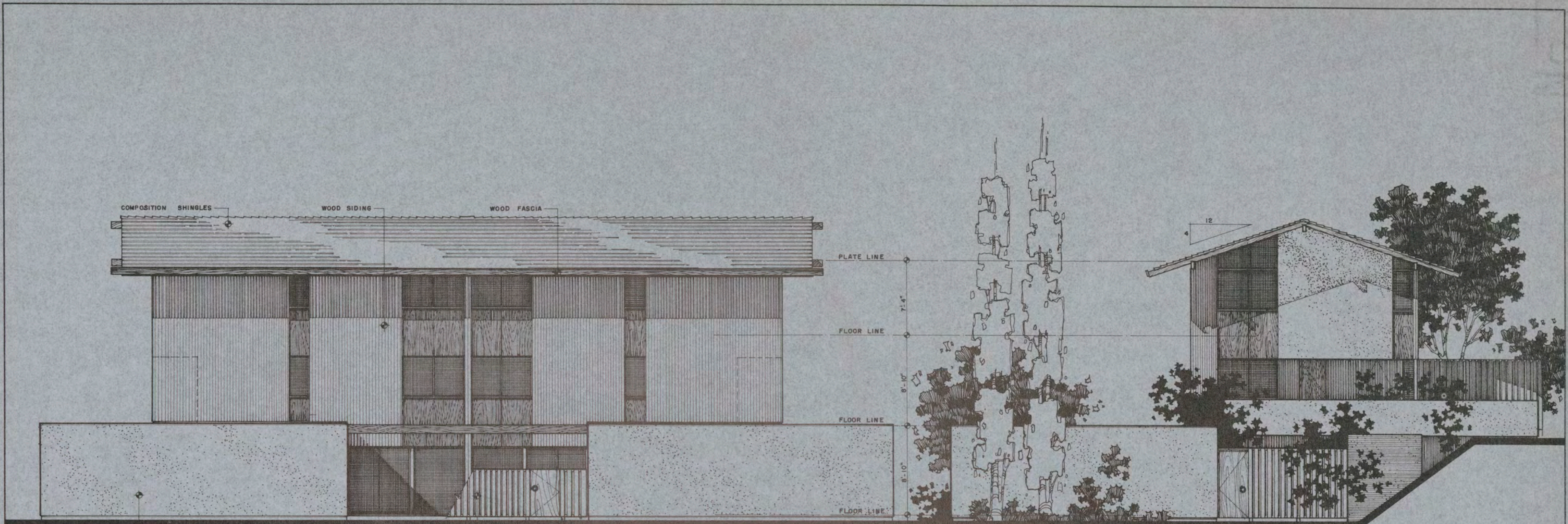
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 3 STORY TOWNHOUSE**  
**HILLSIDE COMBINATION**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III EM 6&7** 1  
IDENTIFICATION SYMBOL OF 2



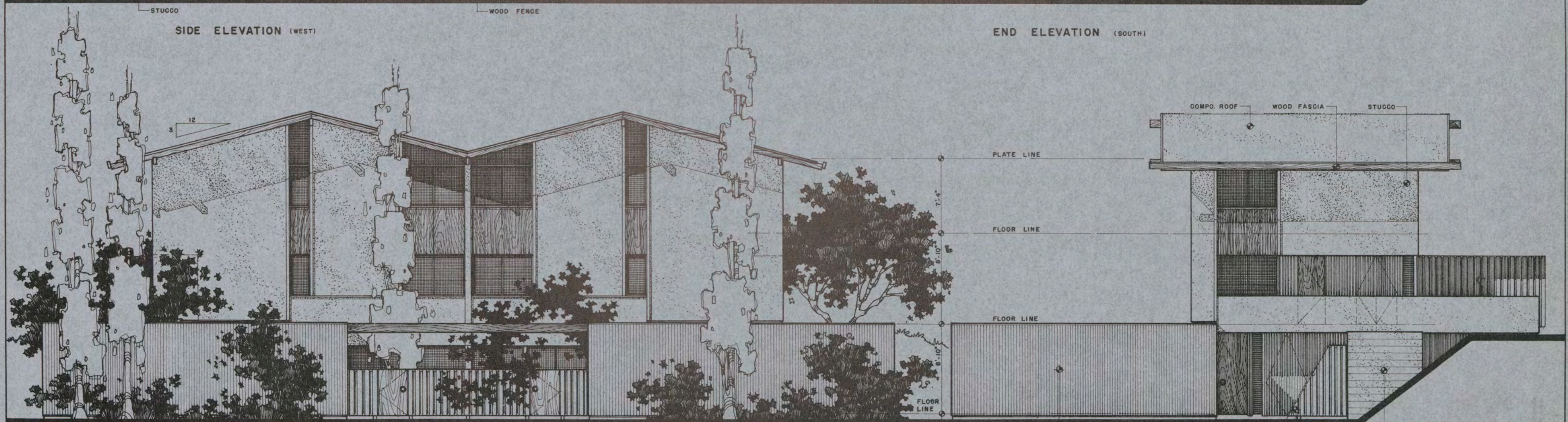
COMPOSITION SHINGLES WOOD SIDING WOOD FASCIA

PLATE LINE  
7'-4"  
FLOOR LINE  
8'-10"  
FLOOR LINE  
8'-10"  
FLOOR LINE

STUCCO WOOD FENCE

SIDE ELEVATION (WEST)

END ELEVATION (SOUTH)



COMPO. ROOF WOOD FASCIA STUCCO

PLATE LINE  
7'-4"  
FLOOR LINE  
8'-10"  
FLOOR LINE  
8'-10"  
FLOOR LINE

ALTERNATE SIDE ELEVATION (WEST)

ALTERNATE END ELEVATION (SOUTH)

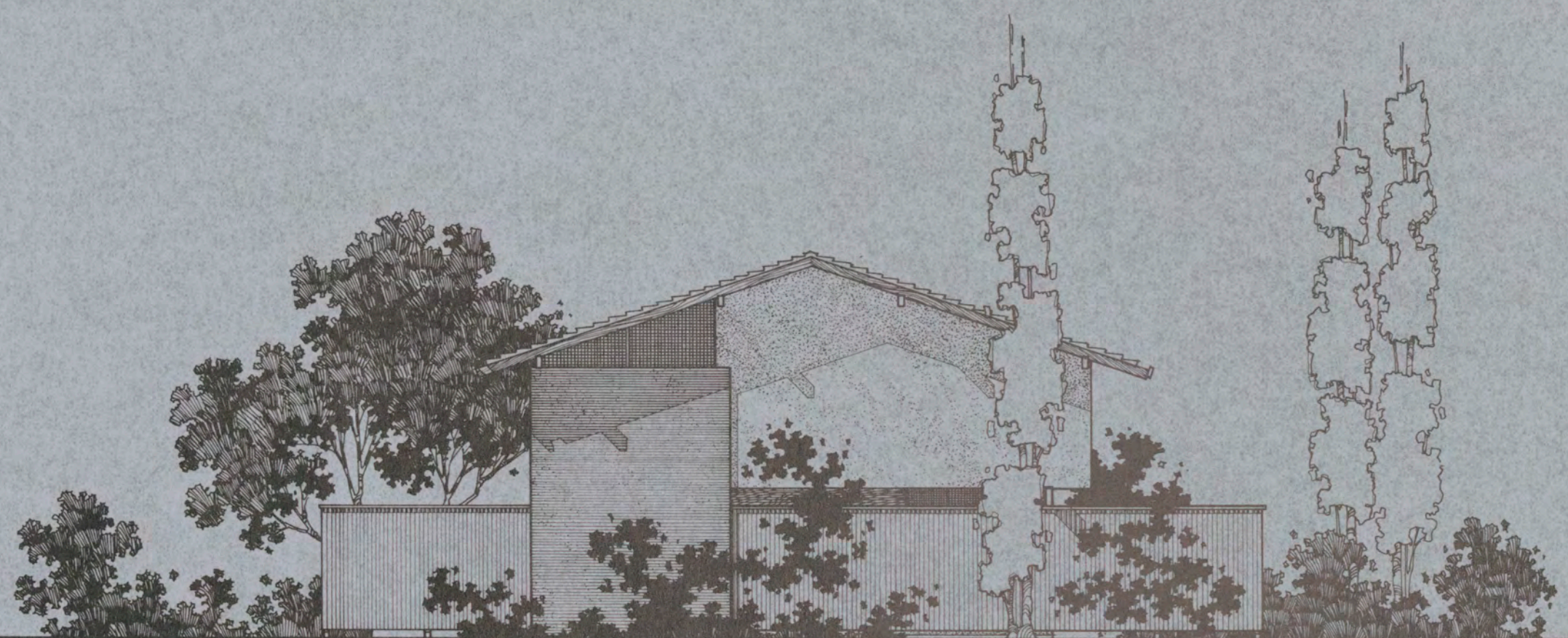
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynard J. Harbo*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

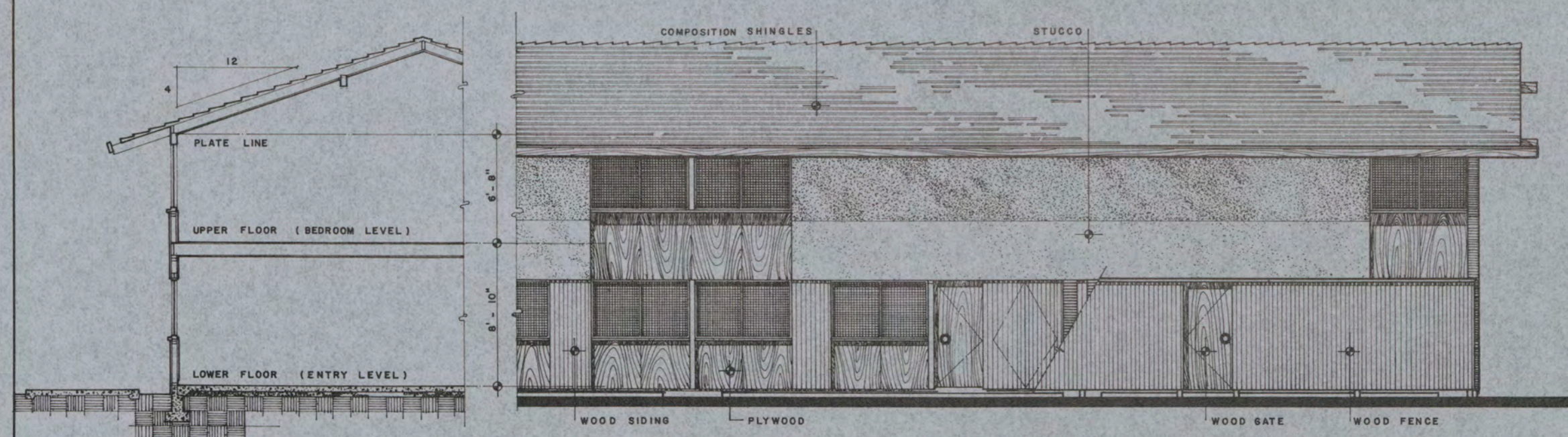
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**ENLISTED MEN**  
**3 BR. 3 STORY TOWNHOUSE**  
**HILLSIDE COMBINATION**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III EM 6&7			2 OF 2
IDENTIFICATION SYMBOL			

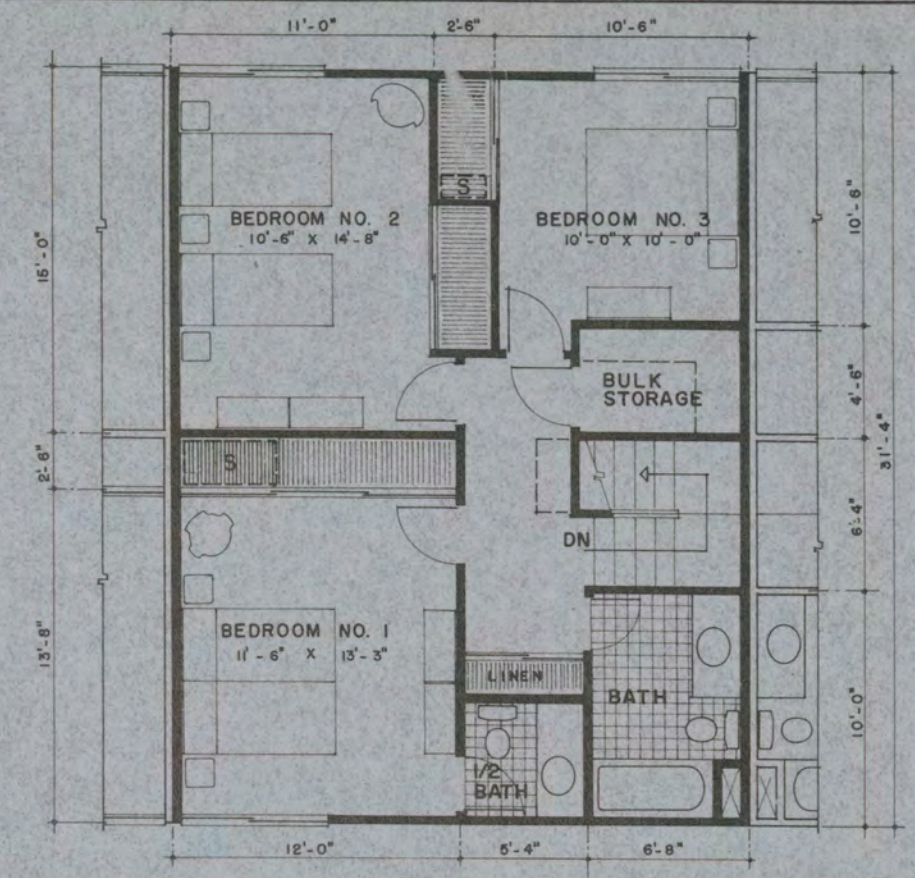


END ELEVATION (EAST)

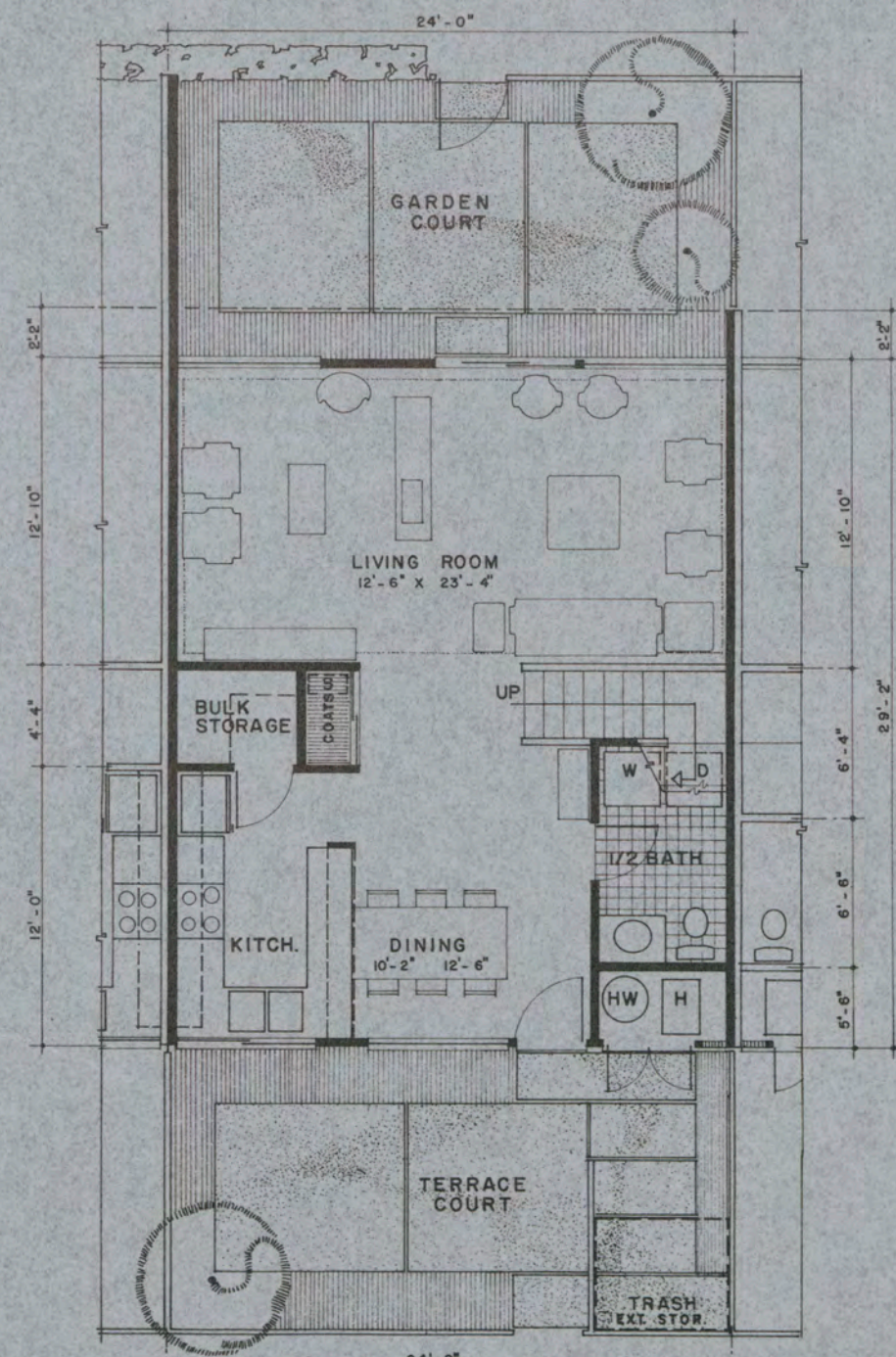


1/2 SECTION

SIDE ELEVATION (SOUTH)



UPPER FLOOR PLAN (BEDROOM LEVEL)



LOWER FLOOR PLAN (ENTRY LEVEL)

GROSS AREA 1452 SQ. FT.  
NET AREA 1185 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

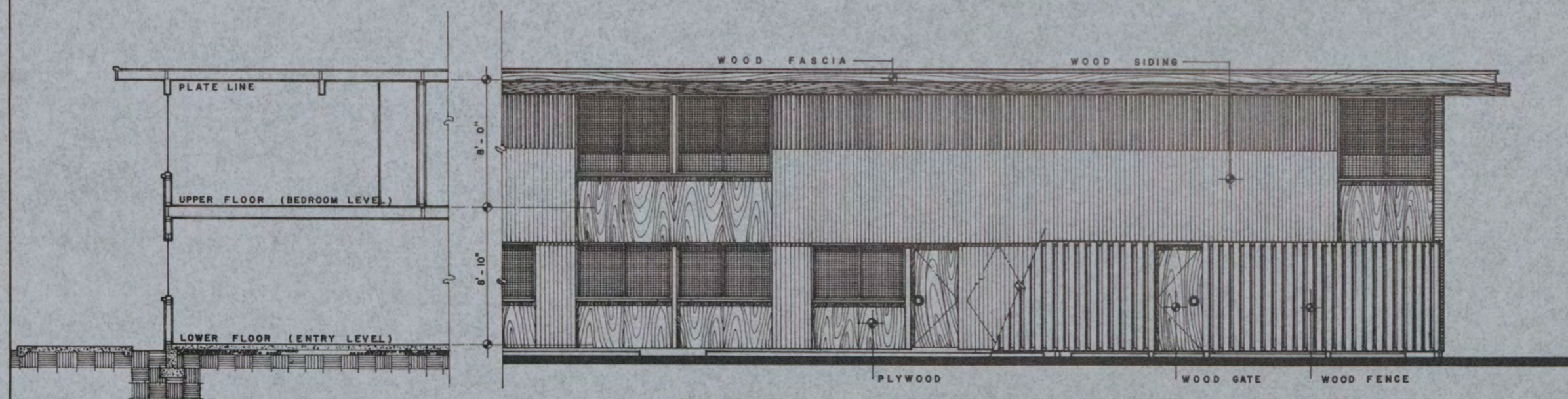
DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 1** **1**  
IDENTIFICATION SYMBOL **OF 2**



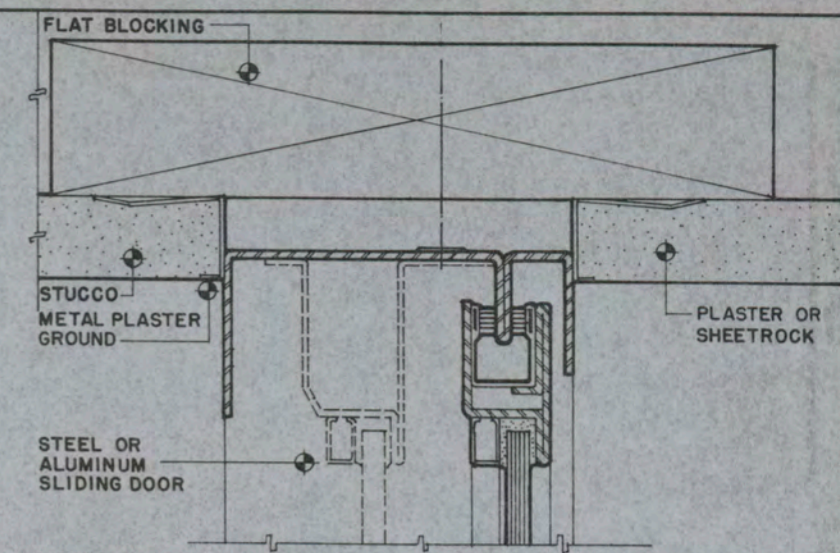


END ELEVATION (EAST)

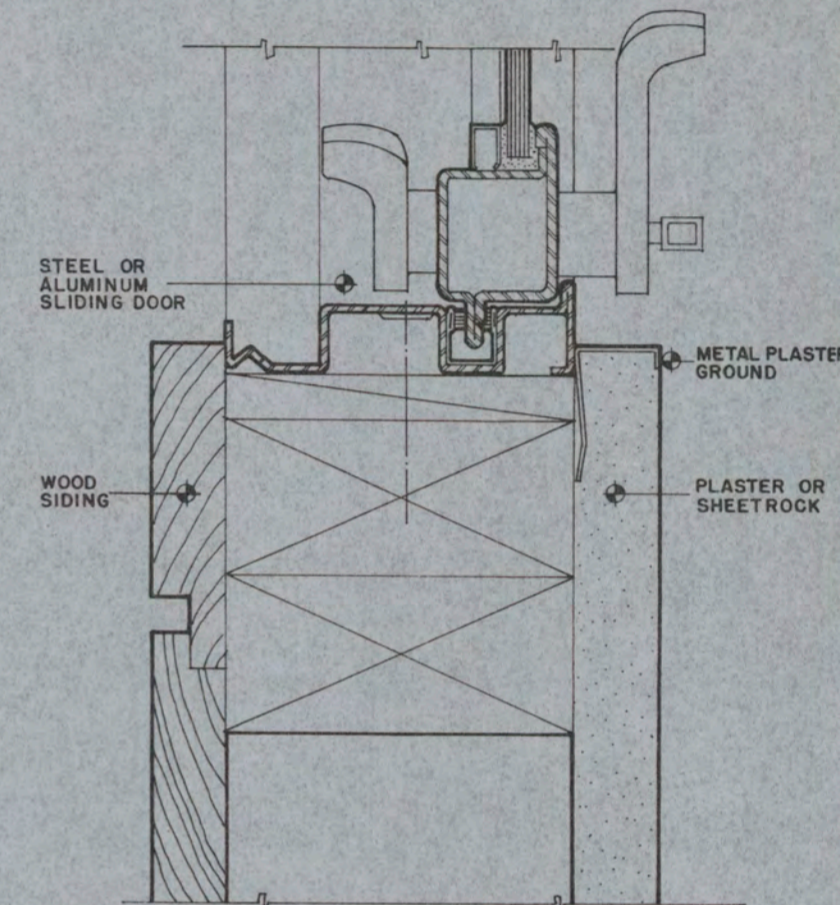


1/2 SECTION

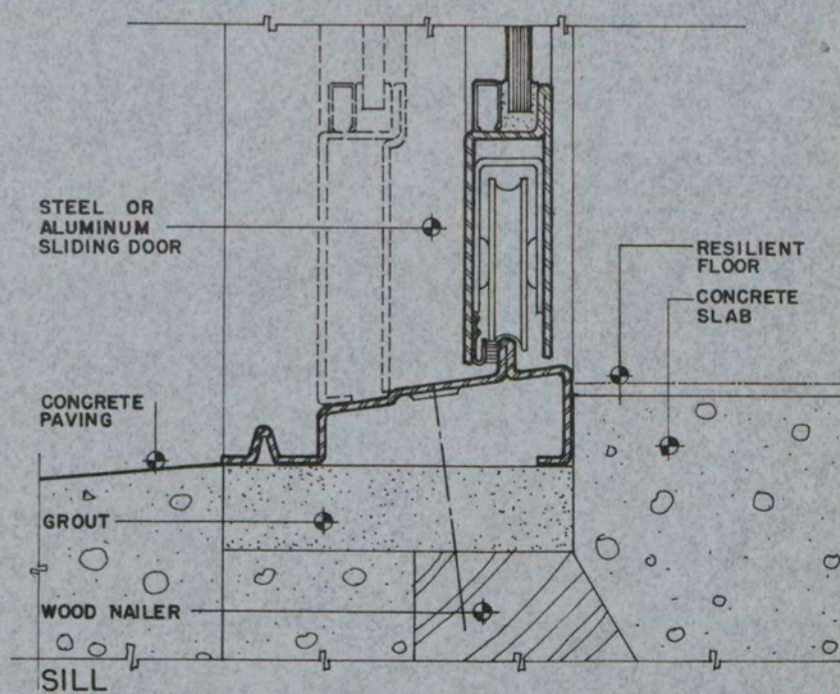
SIDE ELEVATION (SOUTH)



HEAD



JAMB



TYPICAL SLIDING DOOR DETAILS



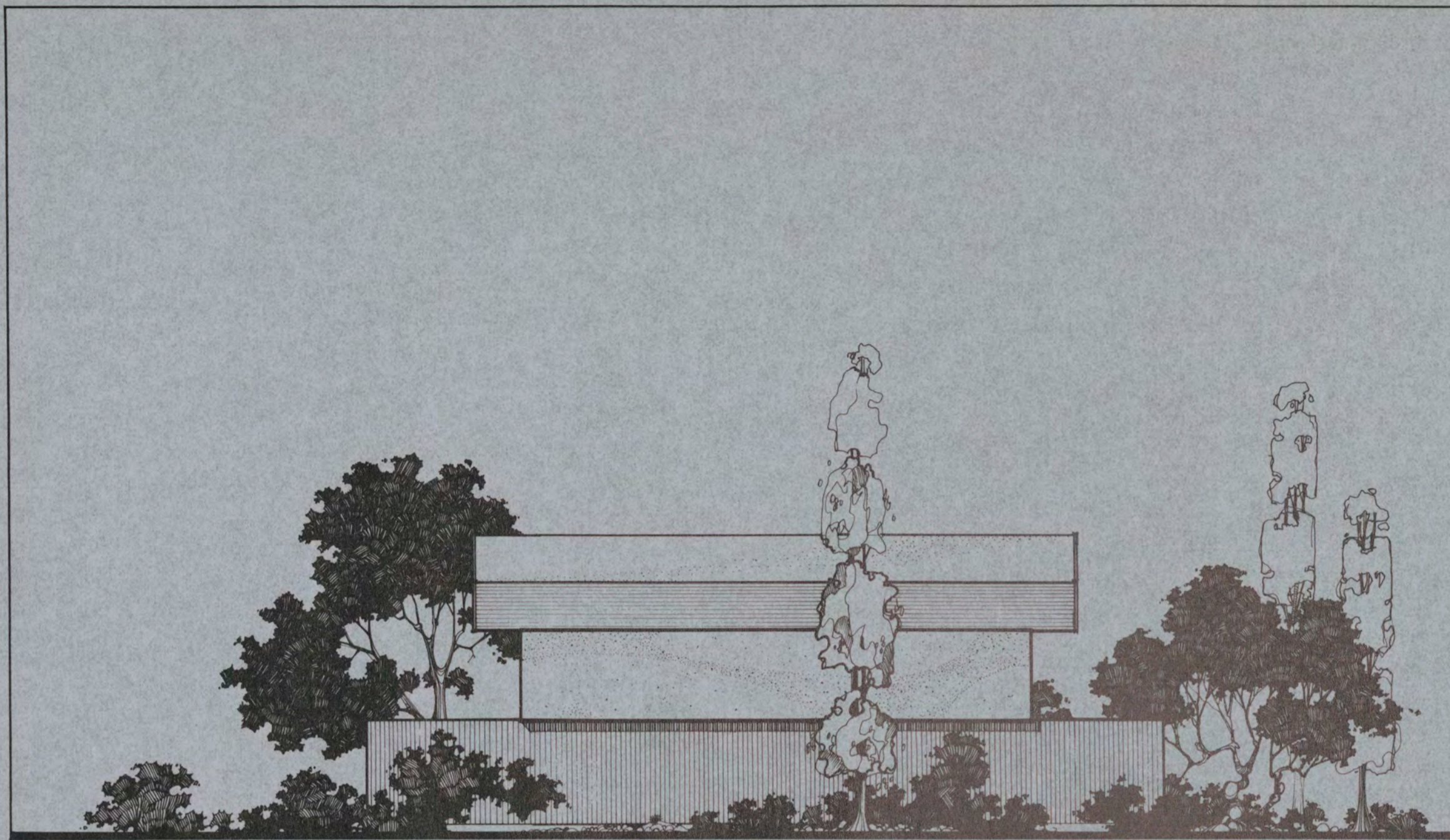
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

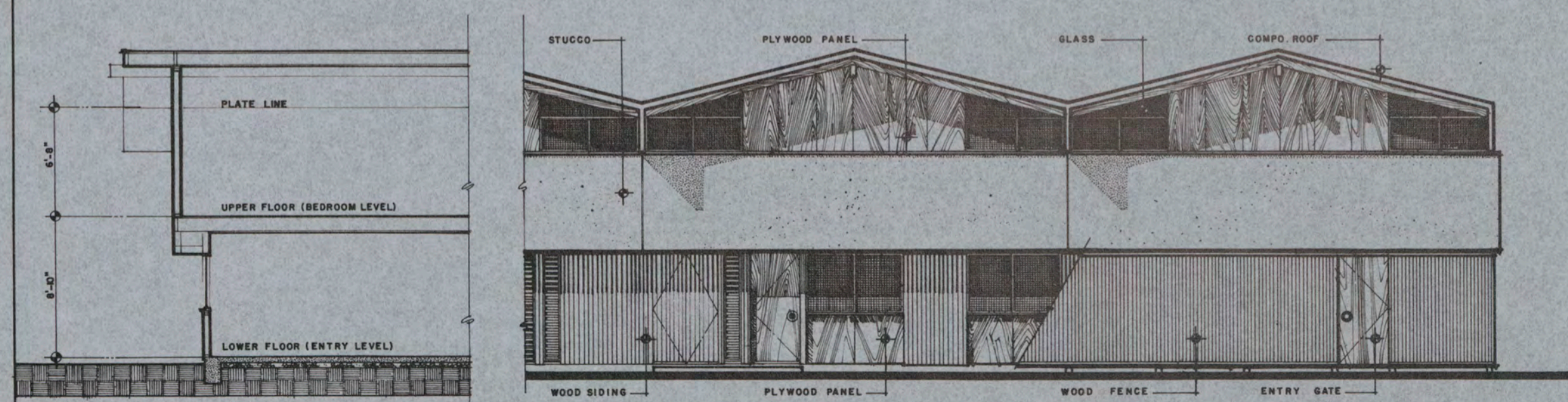
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EAMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS**  
**3 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	CGO	1	2
IDENTIFICATION SYMBOL			OF 2

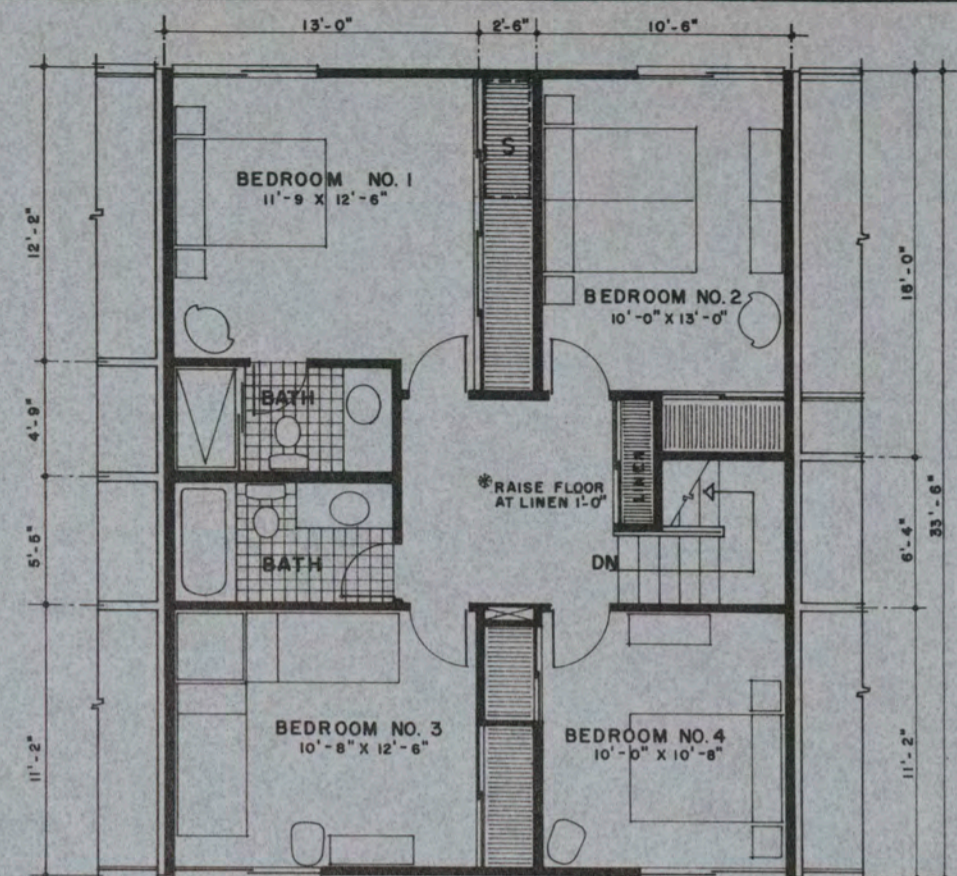


END ELEVATION (EAST)

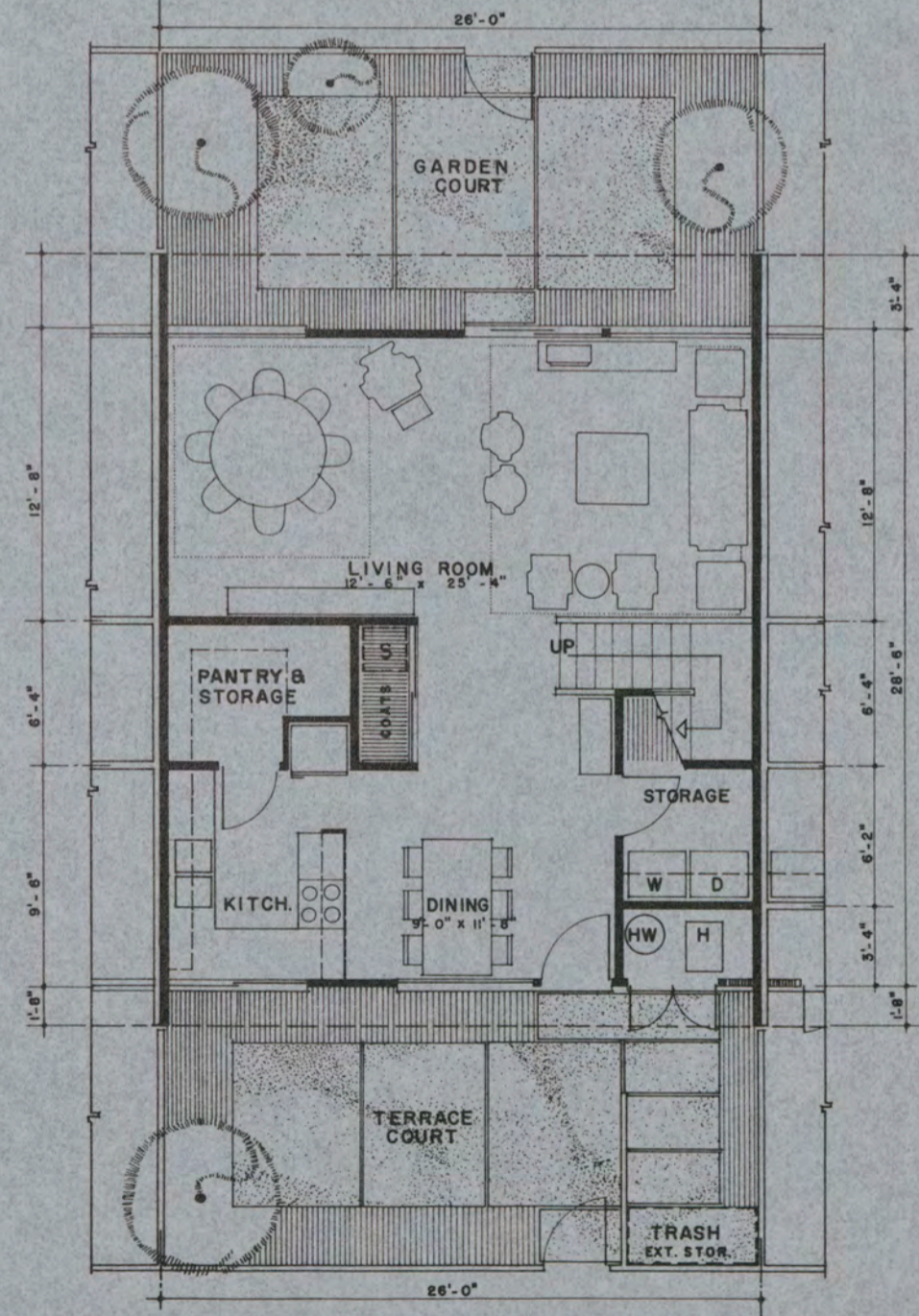


1/2 SECTION

SIDE ELEVATION (SOUTH)



UPPER FLOOR PLAN (BEDROOM LEVEL)



LOWER FLOOR PLAN (ENTRY LEVEL)



GROSS AREA 1612 SQ. FT.  
NET AREA 1335 SQ. FT.

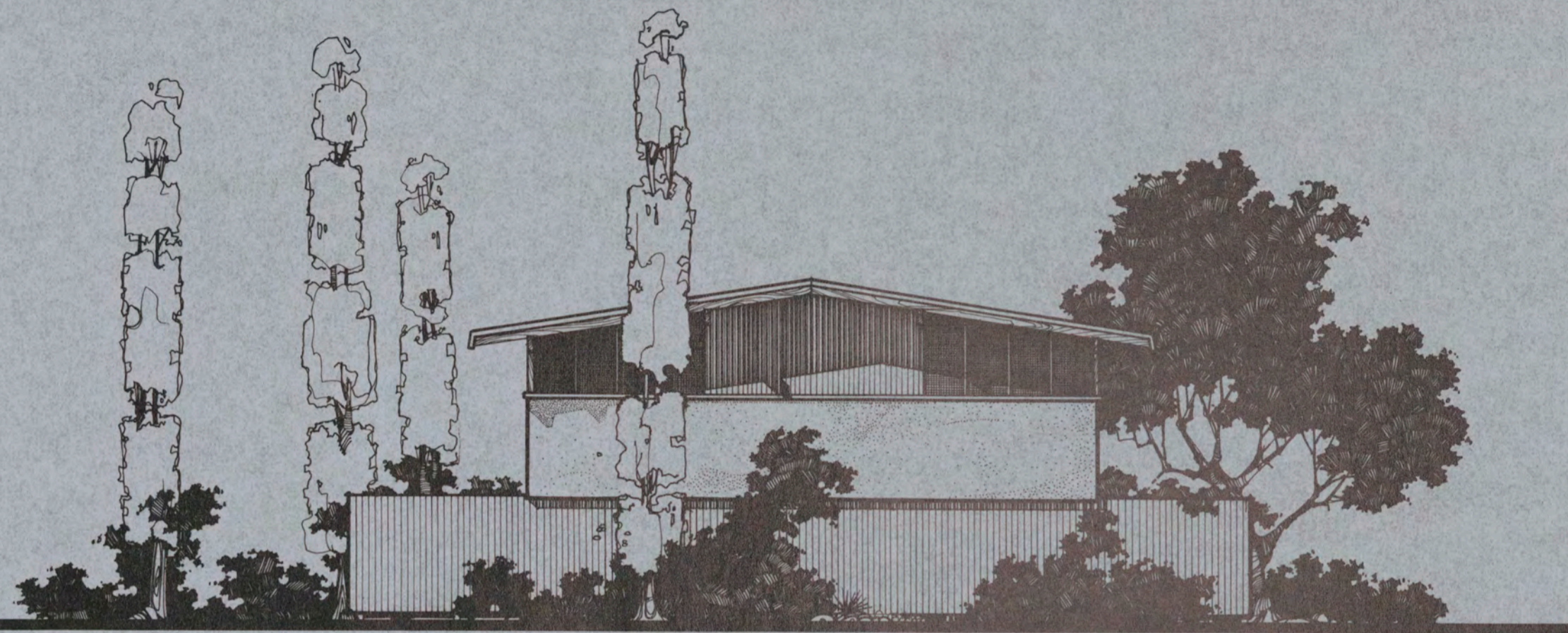
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

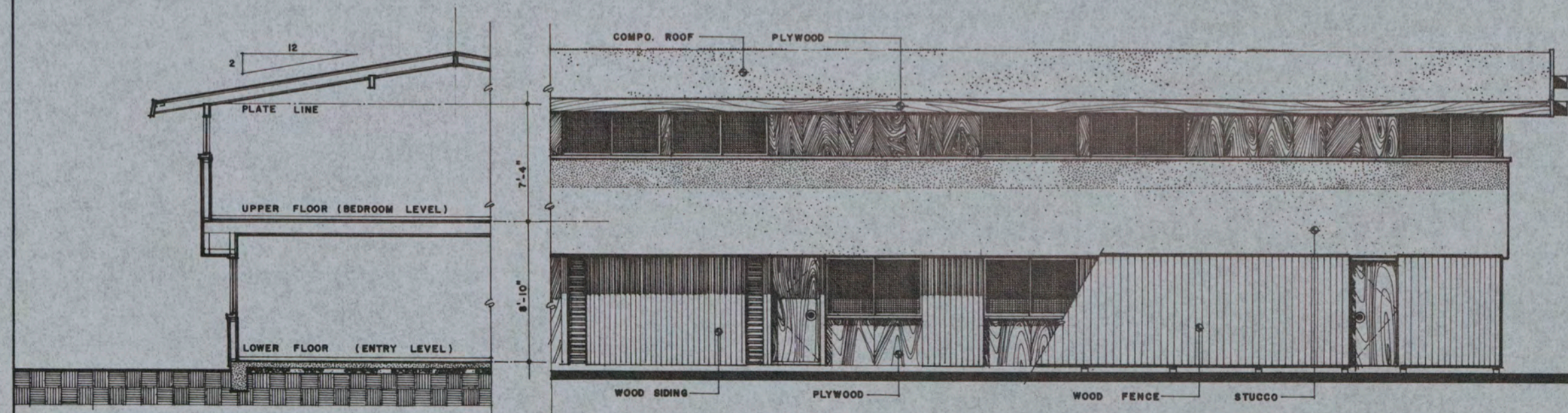
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES • ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
4 BR. 2 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 2 1**  
IDENTIFICATION SYMBOL OF 2

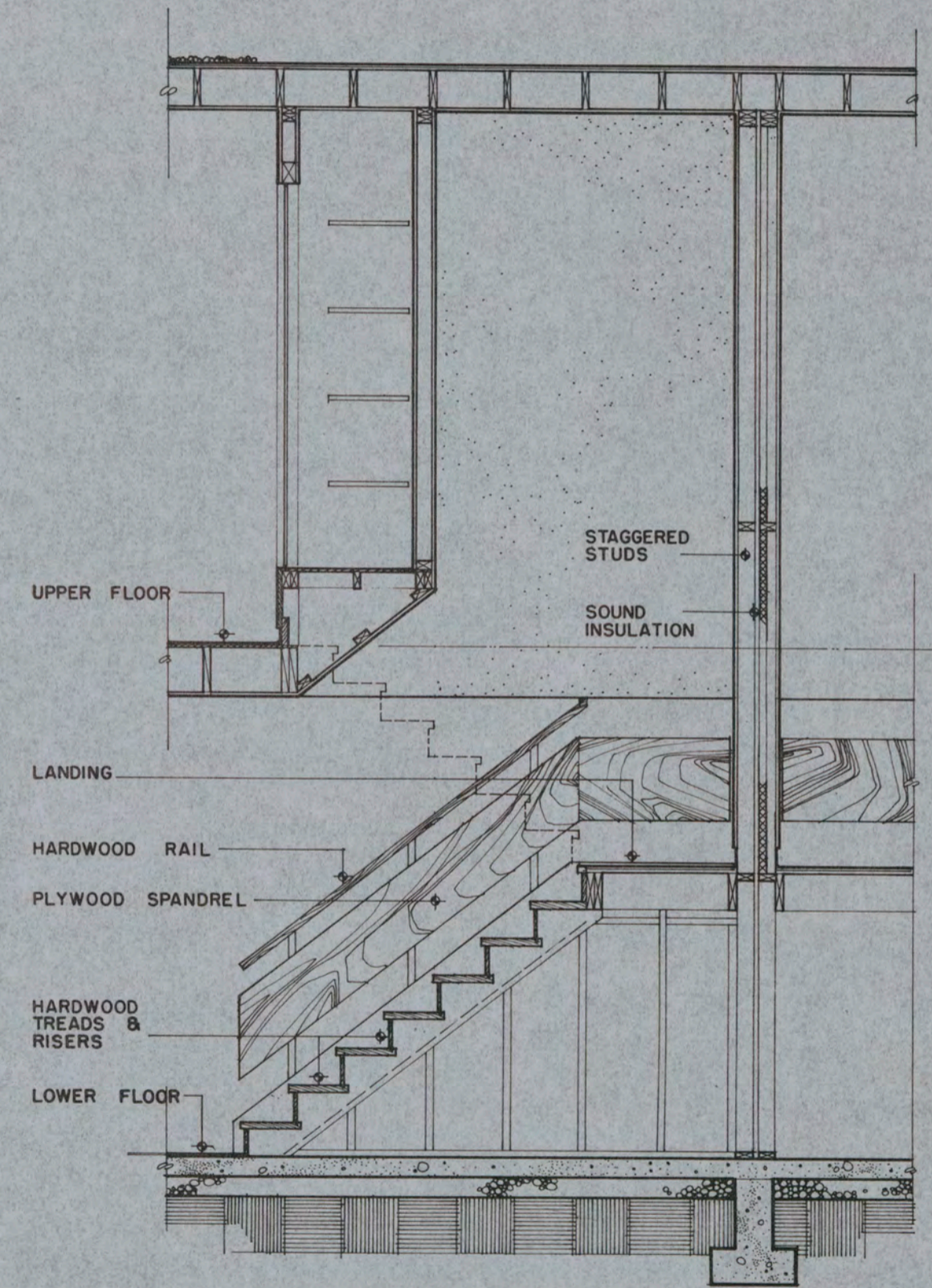


END ELEVATION (EAST)



1/2 SECTION

SIDE ELEVATION (SOUTH)



STAIR DETAIL  
0 1' 2' 3' 4' 5'

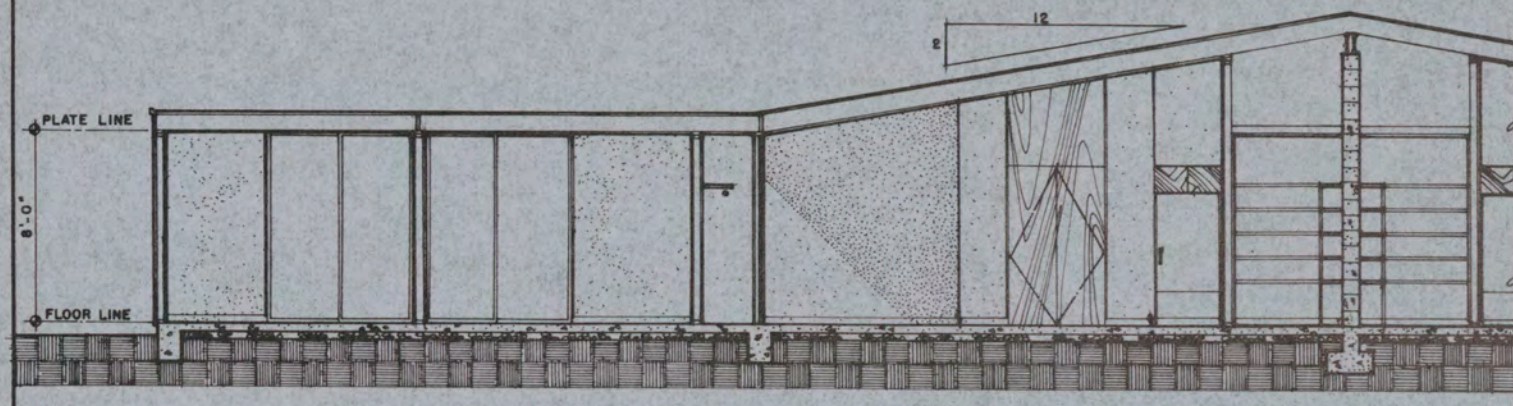
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Huber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

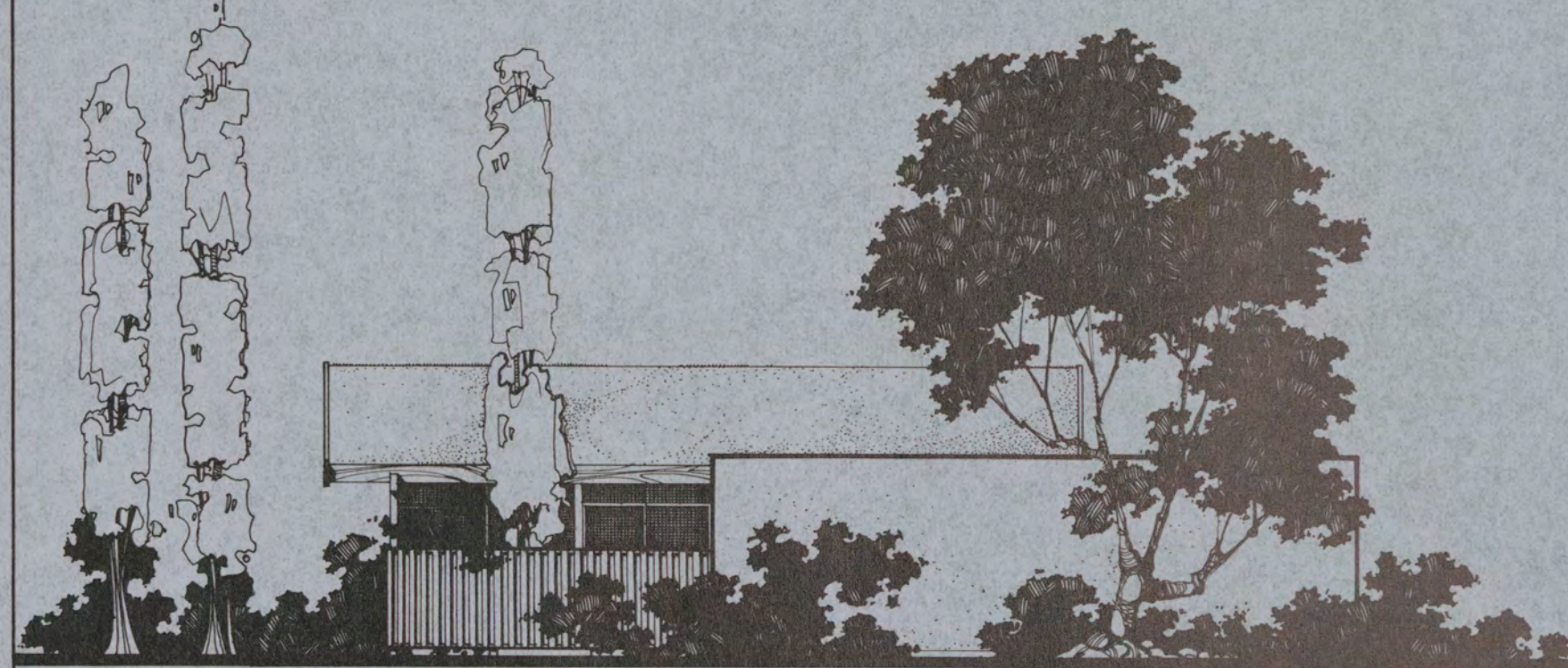
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS**  
**4 BR. 2 STORY TOWNHOUSE**  
**FLAT SITE**

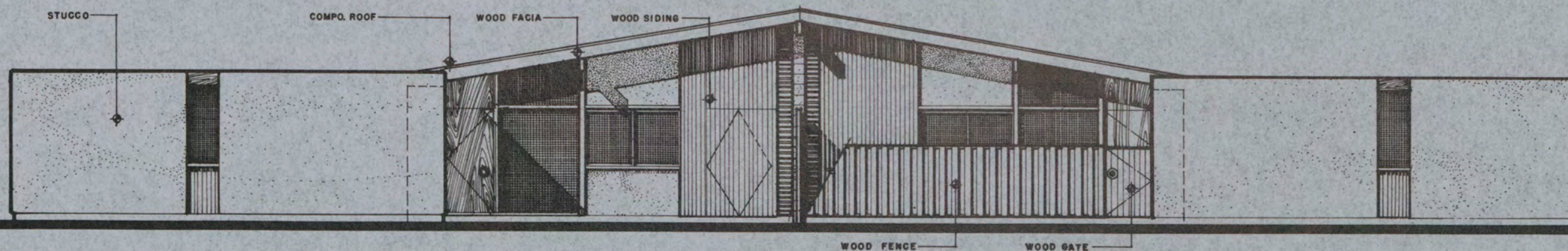
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	CGO	2	2
IDENTIFICATION SYMBOL			OF
			2



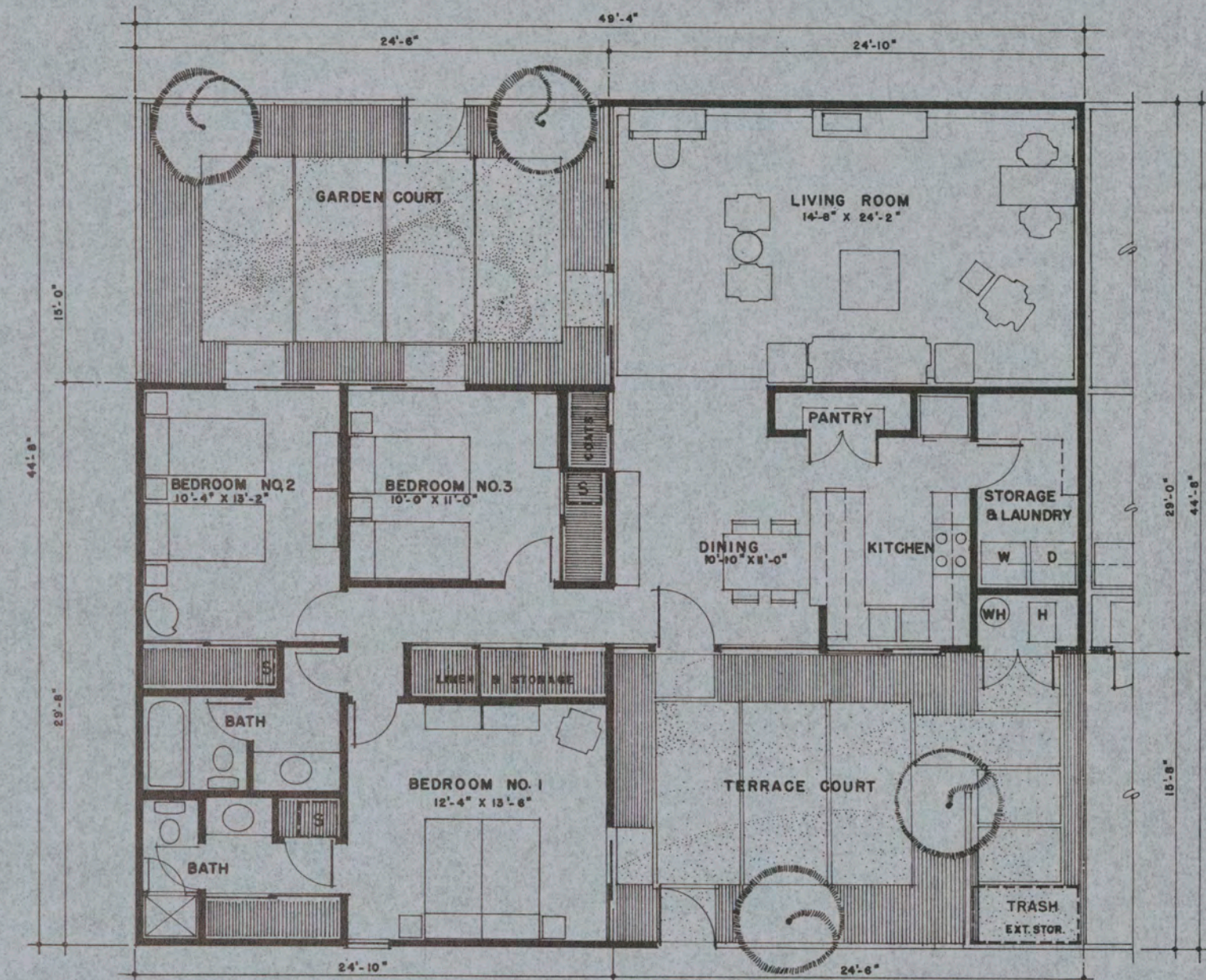
SECTION



END ELEVATION (WEST)



SIDE ELEVATION (SOUTH)



FLOOR PLAN



GROSS AREA 1452 SQ. FT.  
NET AREA 1250 SQ. FT.

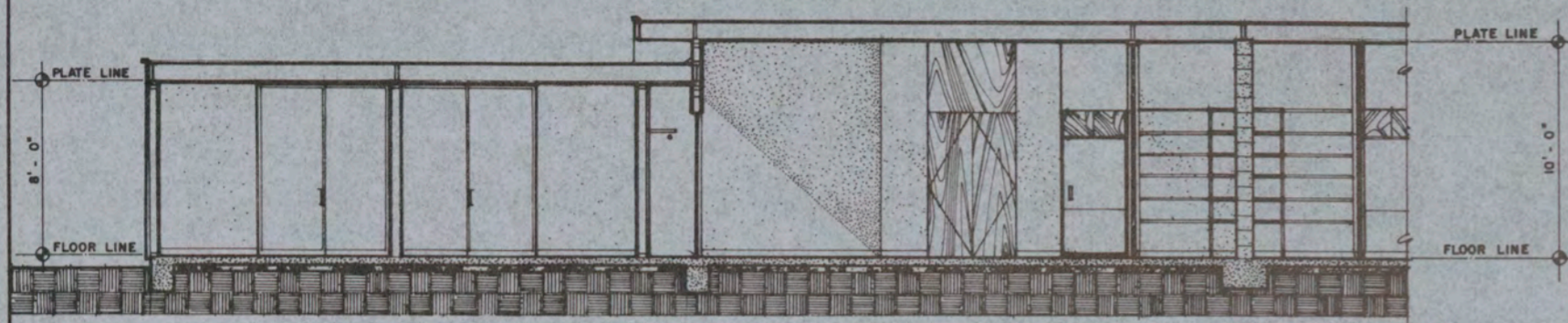
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

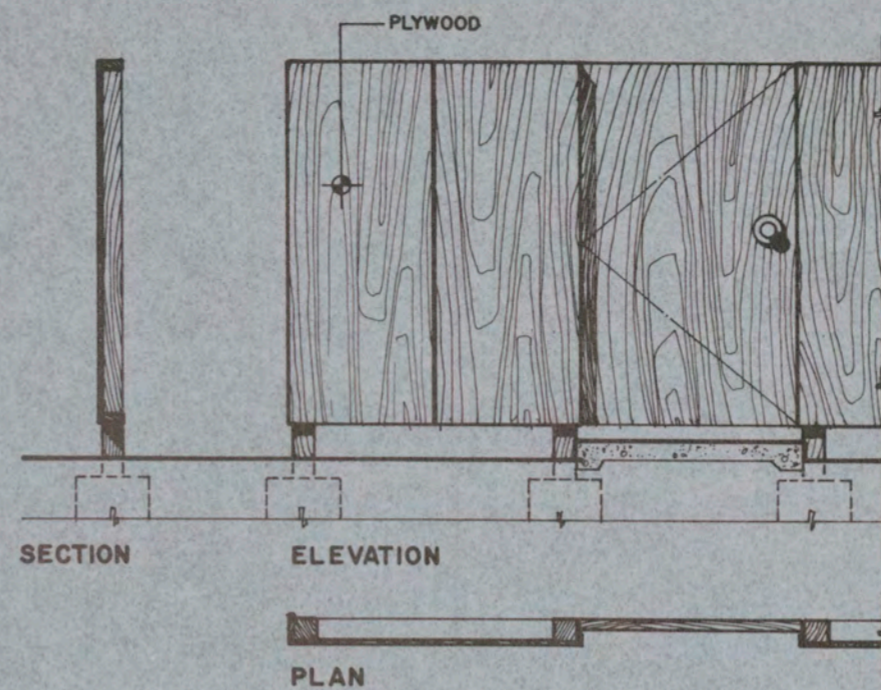
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 1 STORY TOWNHOUSE  
FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 3 1**  
IDENTIFICATION SYMBOL OF 2

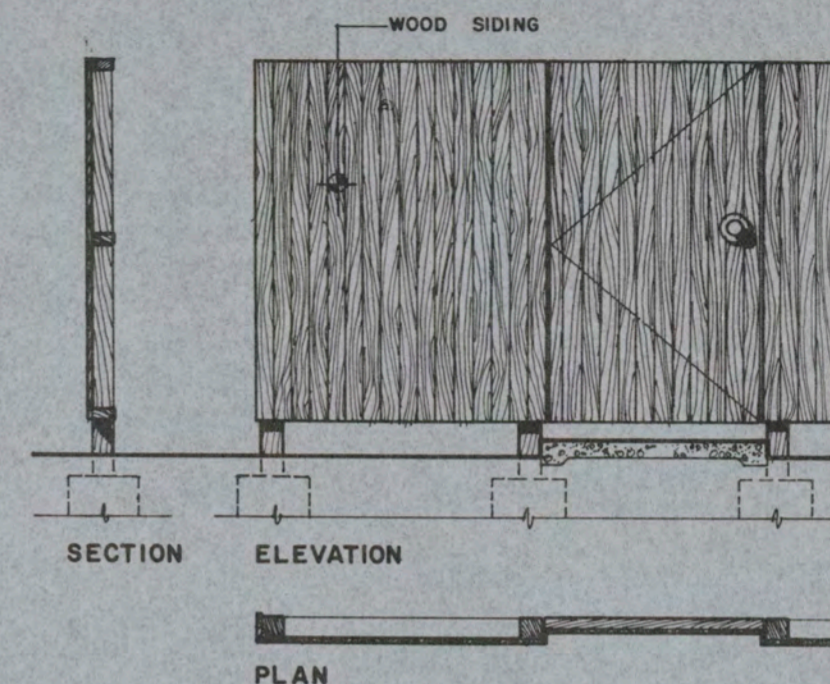


SECTION



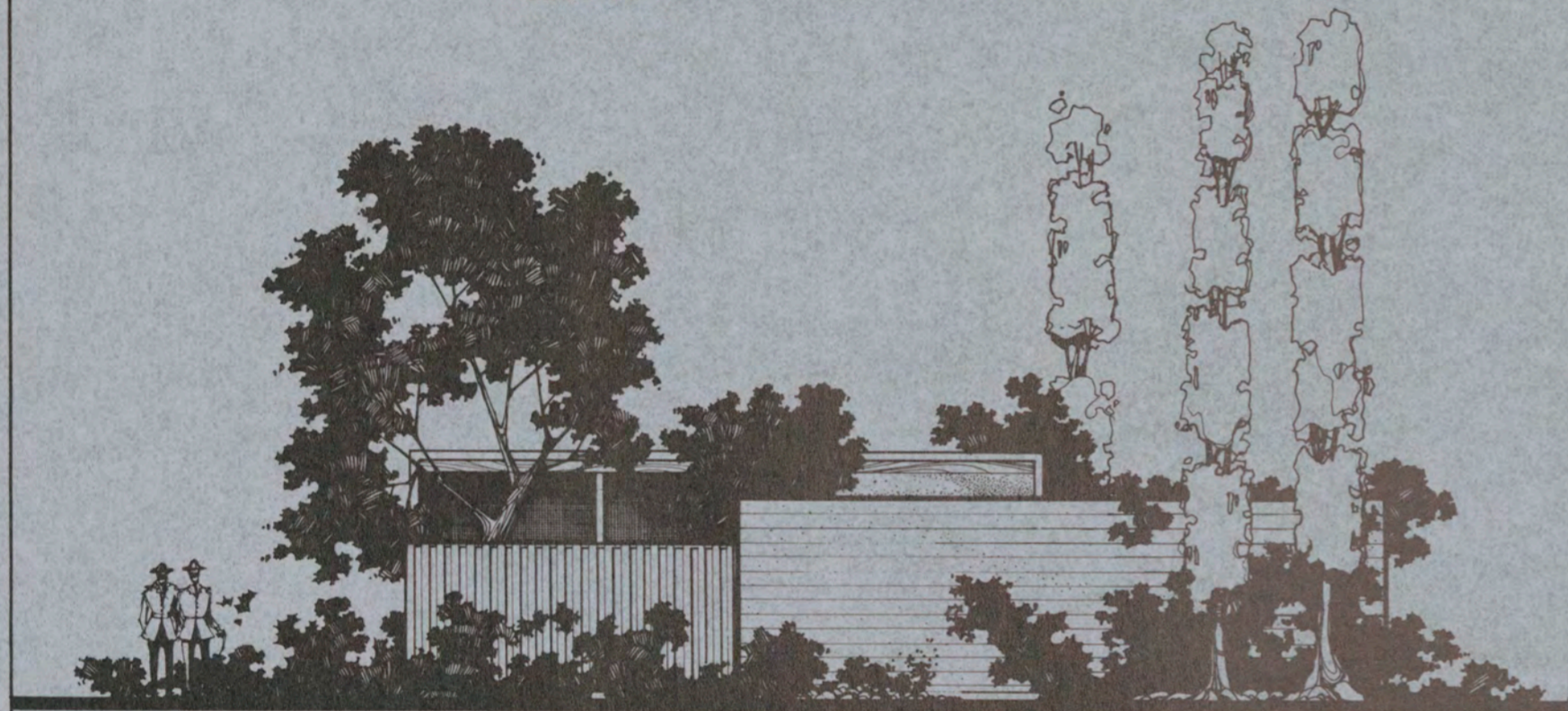
SECTION ELEVATION

PLAN

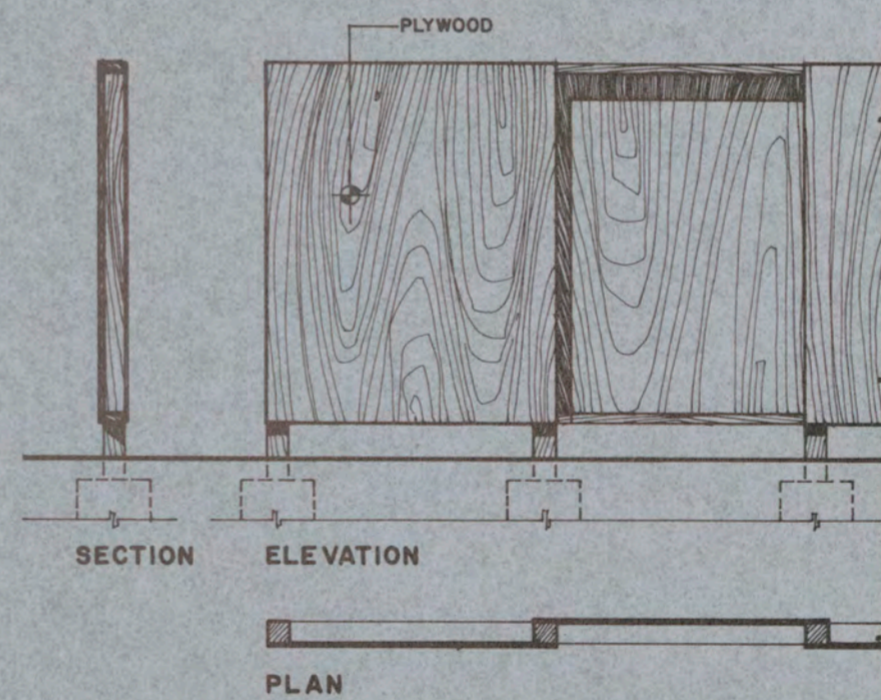


SECTION ELEVATION

PLAN

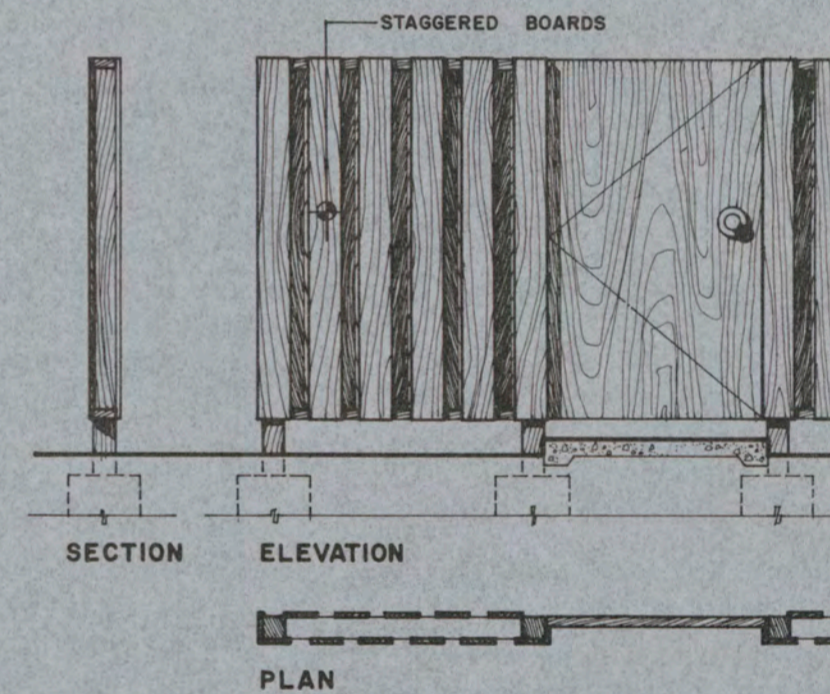


END ELEVATION (WEST)



SECTION ELEVATION

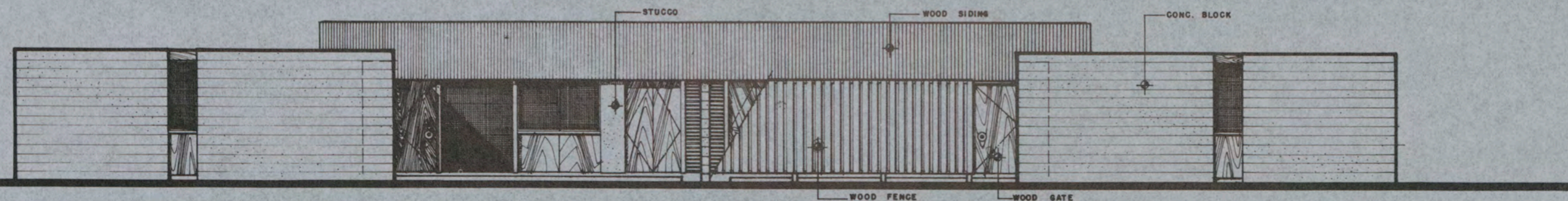
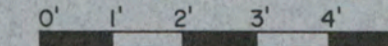
PLAN



SECTION ELEVATION

PLAN

TYPICAL FENCES



SIDE ELEVATION (SOUTH)

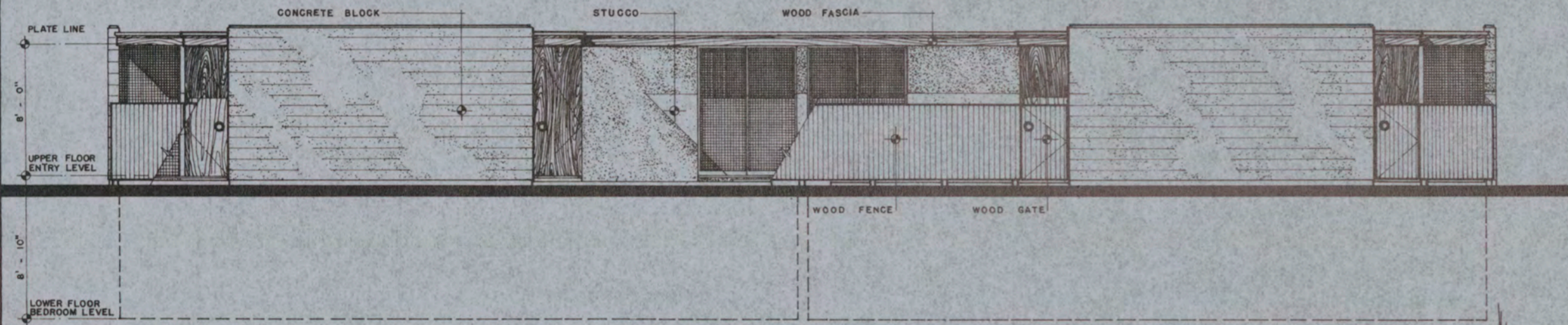
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

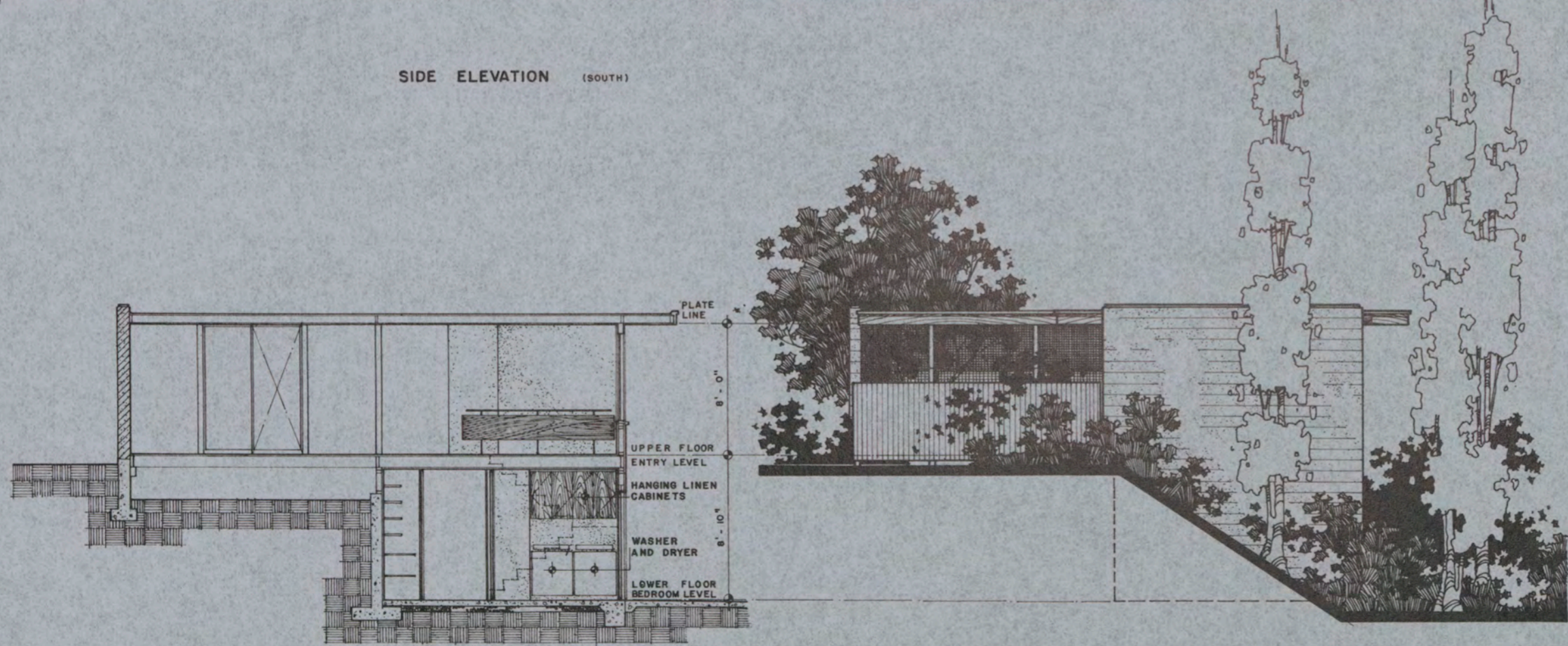
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 1 STORY TOWNHOUSE  
 FLAT SITE**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 3 2**  
 IDENTIFICATION SYMBOL OF 2

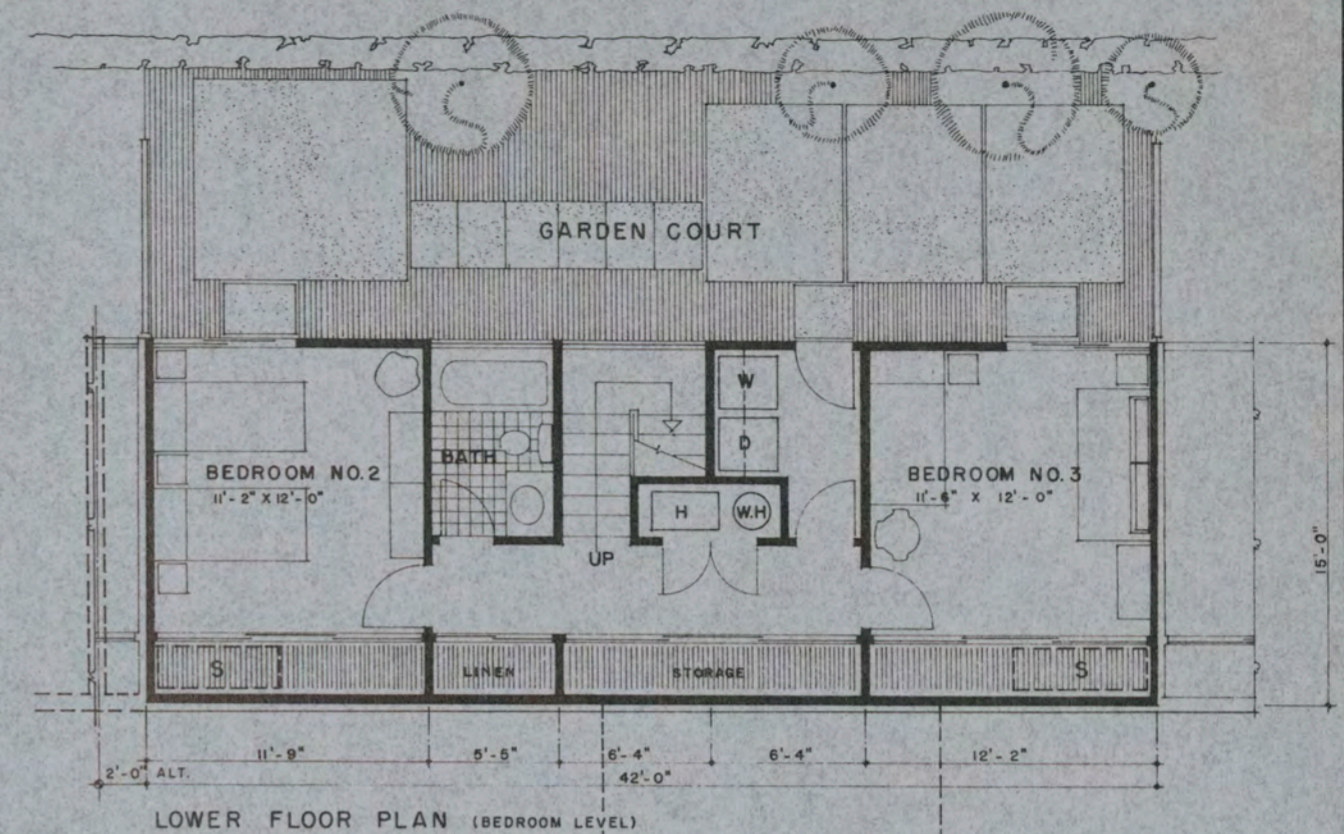


SIDE ELEVATION (SOUTH)

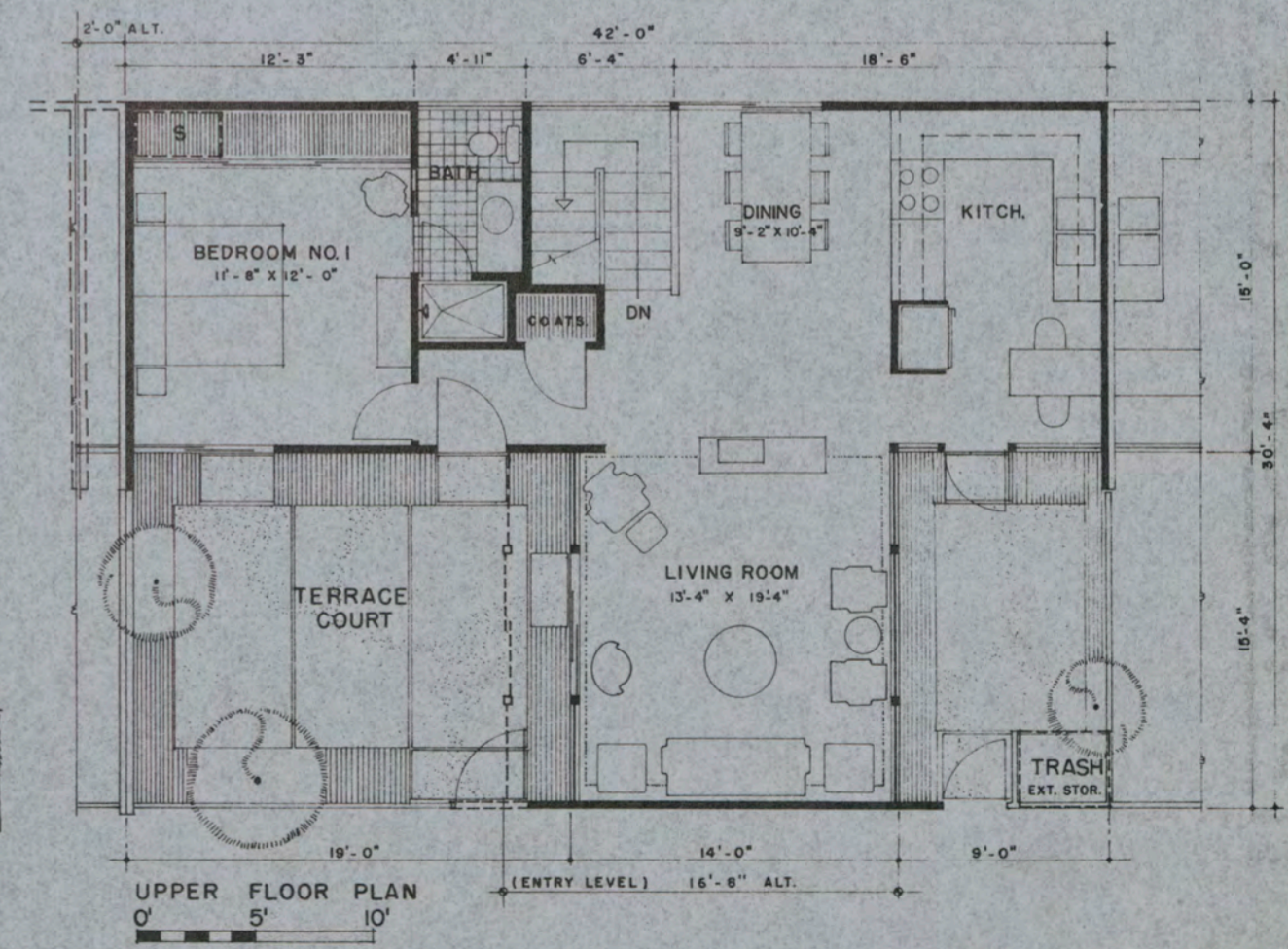


SECTION

END ELEVATION (EAST)



LOWER FLOOR PLAN (BEDROOM LEVEL)



UPPER FLOOR PLAN



GROSS AREA 1458 SQ. FT.  
NET AREA 1166 SQ. FT.

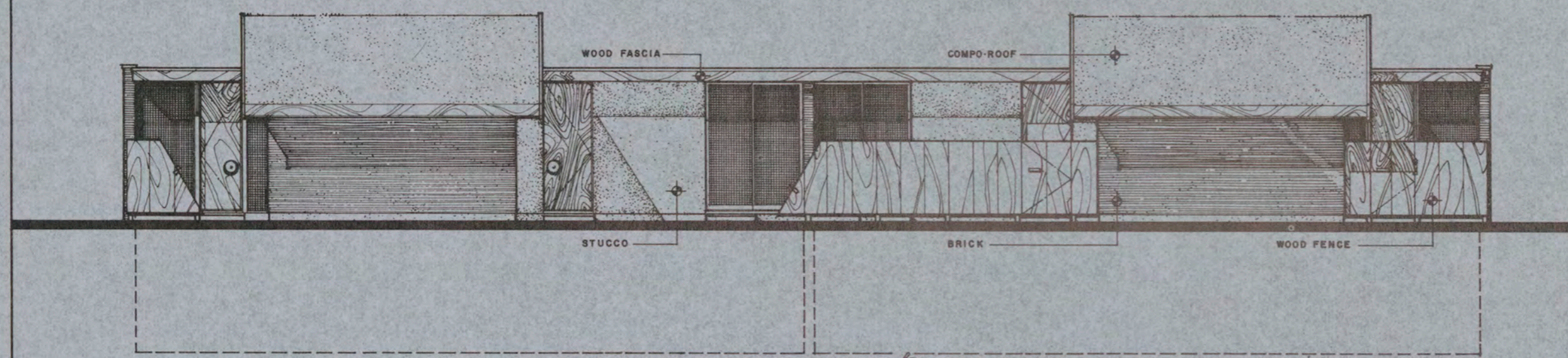
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signatures*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

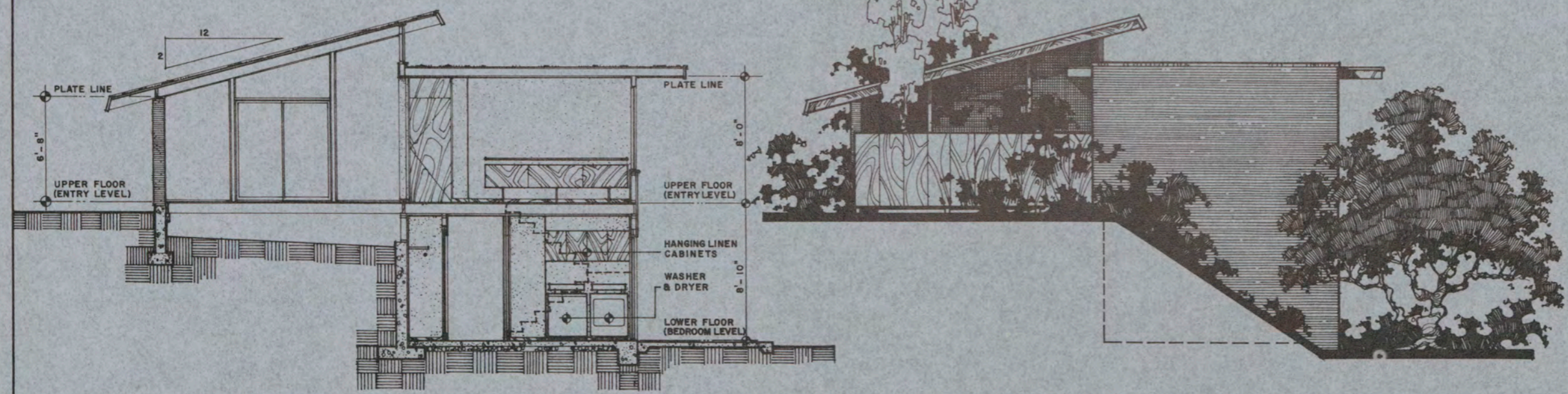
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER TOP FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 4a** 1 OF 2  
IDENTIFICATION SYMBOL

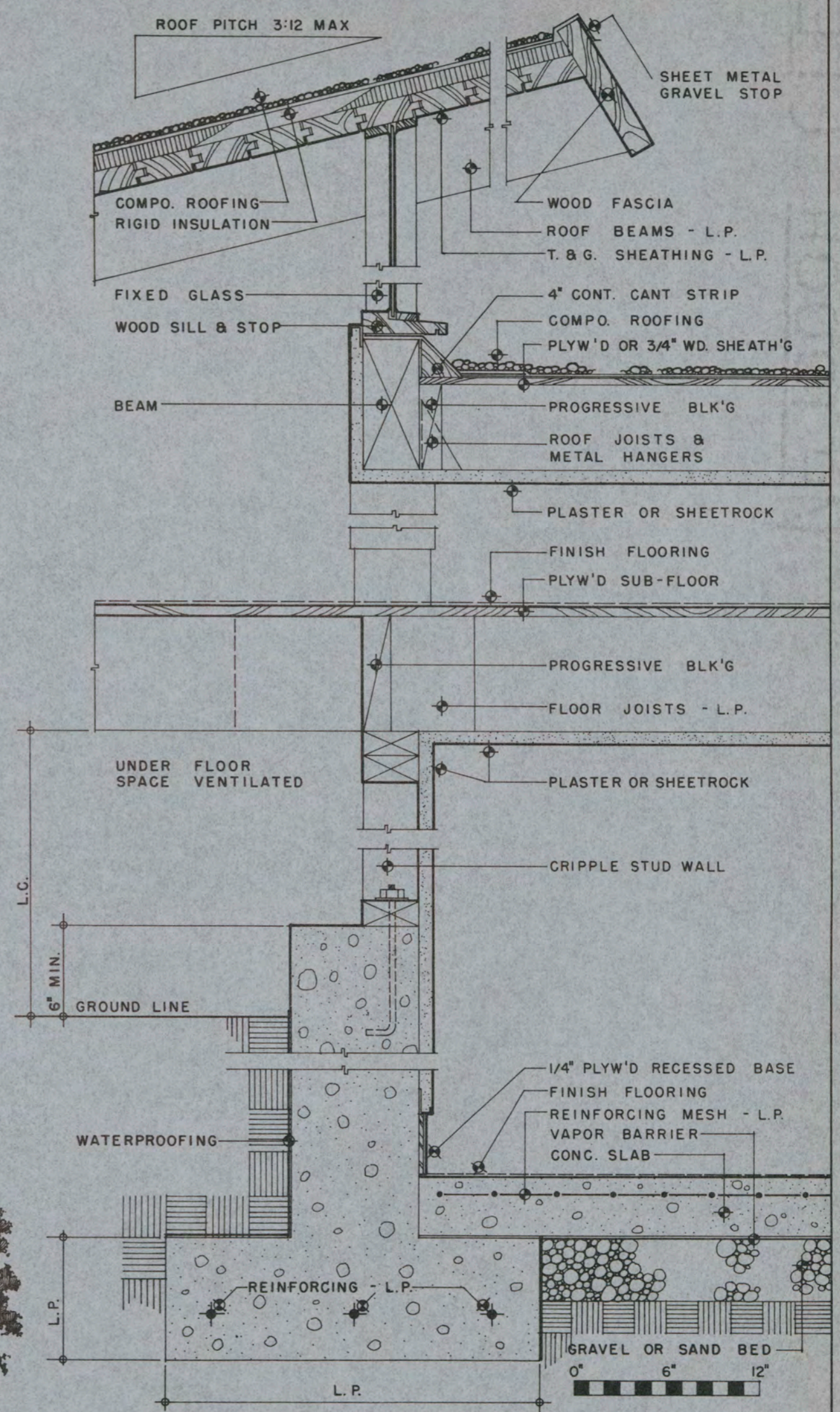


SIDE ELEVATION (SOUTH)



SECTION

END ELEVATION (EAST)



TYPICAL WALL SECTION

L.P. - LOCAL PRACTICE

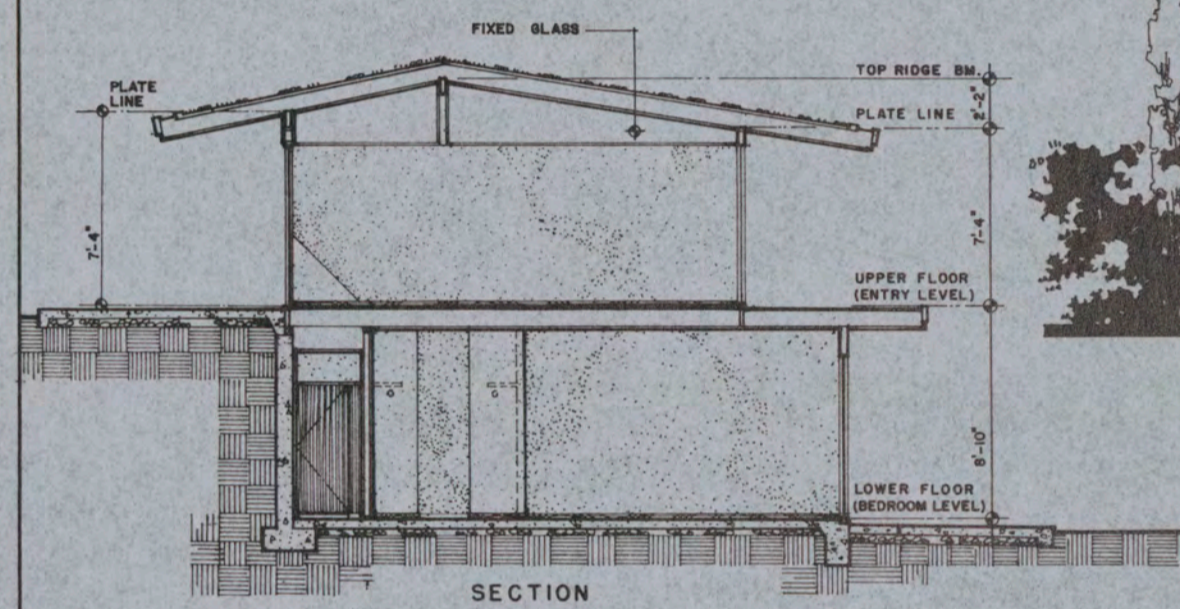
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynwood J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

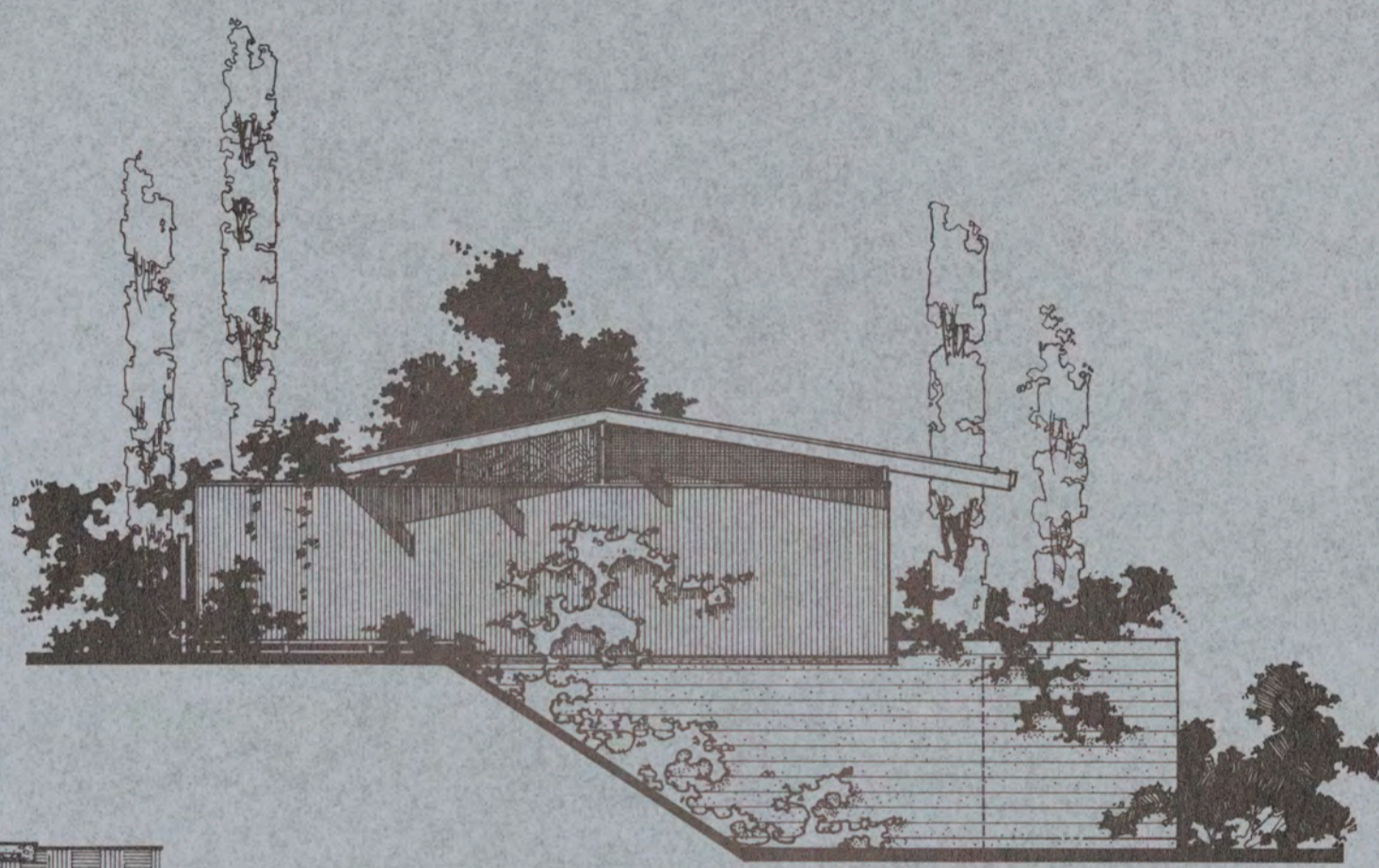
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES • ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 2 STORY TOWNHOUSE  
 HILLSIDE ENTER TOP FLOOR**

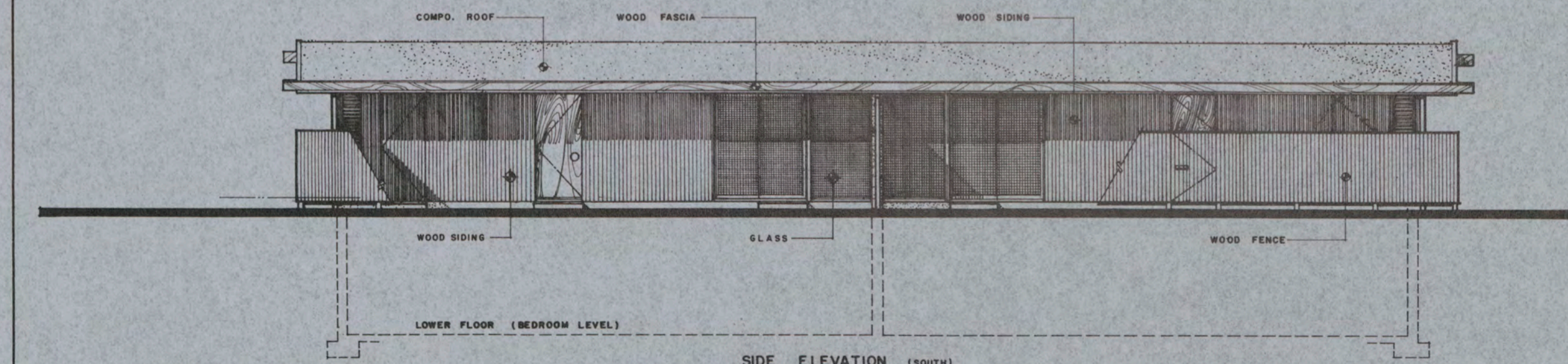
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III CGO	4a		2 OF 2
IDENTIFICATION SYMBOL			2



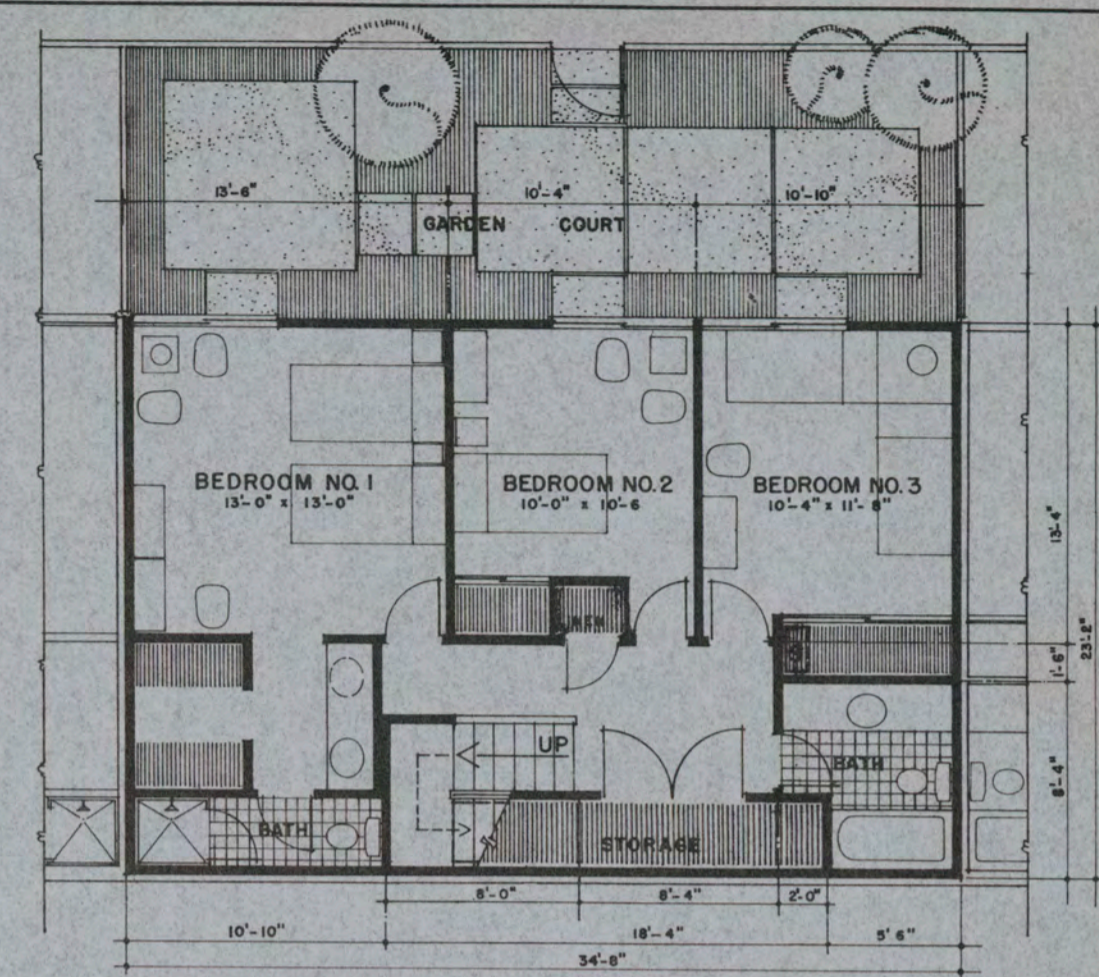
SECTION



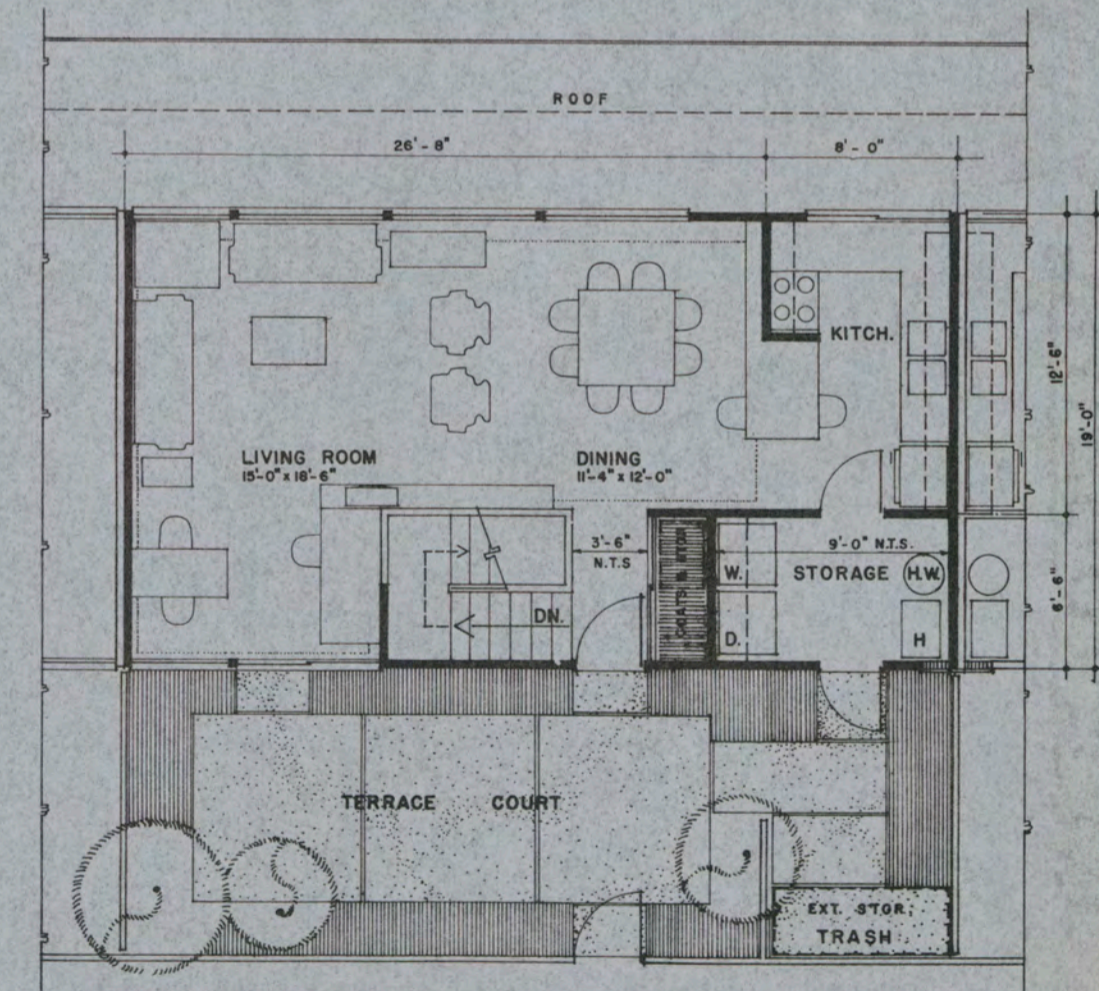
END ELEVATION (WEST)



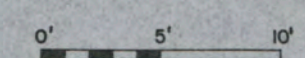
SIDE ELEVATION (SOUTH)



LOWER FLOOR PLAN (BEDROOM LEVEL)



UPPER FLOOR PLAN (ENTRY LEVEL)



GROSS AREA 1461 SQ. FT.  
NET AREA 1171 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

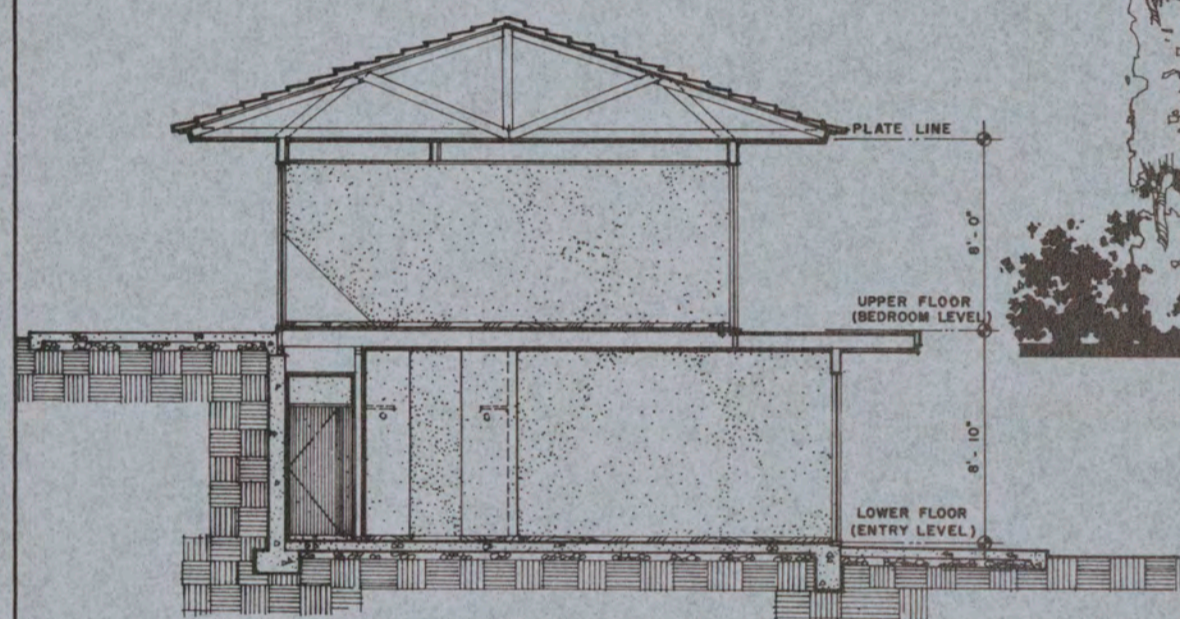
APPROVAL  
*Richard J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER TOP FLOOR**

IDENTIFICATION SYMBOL  
**III CGO 4b**  
1 OF 2

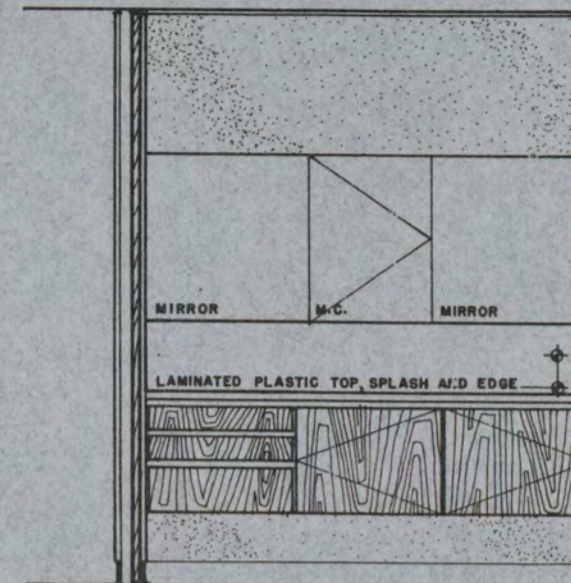




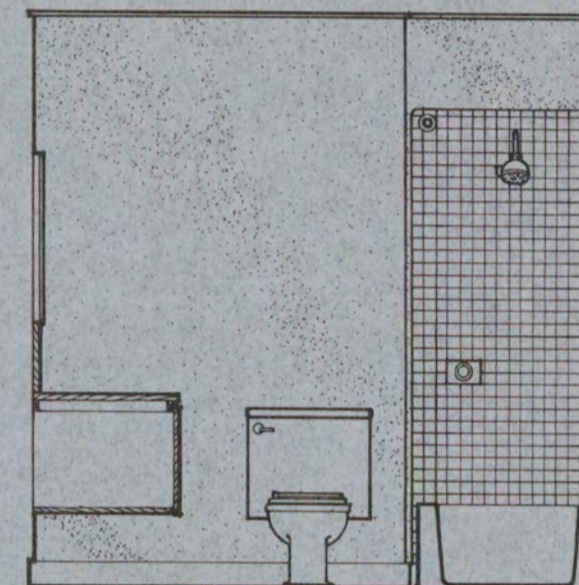
SECTION



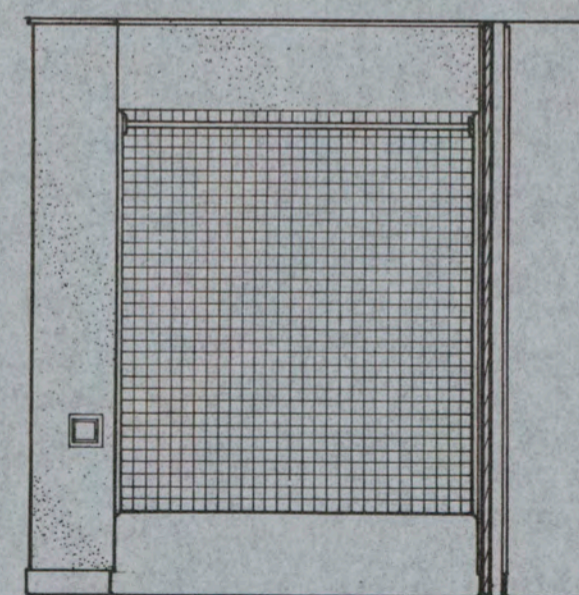
END ELEVATION (EAST)



NORTH

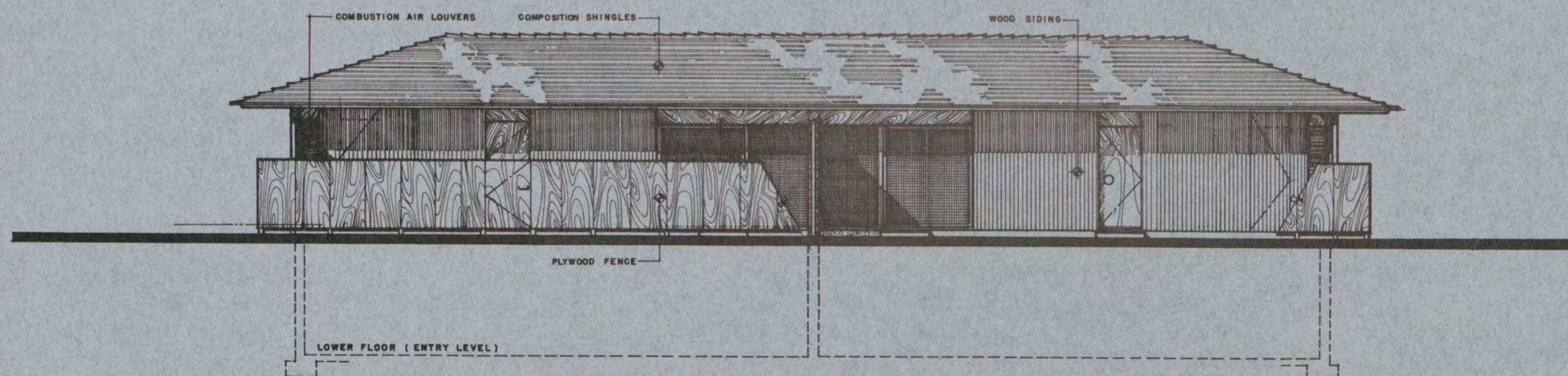


EAST



SOUTH

BATH ELEVATIONS



SIDE ELEVATION (SOUTH)

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

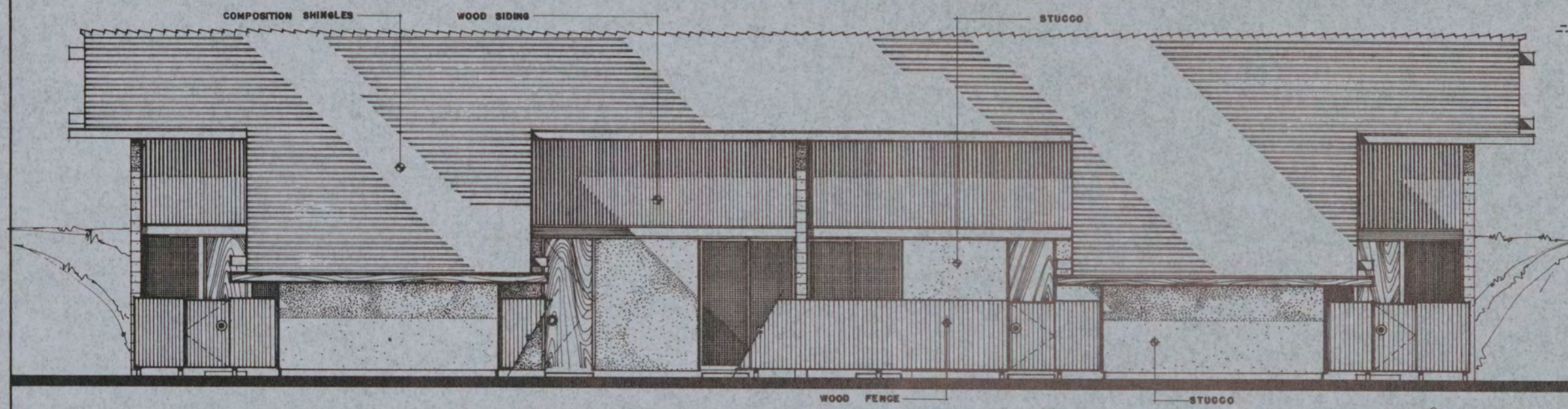
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

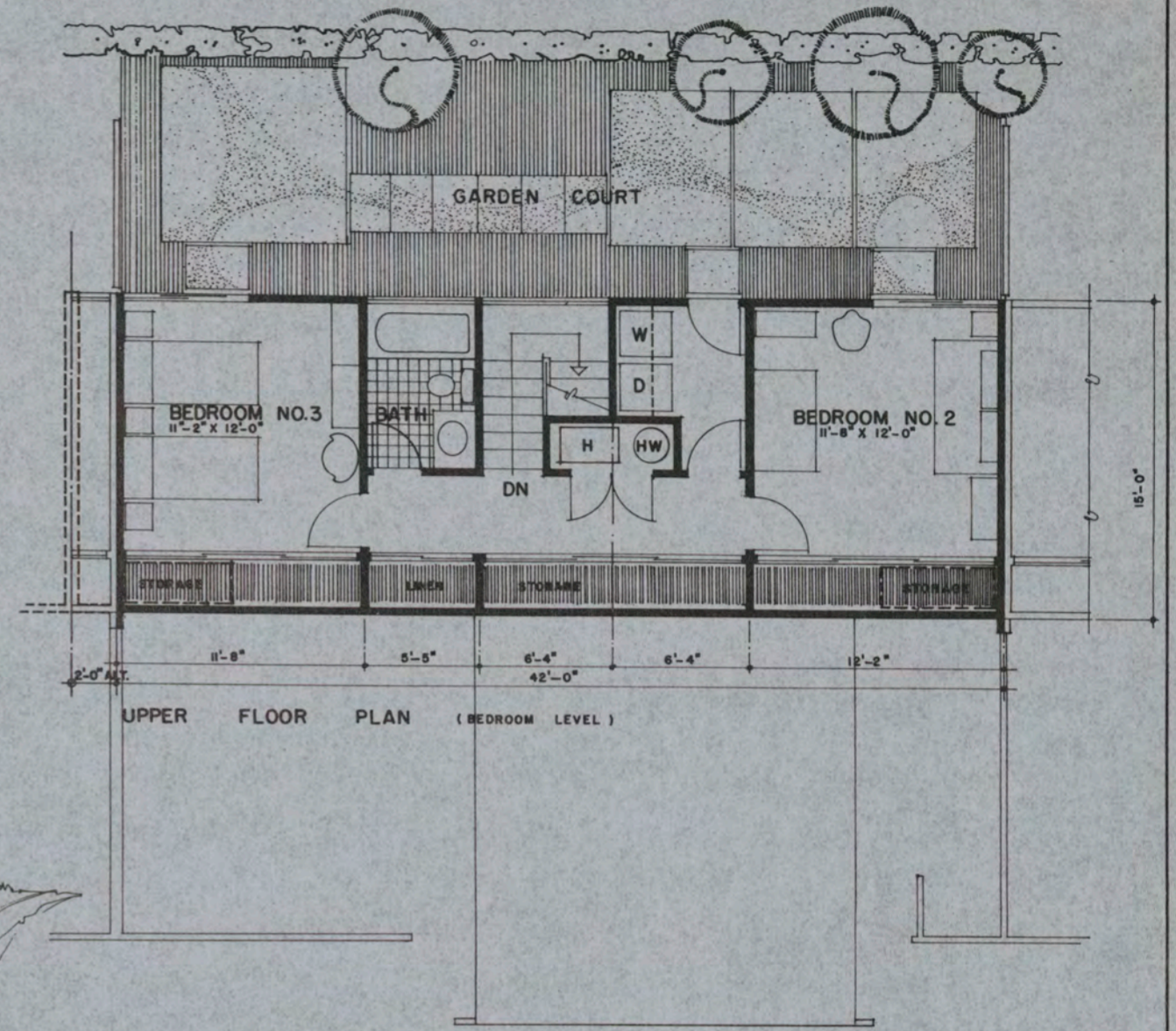
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 2 STORY TOWNHOUSE  
 HILLSIDE ENTER TOP FLOOR**

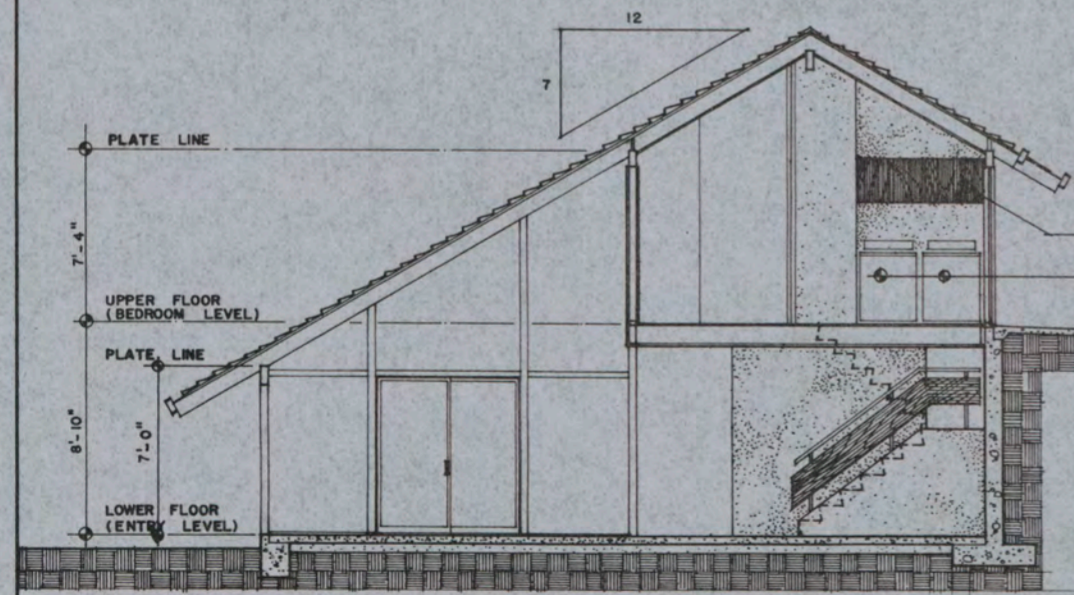
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 4b** 2  
 IDENTIFICATION SYMBOL OF 2



SIDE ELEVATION (SOUTH)



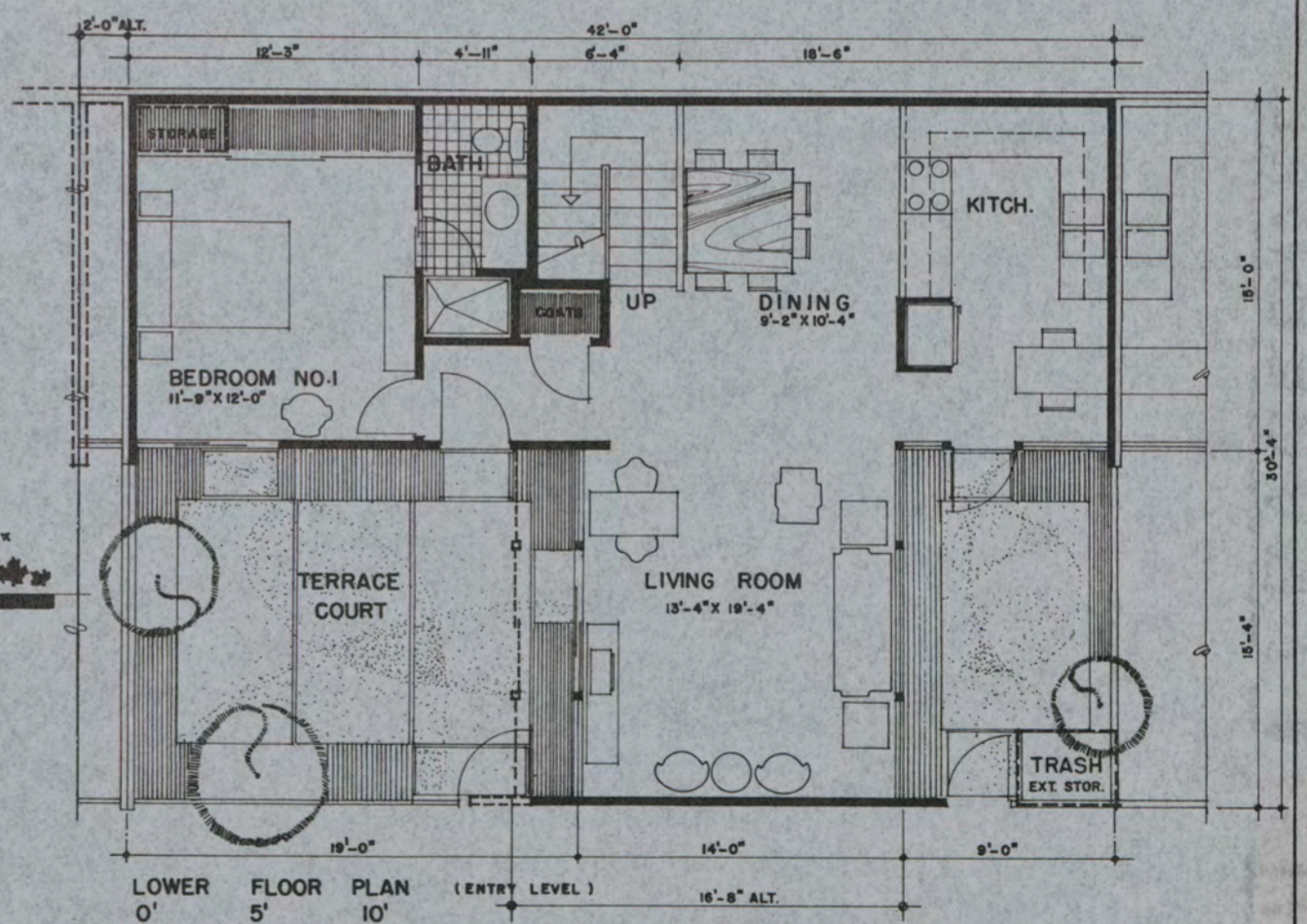
UPPER FLOOR PLAN (BEDROOM LEVEL)



SECTION



END ELEVATION (EAST)



LOWER FLOOR PLAN (ENTRY LEVEL)

GROSS AREA 1458 SQ. FT.  
NET AREA 1166 SQ. FT.



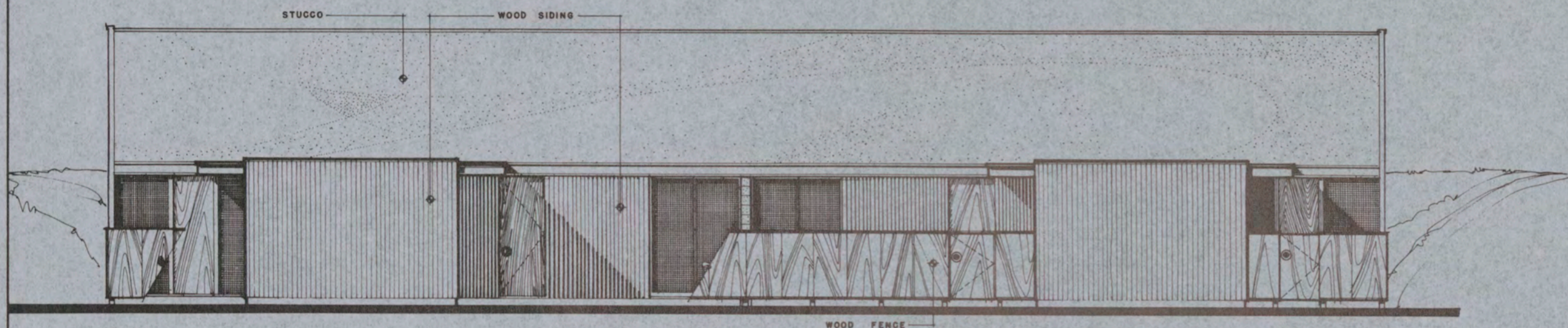
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

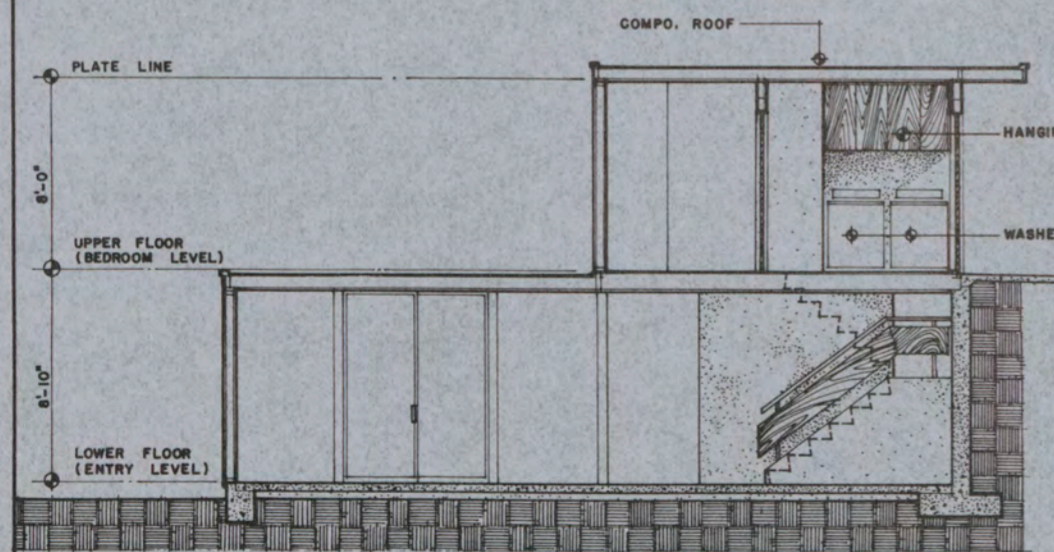
ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER BOTTOM FLOOR.**

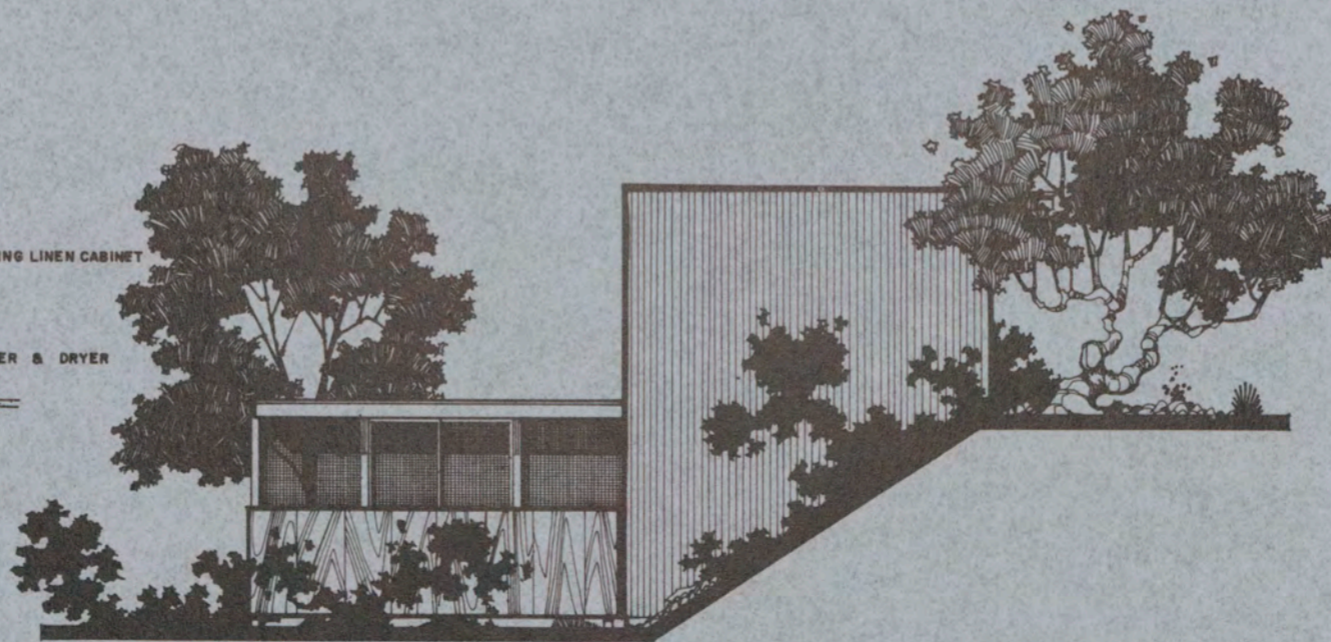
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 5a** 1  
IDENTIFICATION SYMBOL OF 2



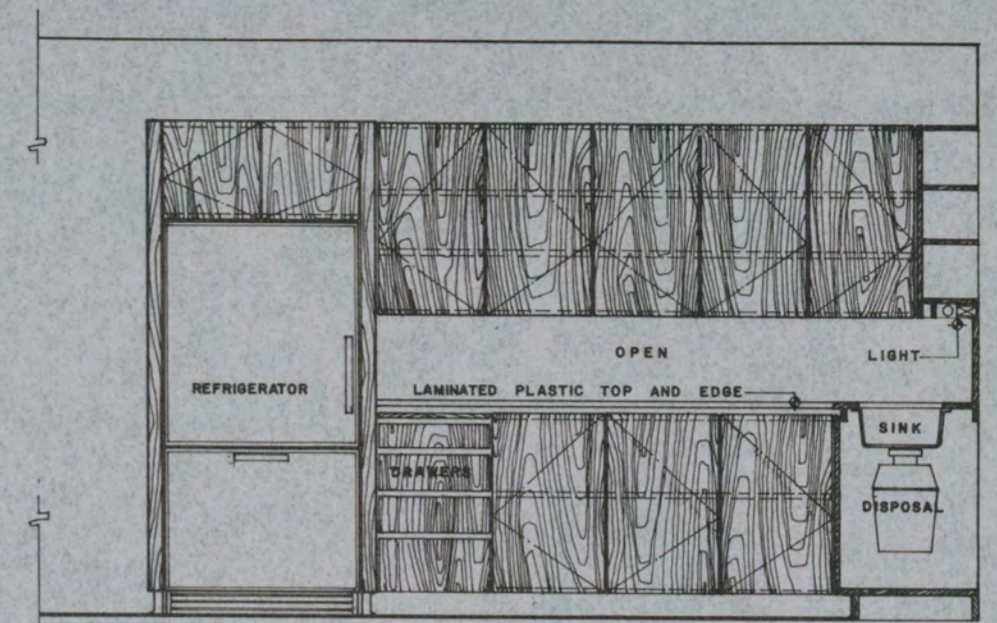
SIDE ELEVATION (SOUTH)



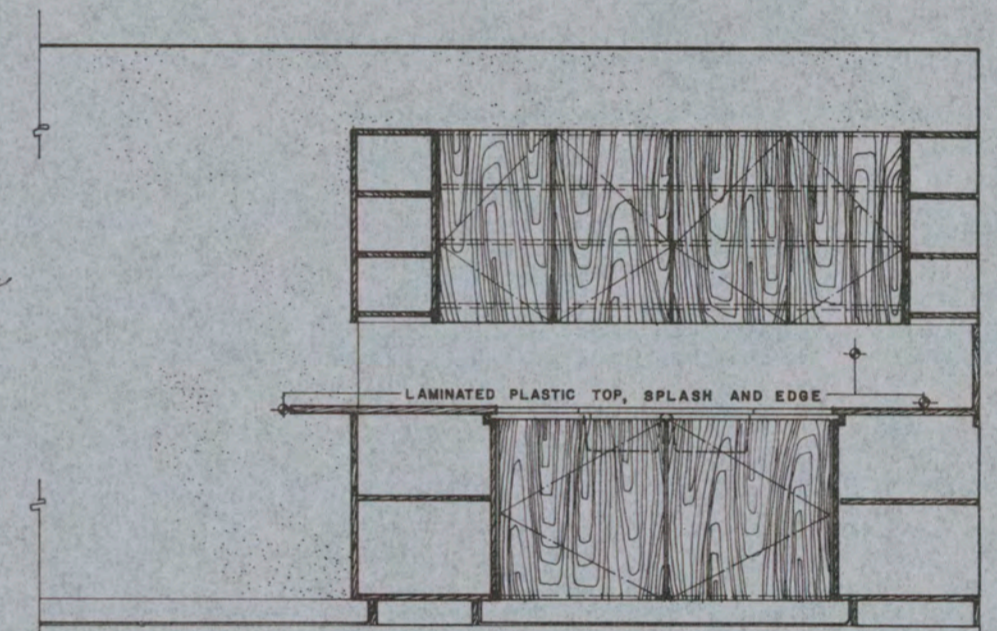
SECTION



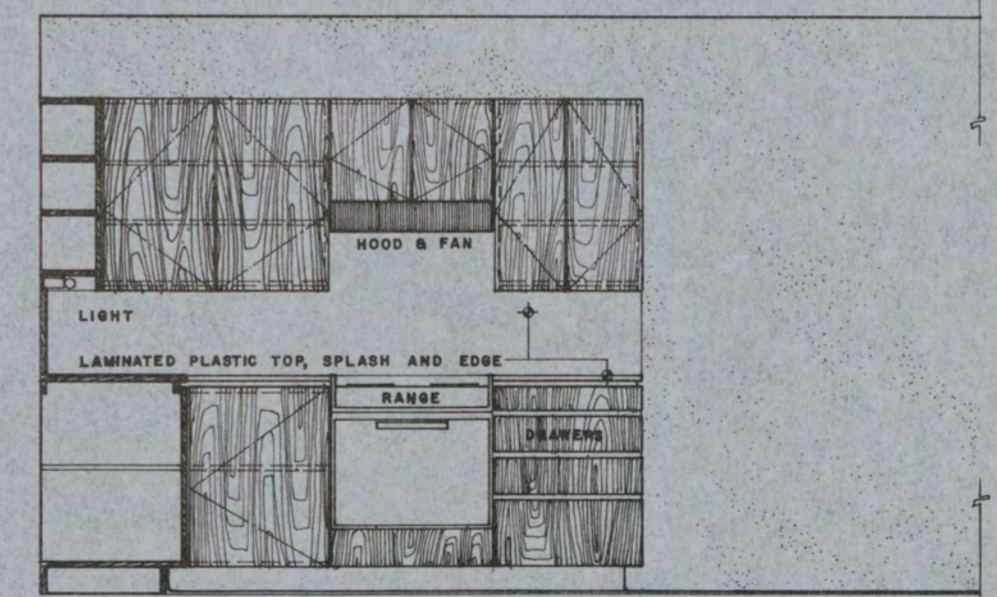
END ELEVATION (EAST)



WEST

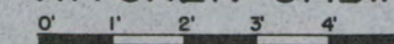


NORTH



EAST

KITCHEN CABINET ELEVATIONS



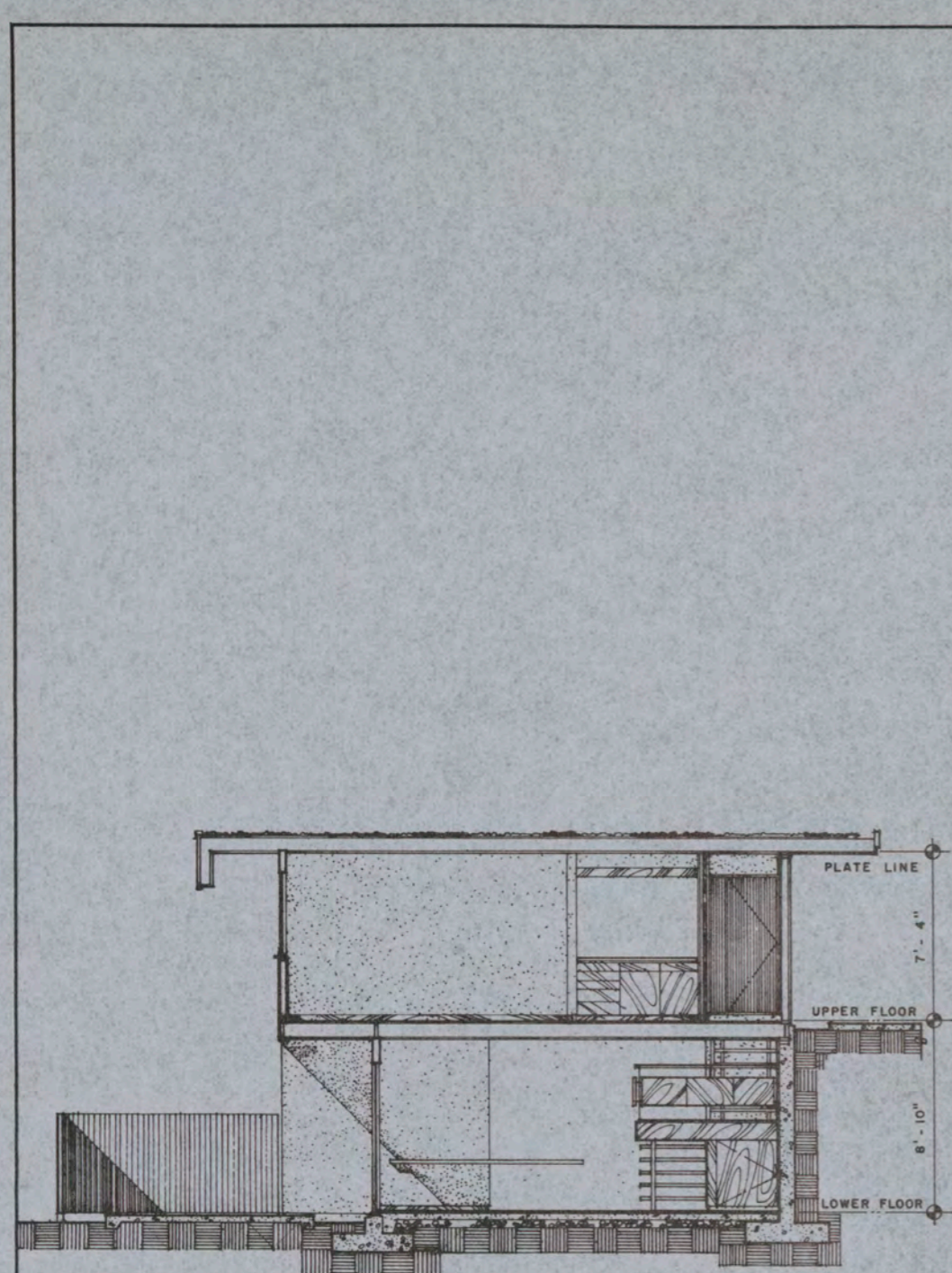
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

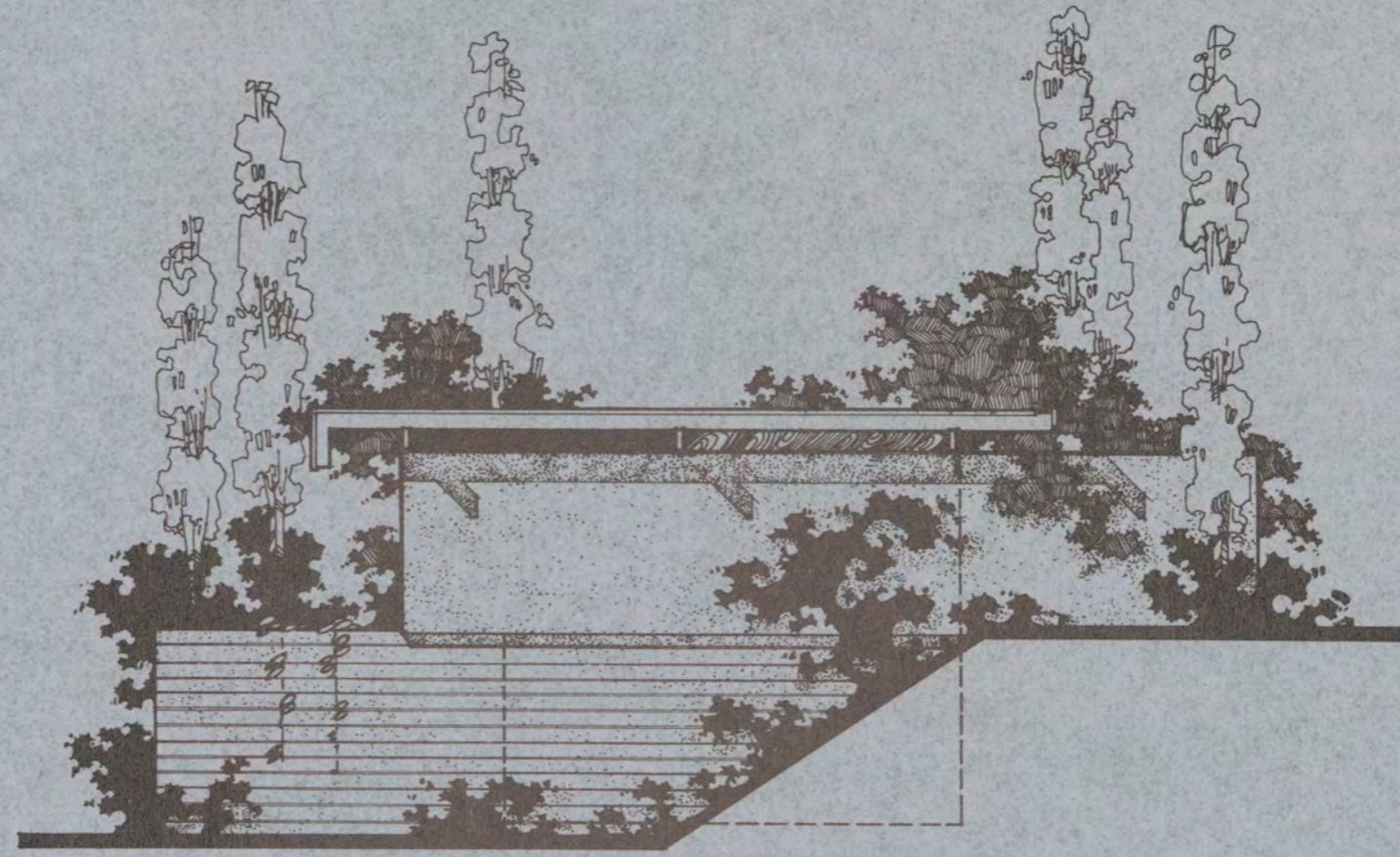
ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS**  
**3 BR. 2 STORY TOWNHOUSE**  
**HILLSIDE ENTER BOTTOM FLOOR**

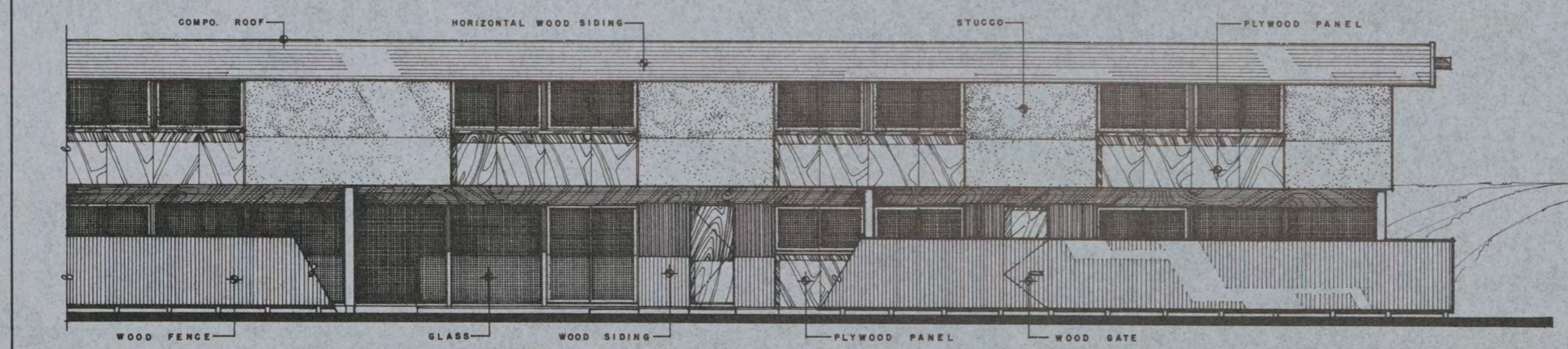
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
III	CGO	5a	2 OF 2
IDENTIFICATION SYMBOL			



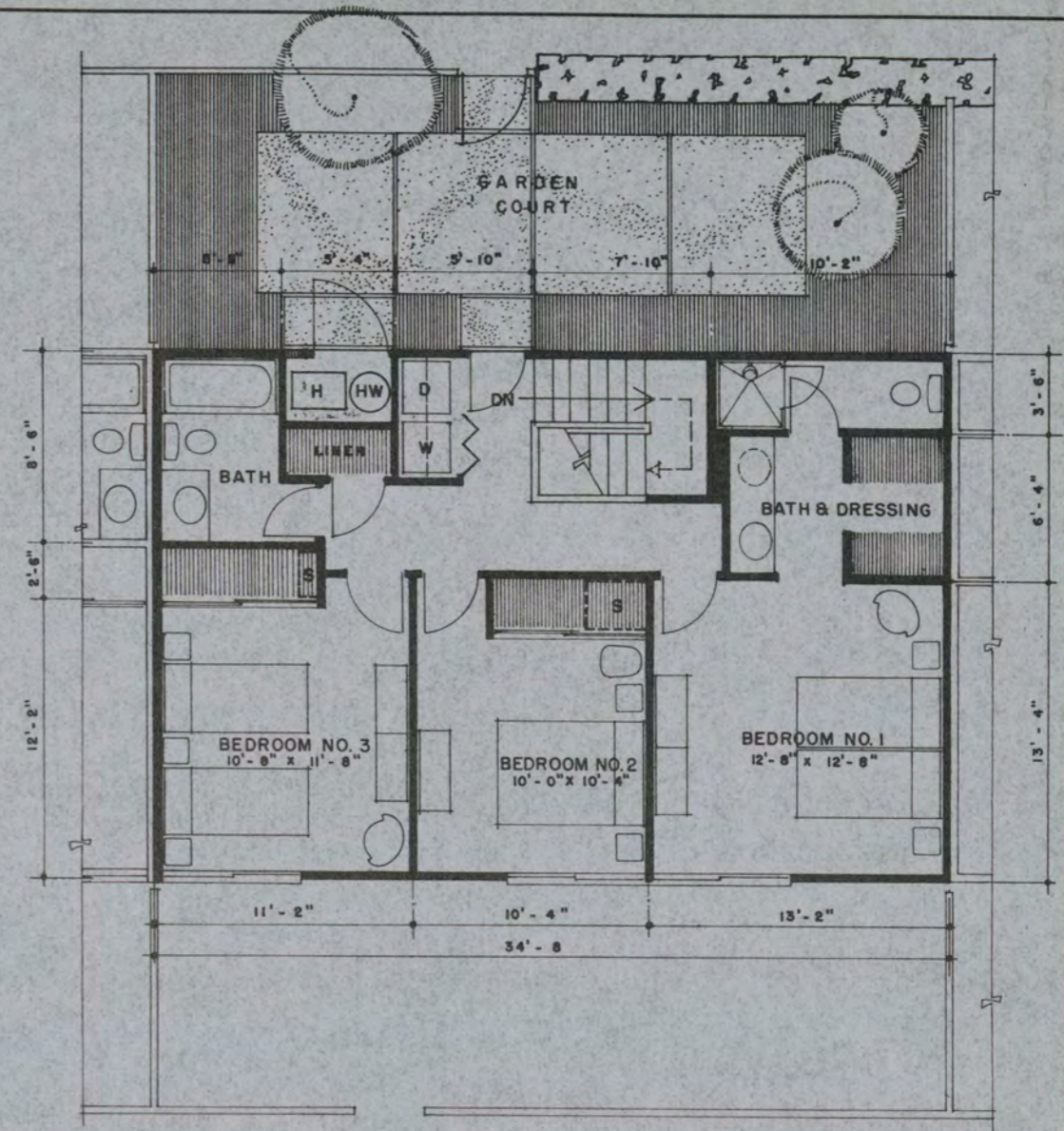
SECTION



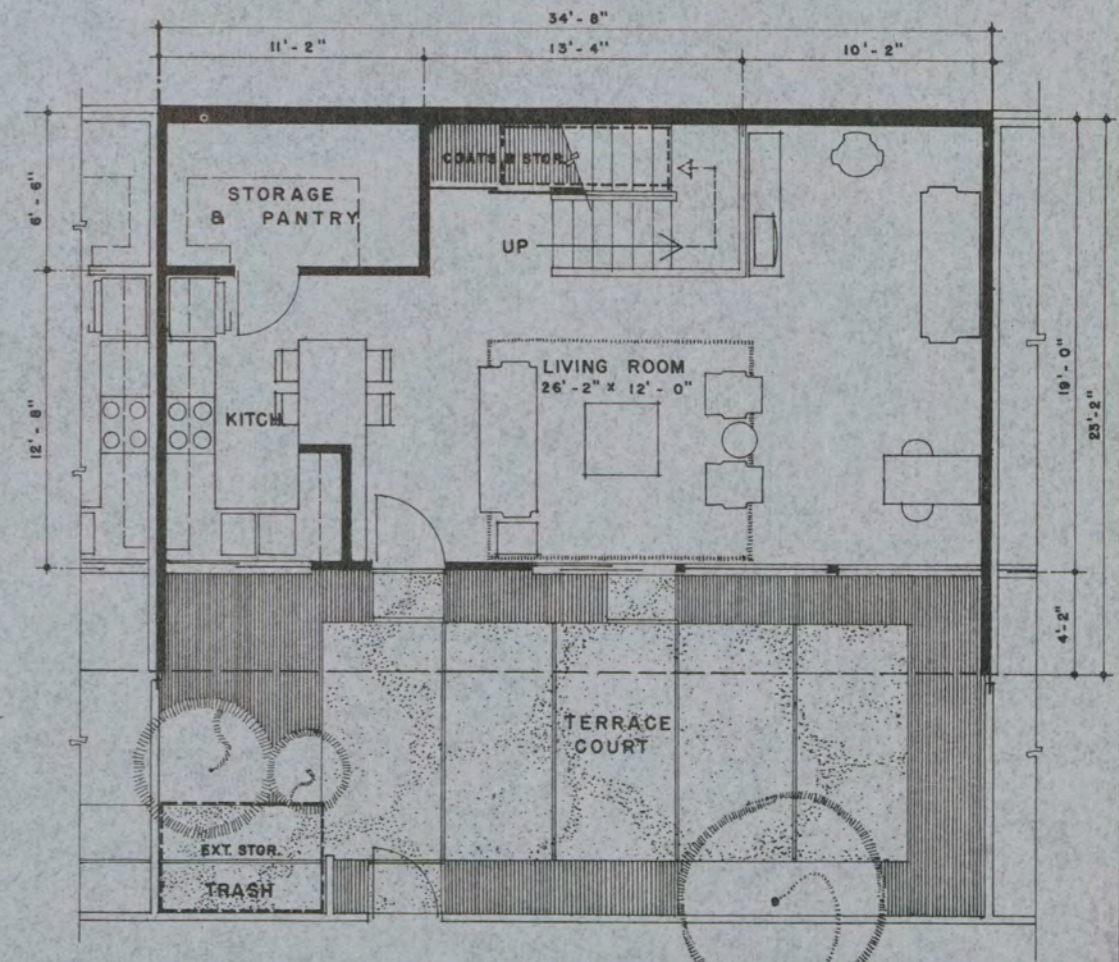
END ELEVATION (EAST)



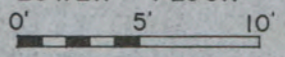
SIDE ELEVATION (SOUTH)



UPPER FLOOR PLAN (BEDROOM LEVEL)



LOWER FLOOR PLAN (ENTRY LEVEL)



GROSS AREA 1462 SQ. FT.  
NET AREA 1178 SQ. FT.

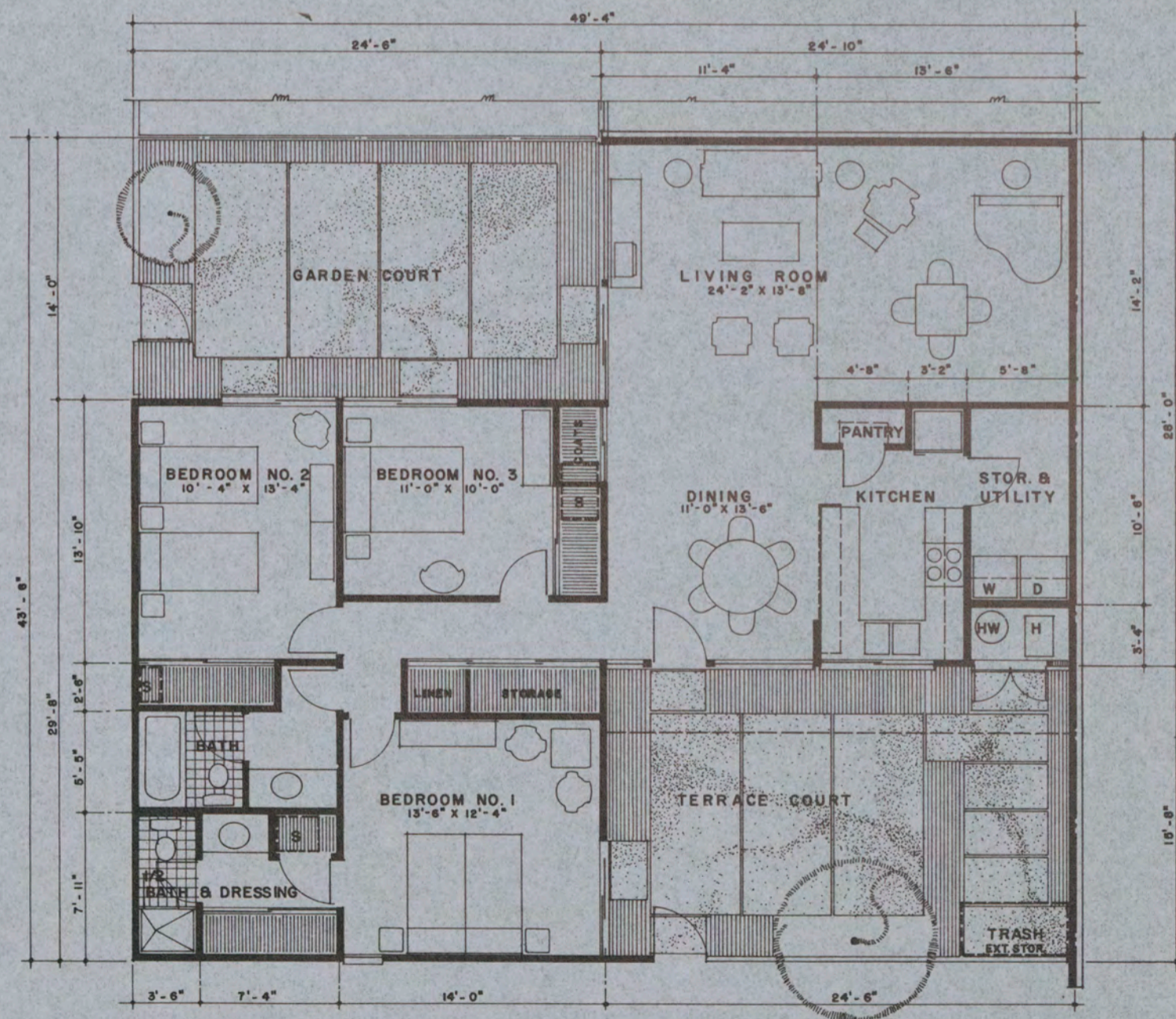
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

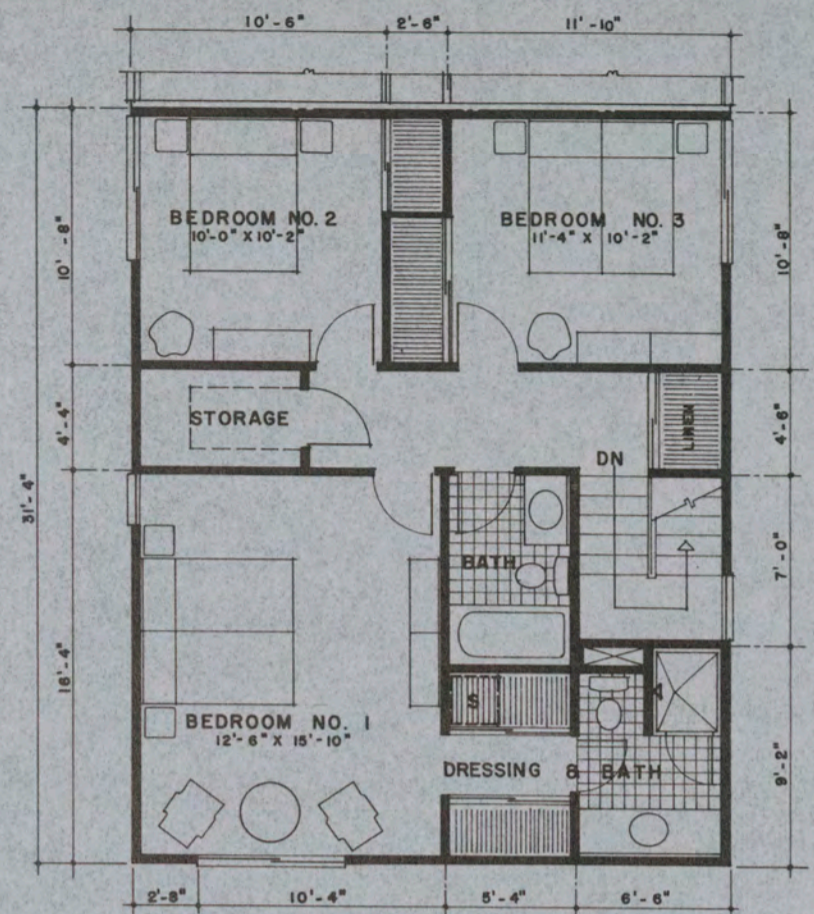
DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 2 STORY TOWNHOUSE  
HILLSIDE ENTER BOTTOM FLOOR**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 5b** 1  
IDENTIFICATION SYMBOL OF 1

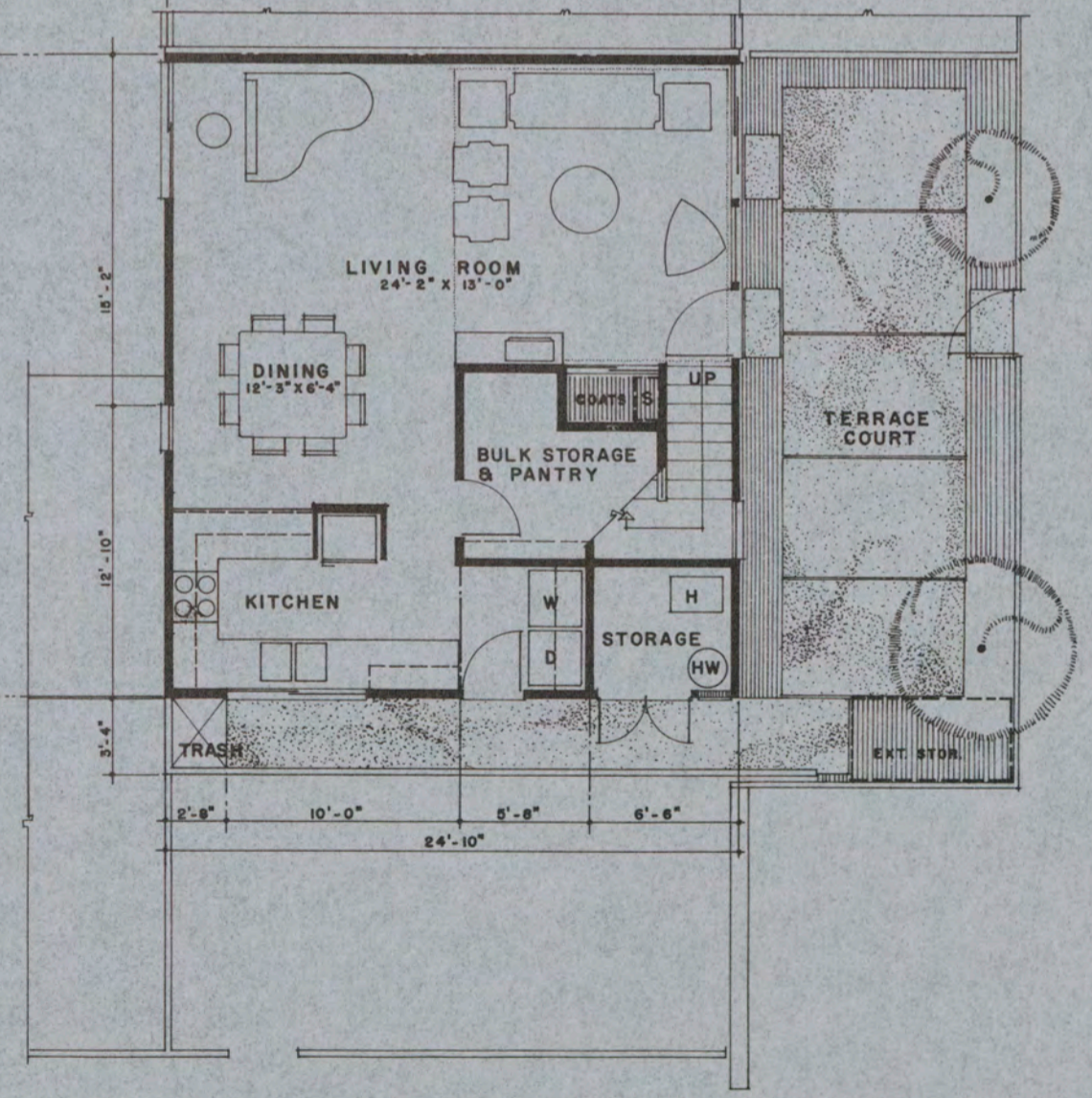


LOWER FLOOR PLAN (1STORY UNIT)

GROSS AREA 1428 SQ.FT.  
NET AREA 1250 SQ.FT.



THIRD FLOOR PLAN (BEDROOM LEVEL - 2 STORY PLAN)



SECOND FLOOR PLAN (ENTRY LEVEL - 2 STORY UNIT)

GROSS AREA 1473 SQ.FT.  
NET AREA 1183 SQ.FT.

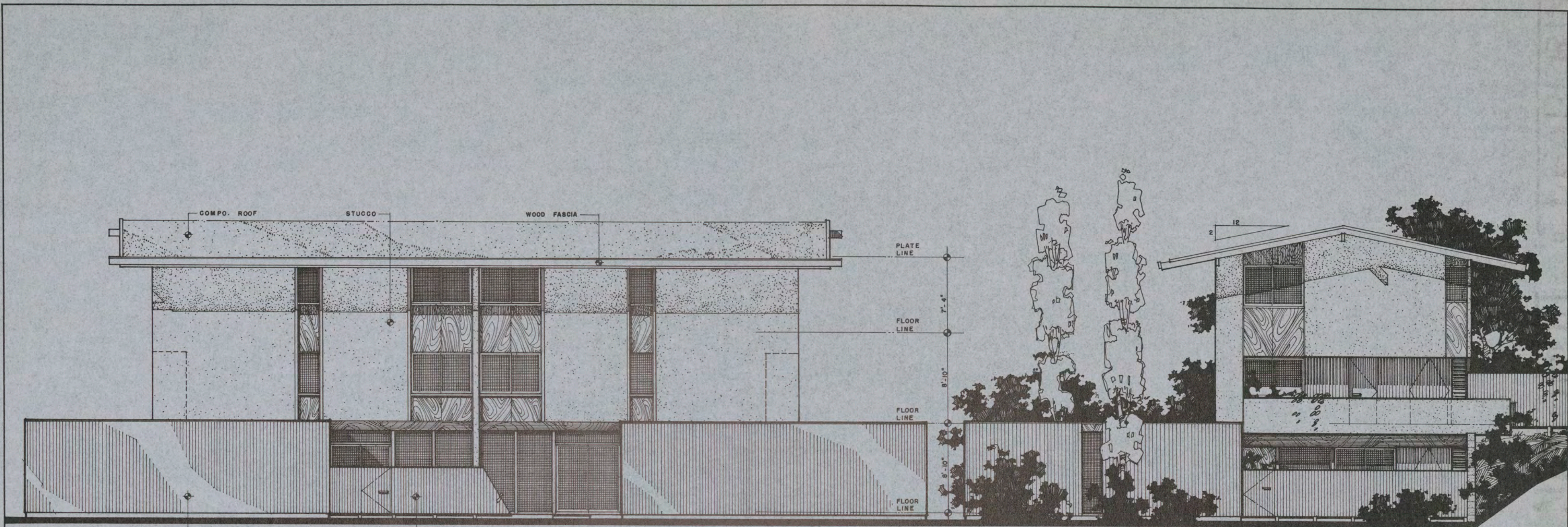
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
A. QUINCY JONES,  
FREDERICK E. EMMONS,  
ASSOCIATES - ARCHITECTS  
LOS ANGELES CALIF.

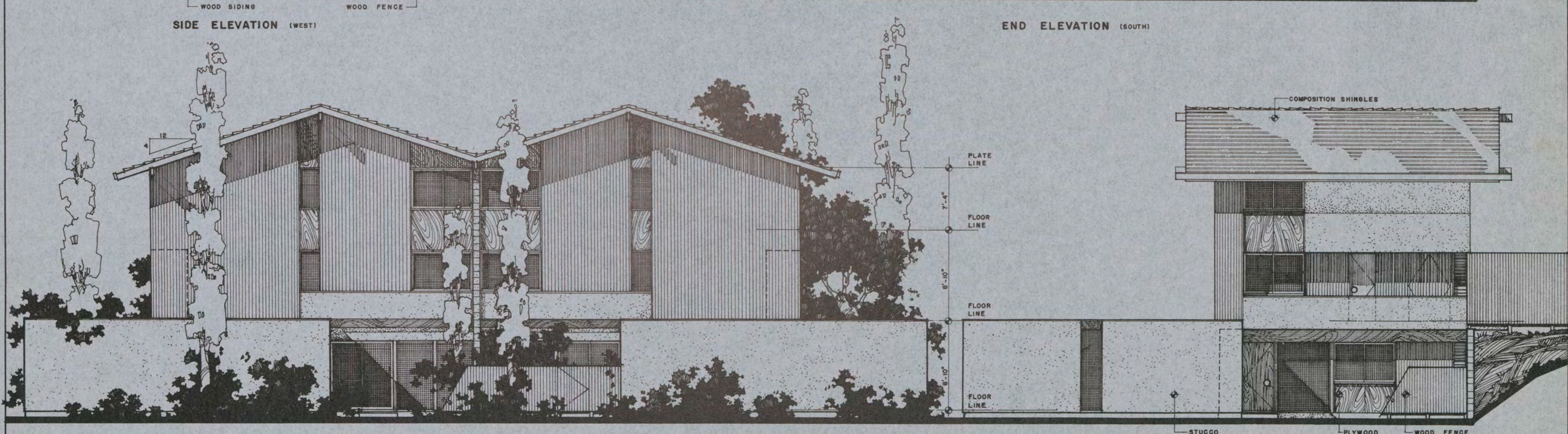
DESCRIPTION  
**COMPANY GRADE OFFICERS  
3 BR. 3 STORY TOWNHOUSE  
HILLSIDE COMBINATION**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 6&7** 1 OF 2  
IDENTIFICATION SYMBOL



SIDE ELEVATION (WEST)

END ELEVATION (SOUTH)



ALTERNATE SIDE ELEVATION (WEST)

ALTERNATE END ELEVATION (SOUTH)

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 A. QUINCY JONES,  
 FREDERICK E. EMMONS,  
 ASSOCIATES - ARCHITECTS  
 LOS ANGELES CALIF.

DESCRIPTION  
**COMPANY GRADE OFFICERS  
 3 BR. 3 STORY TOWNHOUSE  
 HILLSIDE COMBINATION**

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**III CGO 6&7** 2  
 IDENTIFICATION SYMBOL OF 2

## DESIGN GROUP IV

### GENERAL REMARKS

Design Group IV contains a three-bedroom Town House for Enlisted Men, six Field Grade Officers' houses, three houses for Senior Officers, and two houses for General Officers. These houses have been designed for a Warm Climate.

#### SITE PLANNING

To successfully accommodate an emphasis in outdoor living common in the temperate climate zones, clusters of individual living units are grouped around a large internal space. This central open area is readily accessible to all units and is used solely for recreation and pedestrian circulation. On the fringe of this space, yet sheltered between building clusters for greater protection and more personal scale, are numerous tot lots and the formal recreation facilities for Officers and Enlisted Men. Vehicular traffic — with the exception of a major artery separating Officers and Enlisted men — is restricted to secondary collector streets on the periphery of the site. In this arrangement, a complete separation of pedestrians and automobiles can be achieved, with a short and direct internal design for pedestrian use and a carefully restricted external pattern for automobiles and daily service.

The living unit clusters are composed of sub-groups or neighborhoods of 18 to 32 row units; four to six duplexes, and two to three detached houses, all generally grouped around a common entry drive and parking court. The clusters are designed to provide a flexible, efficient sub-grouping with the maximum of variety between groups and the minimum number of intersections with the collector street. Advantages of such cluster groupings include:

Economy through grouping of facilities, compact utilities, minimum paved areas and reduced driveways.

Differentiation between fast circulation and slow terminal traffic; yet provision that every car entering the parking court from the collector street can easily turn around before re-entering the faster traffic flow.

Off-street parking completely segregated from collector streets; and the consequent removal of living units from the hazards, smells, and noises of a main traffic route.

Breakdown of the monotonous row unit arrangement.

Encouragement of personal identity through the identification with smaller sub-groups, resulting in greater community pride.

Small garden areas that open to a larger, central recreation area, relating each sub-group to the remainder of the development.

In the more detailed placement of the housing units, a conscious effort was made to locate the four bedroom units further into the site, where the access to the open spaces is realized more readily. Duplexes and single units are arranged so that unobstructed views can be had in at least two different directions.

Further, it is suggested that utility mains (water, power, sewer) be located internally in the site, following the pedestrian pathways rather than the street pattern. This arrangement is considerably more efficient requiring much shorter utility service mains following, most likely, the natural slope of the terrain, and involving no inconvenient and costly destruction and patching of streets during maintenance.

#### UNIT PLANNING

The individual dwelling units were designed specifically for the temperate climates. With these warm and humid conditions, a given volume of space often seems and feels much smaller than a similar space in a colder climate. When it is hot, it is the natural reaction to desire more space and a greater circulation of air. In addition, attire, manners, and living habits become less formal. With these facts in mind, the following planning devices were considered of great importance:

Open planning, with the combination of related areas (i.e., kitchen-family, living-dining, etc.) to obtain a larger single space.

Interplay of volumes with higher ceilings whenever feasible, allowing spaces to flow from one level to another.

Use of generous glass areas to visually borrow space from the out-of-doors.

Incorporation of terraces, gardens, and courts for outdoor living and entertaining.

In addition, two other design features were considered of great importance in the overall designs. One was the inclusion of a family or multi-purpose room where much of the clutter of household activities can be contained; and the other was a distinct entry area (and the ability to circulate directly from it into the living area, kitchen-service area, or bedroom wing).

The row houses are designed for maximum efficiency with minimum circulation. They are deep and narrow to reduce frontage, and entry to these units is from both the parking court and the rear garden. Garden walls and planting are important to insure the maximum privacy within a row house arrangement.

For the duplexes, the cost of the higher ceiling in the living room area is offset by the full use of the partially excavated lower levels. In all multi-level three bedroom units, similar bedroom arrangements are placed over similar dining-kitchen-family room units with the hope that this will encourage a certain amount of shop pre-fabrication. Also, it should be noted that certain elevations are interchangeable. The approach was to suggest a range of possible solutions rather than standardizing one particular design.

The Senior Grade and General Officers' houses are designed to appear more spacious by the extension of wing walls and the incorporation of garden courts. In the major rooms, the ceilings are higher than the normal eight feet; and the bedrooms are arranged so that cross circulation is possible. In the General Officers' houses, the master bedroom is separated from the other bedrooms for privacy; recognizing that in these instances, children will be older and would enjoy a certain amount of separation.



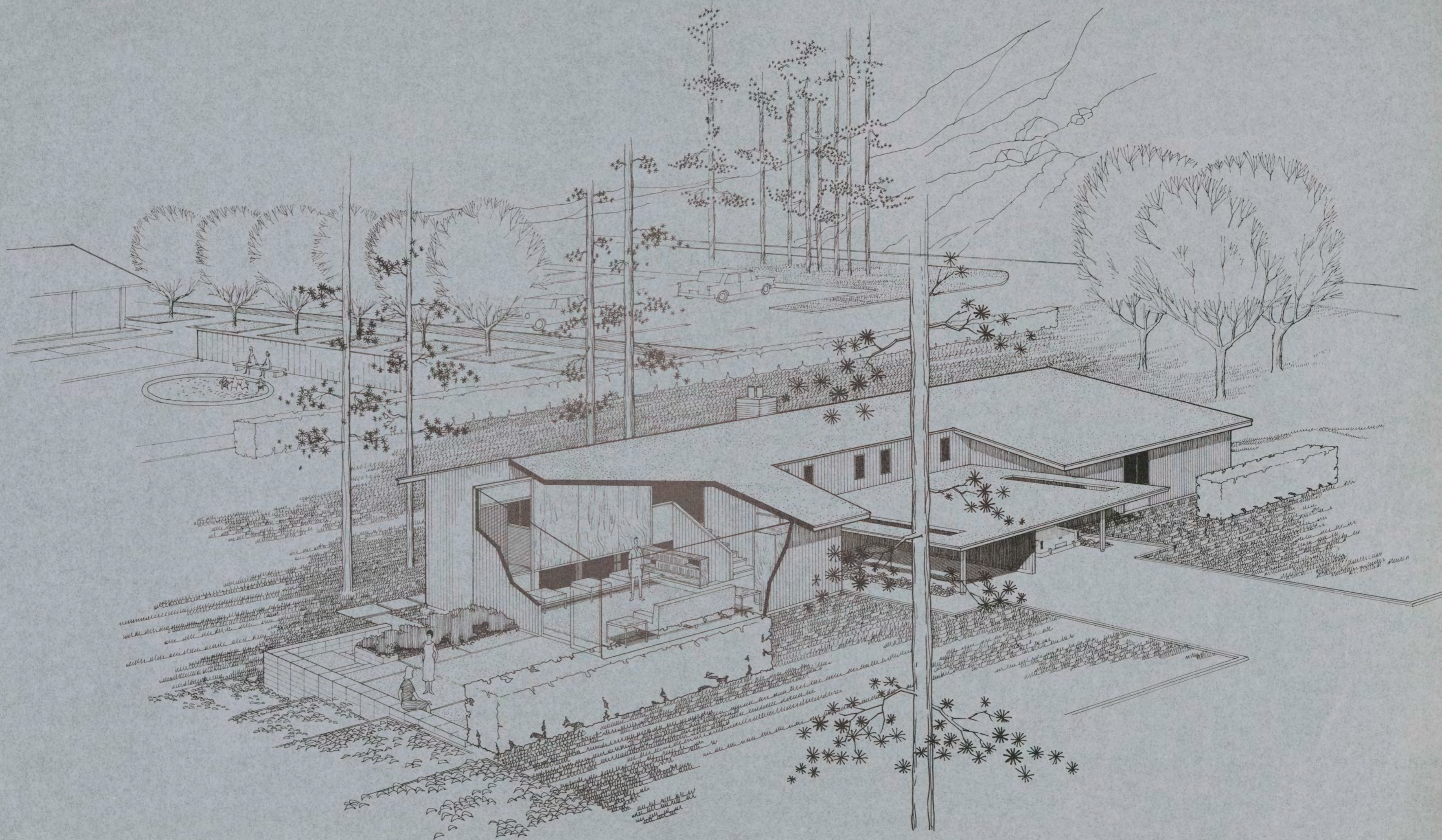
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**ENTRANCE COURT VIEW**  
**FIELD GRADE OFFICERS**  
**DUPLEX UNITS**

DESIGN GROUP  
**IV VIEW 1**  
IDENTIFICATION SYMBOL





**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT

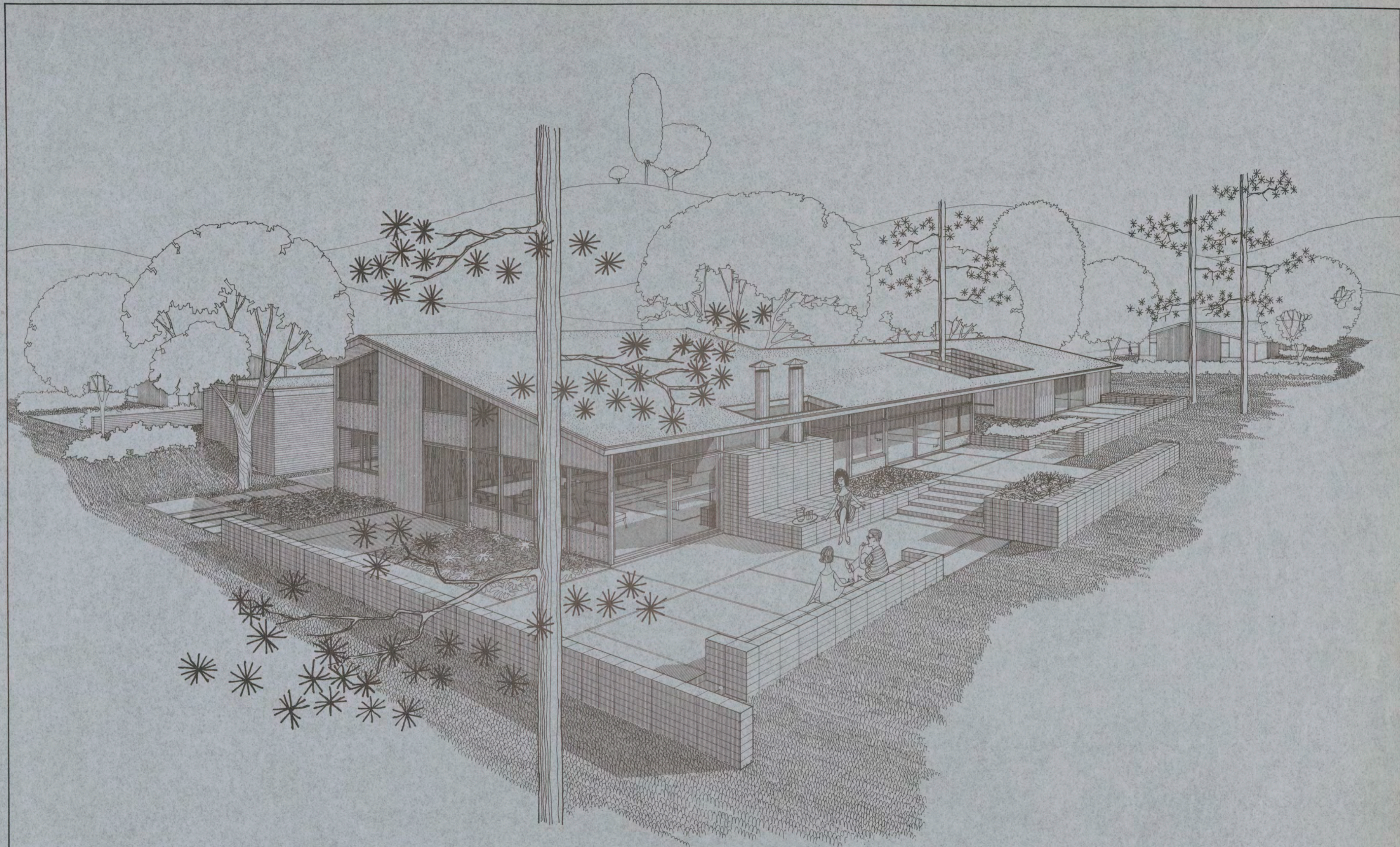
OAKLAND CALIF.

DESCRIPTION  
**AERIAL VIEW**  
**FIELD GRADE OFFICERS**  
**DUPLEX SPLIT LEVEL UNITS**

DESIGN GROUP

**IV VIEW 2**

IDENTIFICATION SYMBOL



**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

**ARCHITECTS**  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

**DESCRIPTION**  
 GARDEN VIEW  
 GENERAL OFFICERS  
 SPLIT LEVEL HOUSE

**DESIGN GROUP**  
**IV VIEW 3**  
 IDENTIFICATION SYMBOL



**HOUSING :**

CLASSIFICATION	NUMBER OF UNITS			NET ACRES	NET DENSITY
	3 BDRM	4 BDRM	TOTAL		
ENLISTED MEN (EM)	122	26	148	9.3	15.9
COMPANY GRADE OFFICERS (CGO)	35	6	41	3.1	13.2
FIELD GRADE OFFICERS (FGO)	14	8	22	2.9	7.6
SENIOR GRADE OFFICERS (SO)	3		3		4.0
GENERAL OFFICERS (GO)		2	2	2.0	
<b>SUBTOTALS</b>	<b>171</b>	<b>45</b>	<b>216 UNITS</b>	<b>17.3 NET ACRES</b>	<b>12.5</b>

**RECREATION :**

CLASSIFICATION	NET ACRES
ENLISTED MEN'S CLUB	0.83
OFFICER'S CLUB	1.2
TOT LOTS	1.3
OPEN RECREATION	7.1
<b>SUBTOTAL</b>	<b>10.4 NET ACRES</b>

**MISCELLANEOUS :**

CLASSIFICATION	ACRES
PARKING, STREET R/W, DRIVEWAYS, ETC.	9.6
<b>SUBTOTAL</b>	<b>9.6 ACRES</b>
<b>TOTALS</b>	<b>216 UNITS 37.3 ACRES</b>

**SYMBOLS & DEFINITIONS**

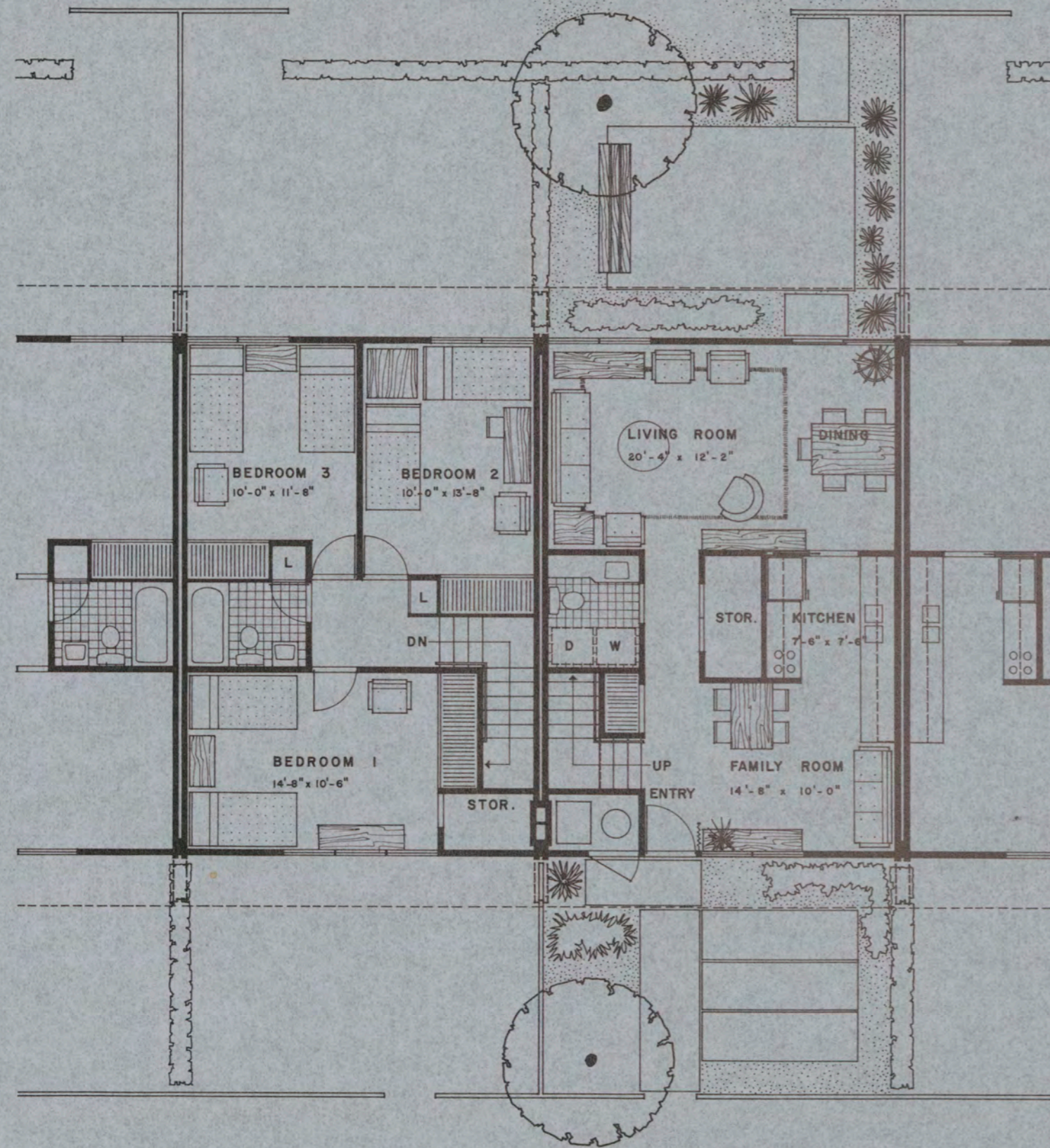
LAUNDROMAT  
 TRASH  
 NET ACRES = AREA, NOT INCLUDING PARKING, STREET R/W, DRIVEWAYS, ETC.  
 NET DENSITY = NO. OF UNITS PER NET ACRE

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

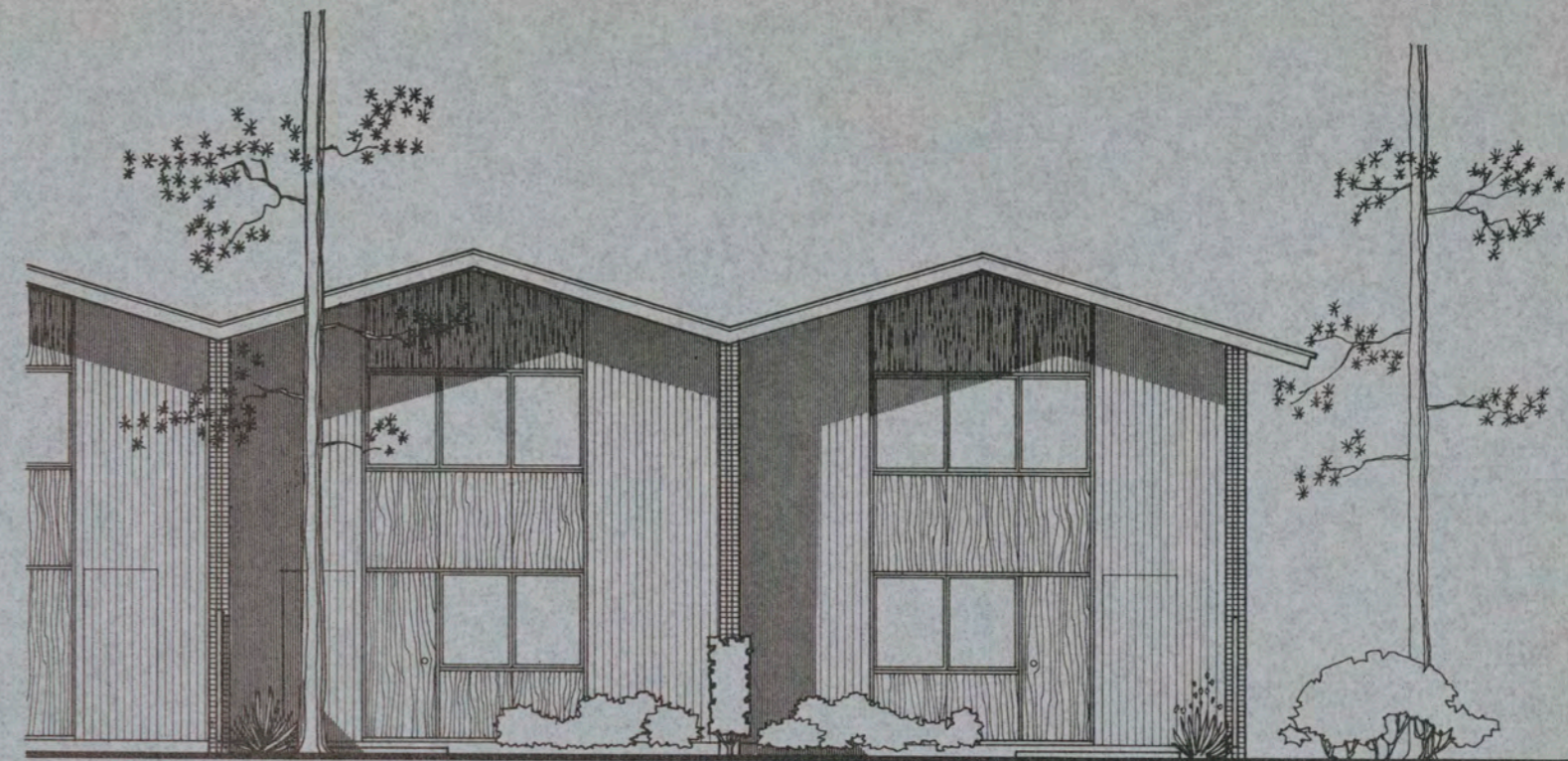
DESCRIPTION  
**DESIGN GROUP IV  
 SITE PLAN**

DESIGN GROUP  
**IV SITE**  
 IDENTIFICATION SYMBOL

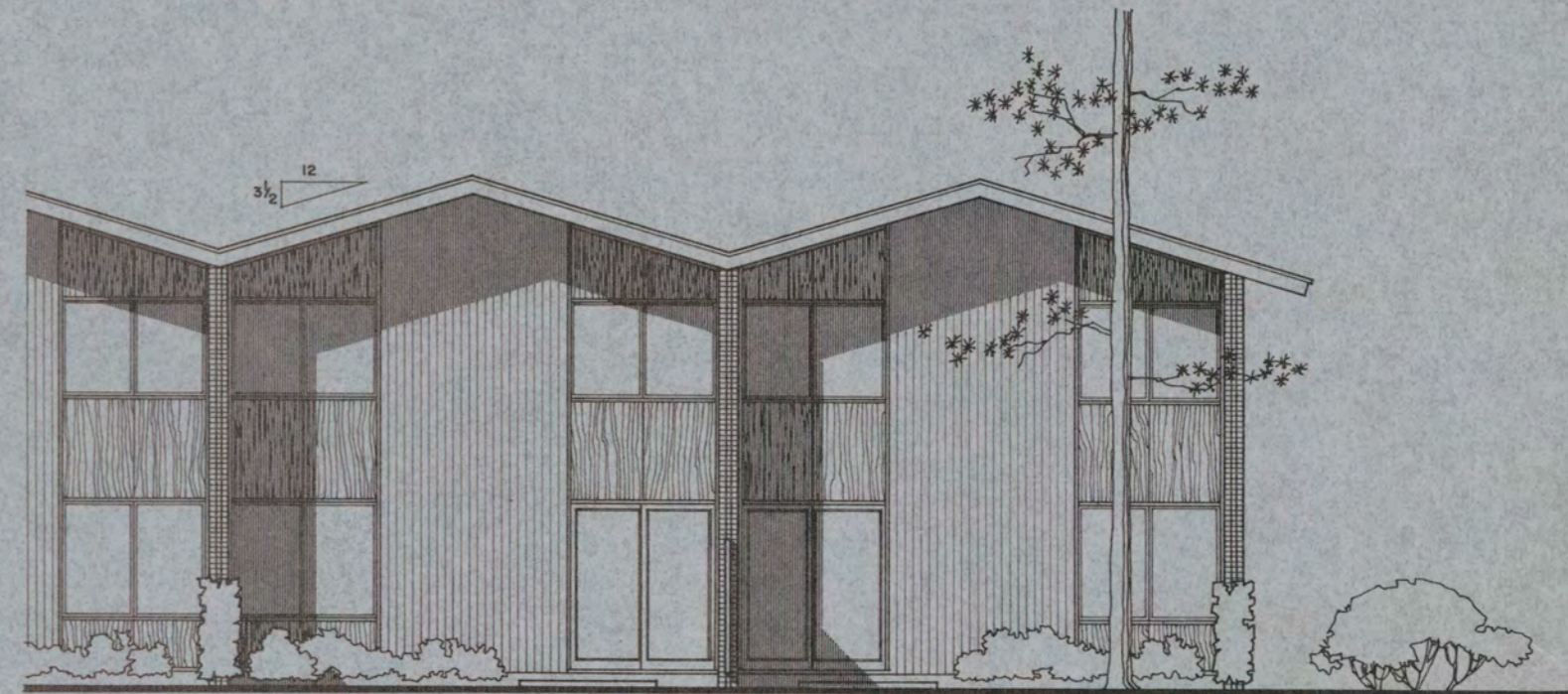


SECOND FLOOR PLAN  
0 5 10

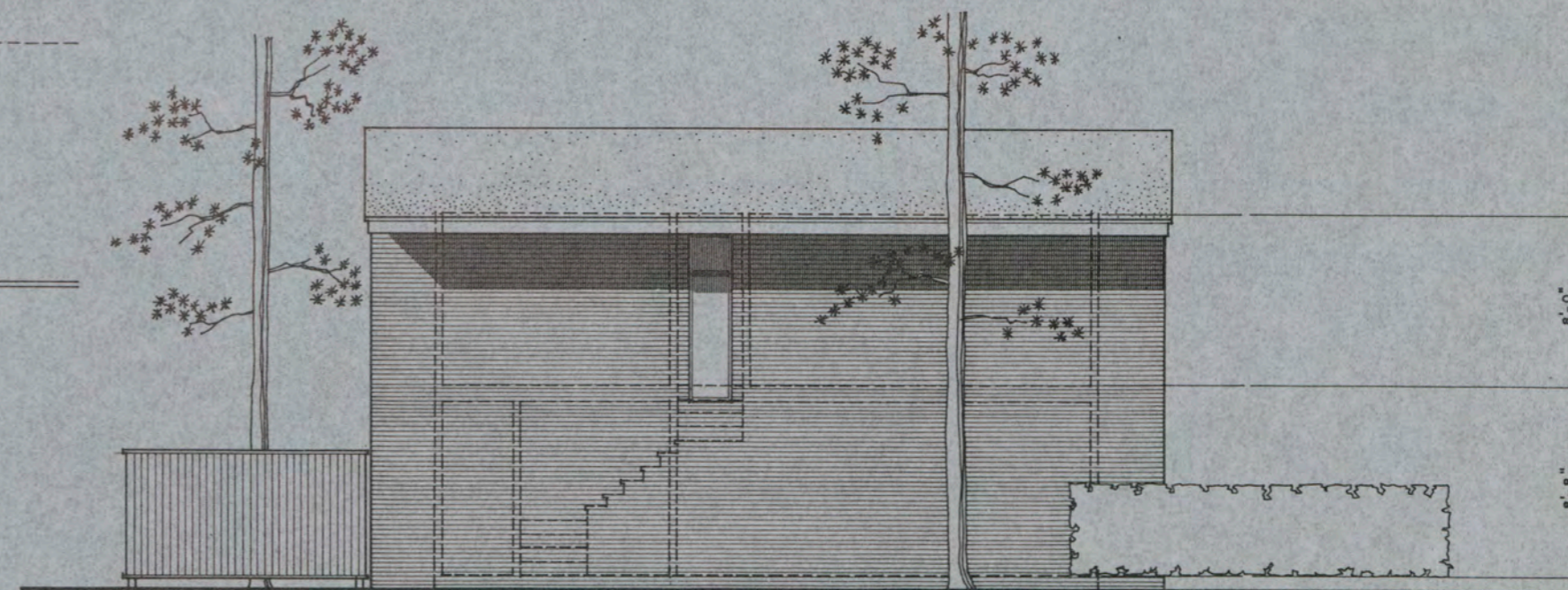
GROUND FLOOR PLAN



FRONT ELEVATION



REAR ELEVATION



SIDE ELEVATION

GROSS AREA 1288 SQ. FT.  
NET AREA 1080 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. G. Galt*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
ENLISTED MEN  
3 BR. 2 STORY TOWNHOUSE  
FLAT SITE

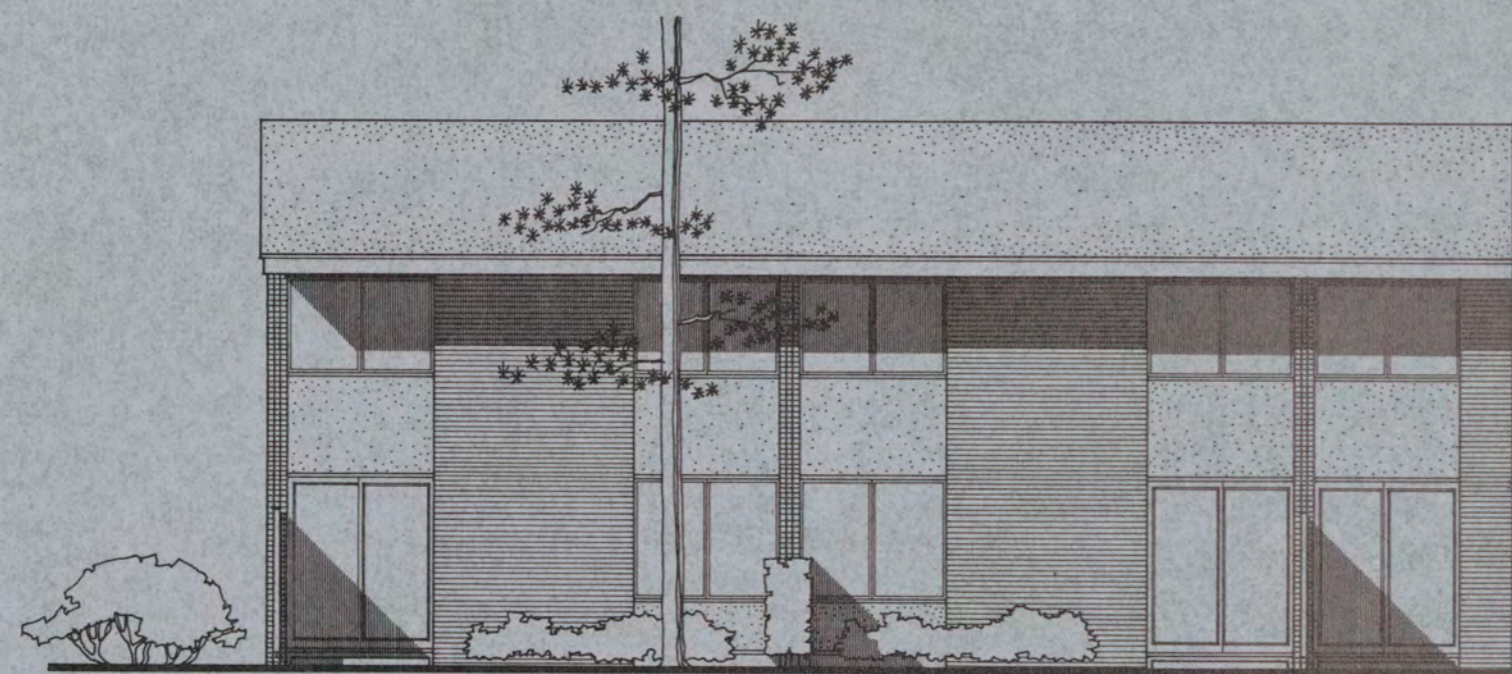
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV EM 1** 1  
IDENTIFICATION SYMBOL OF 2



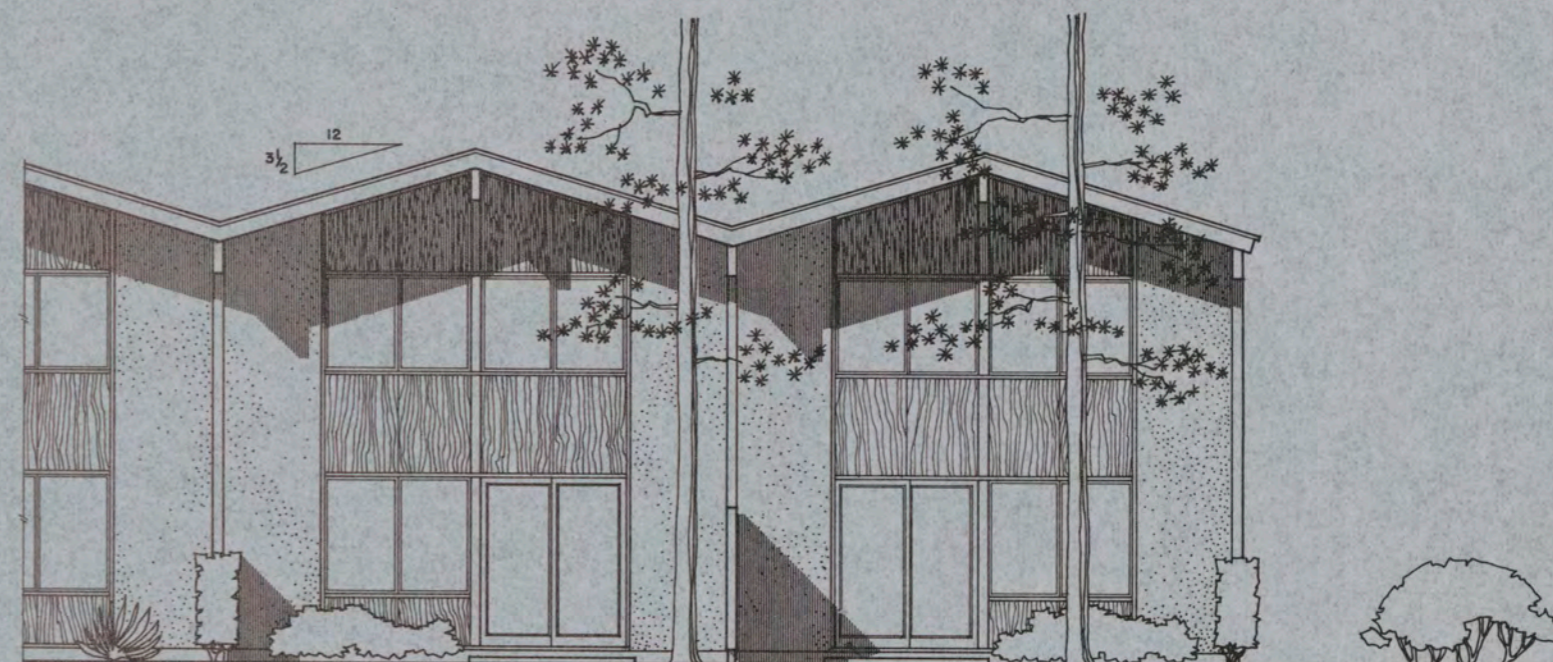
FRONT ELEVATION



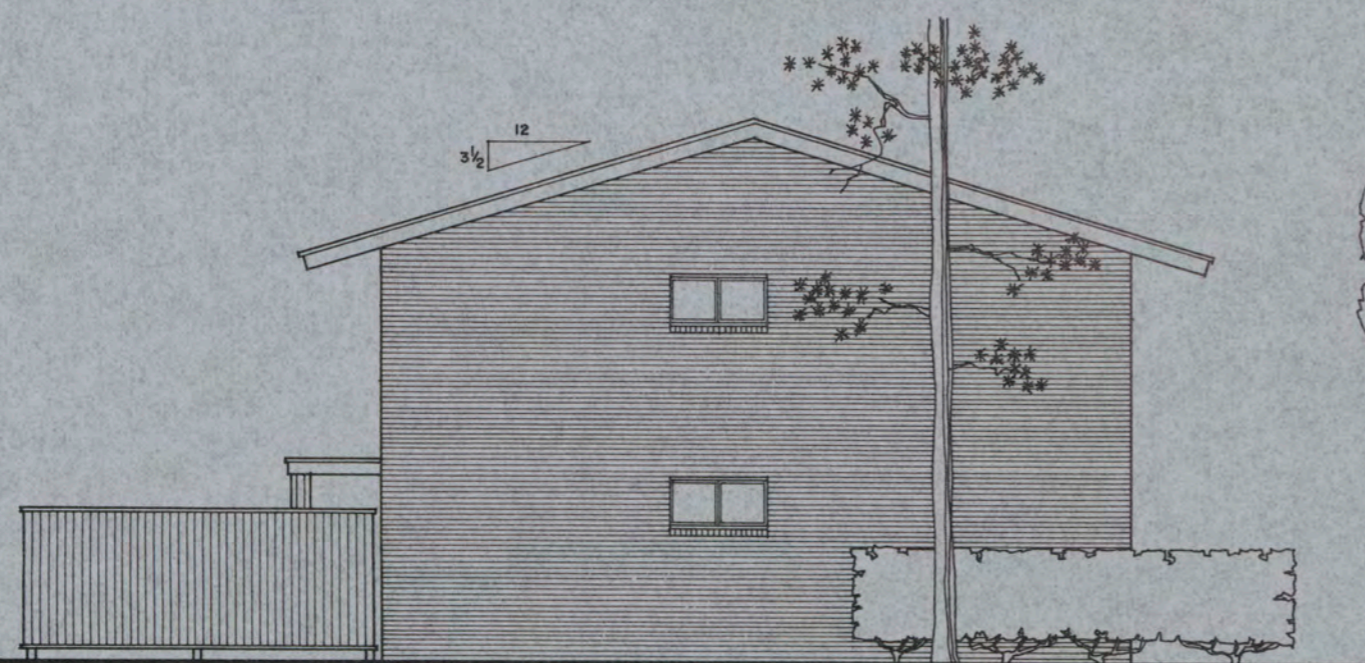
FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION



SIDE ELEVATION

0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

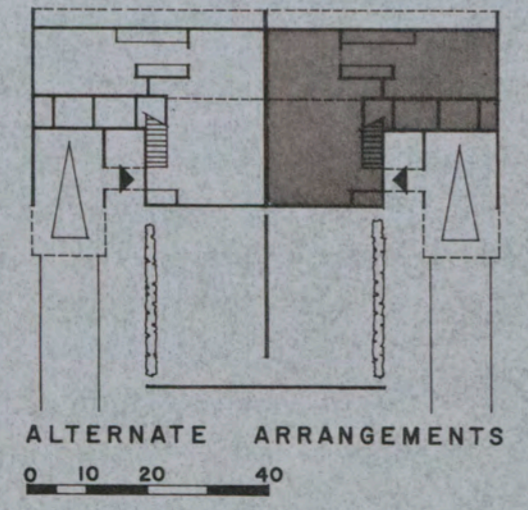
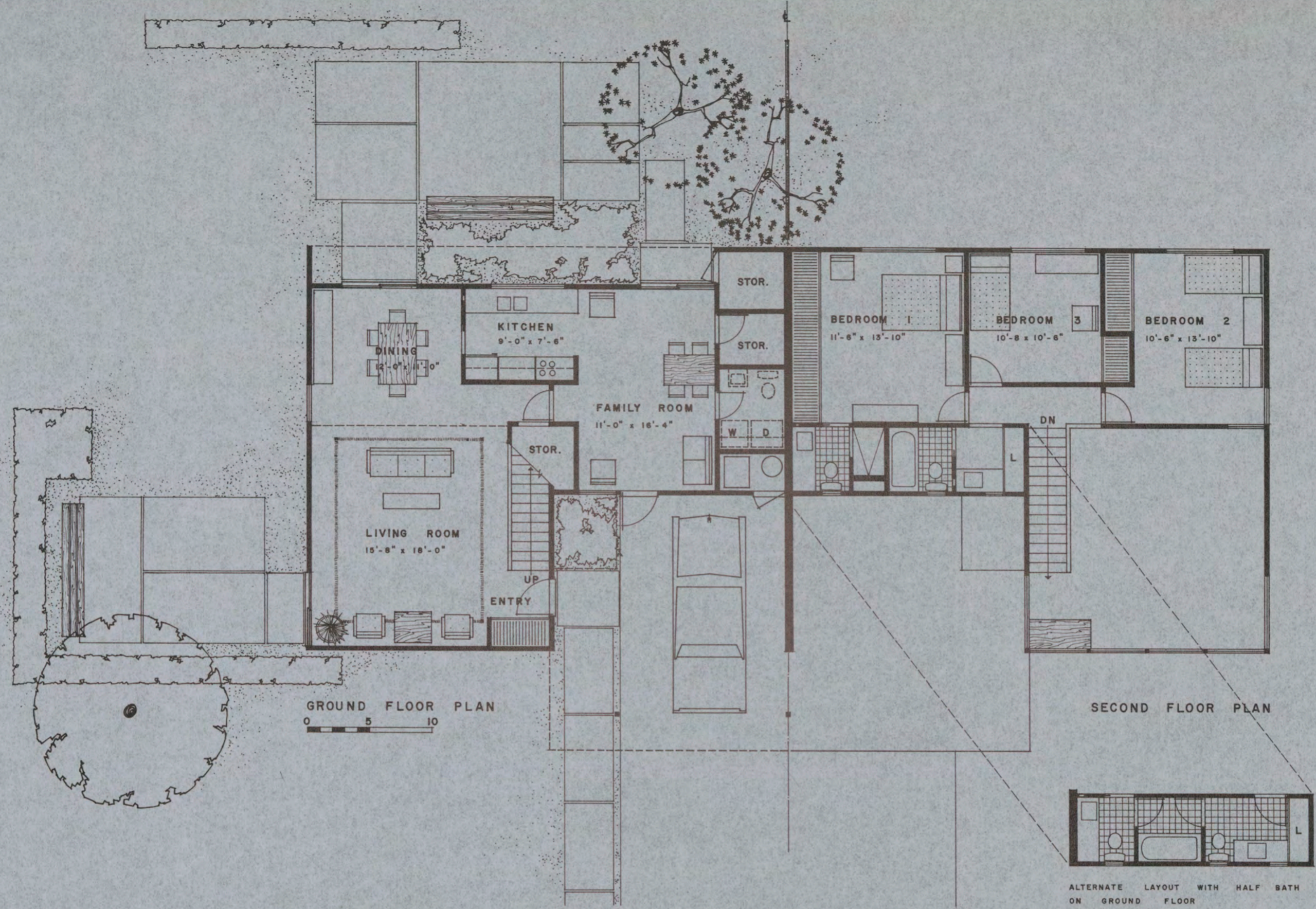
APPROVAL  
*Lynwood J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 ENLISTED MEN  
 3 BR. 2 STORY TOWNHOUSE  
 FLAT SITE

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	EM	1	2 OF 2

IDENTIFICATION SYMBOL



GROSS AREA 1600 SQ. FT.  
NET AREA 1386 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

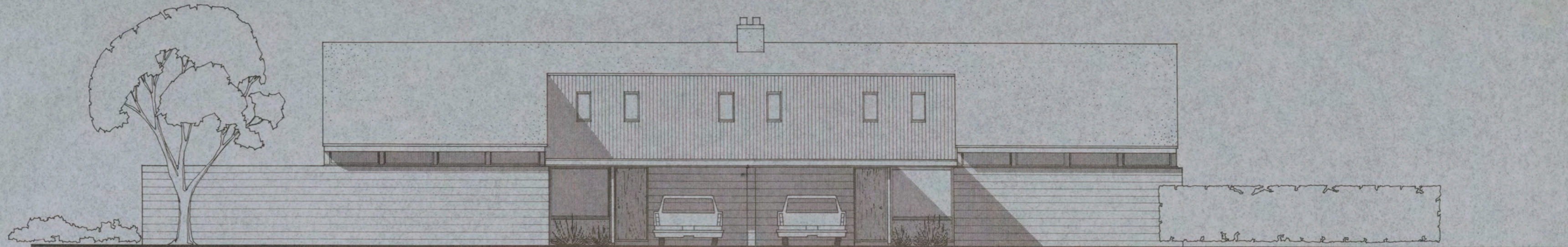
APPROVAL  
*Signatures*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY DUPLEX OR SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	1	1 OF 3

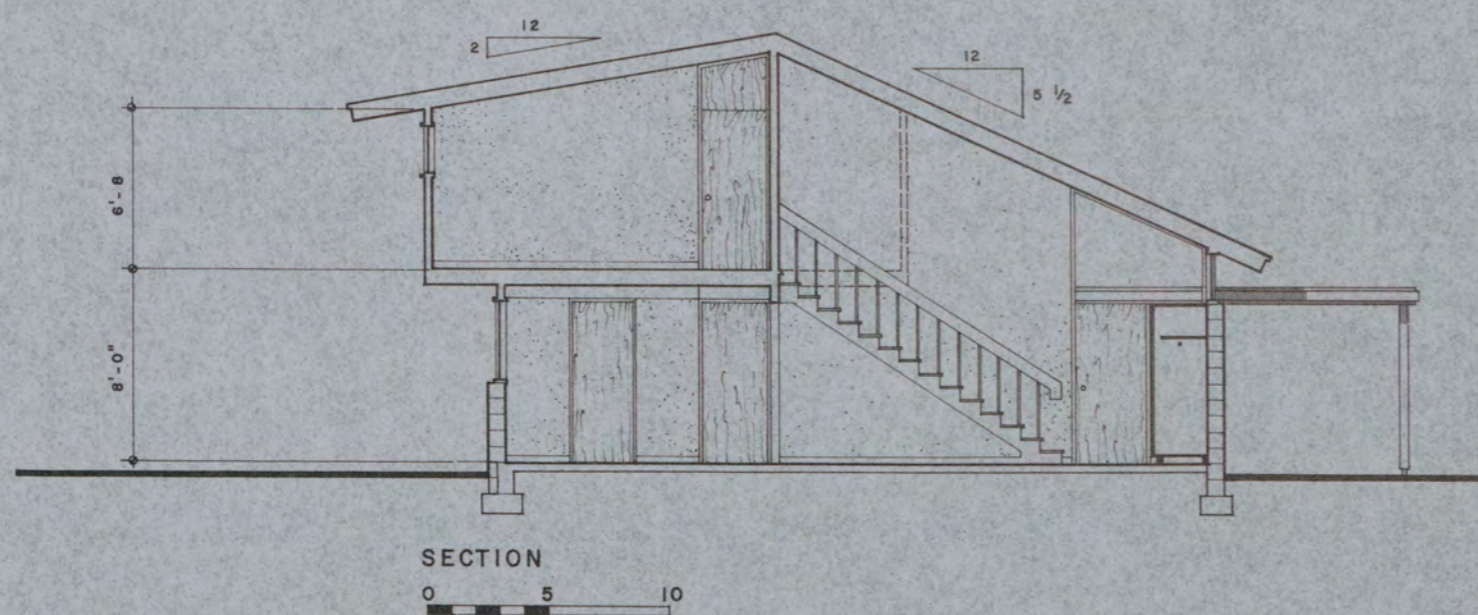
IDENTIFICATION SYMBOL



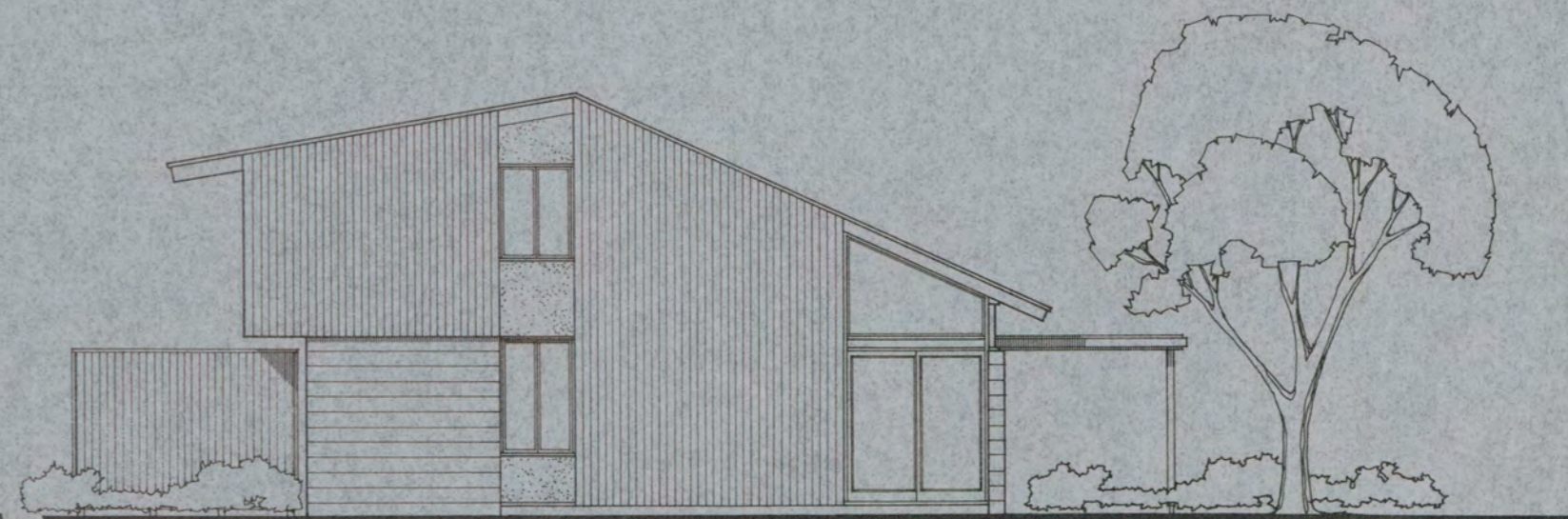
FRONT ELEVATION



REAR ELEVATION



SECTION



SIDE ELEVATION

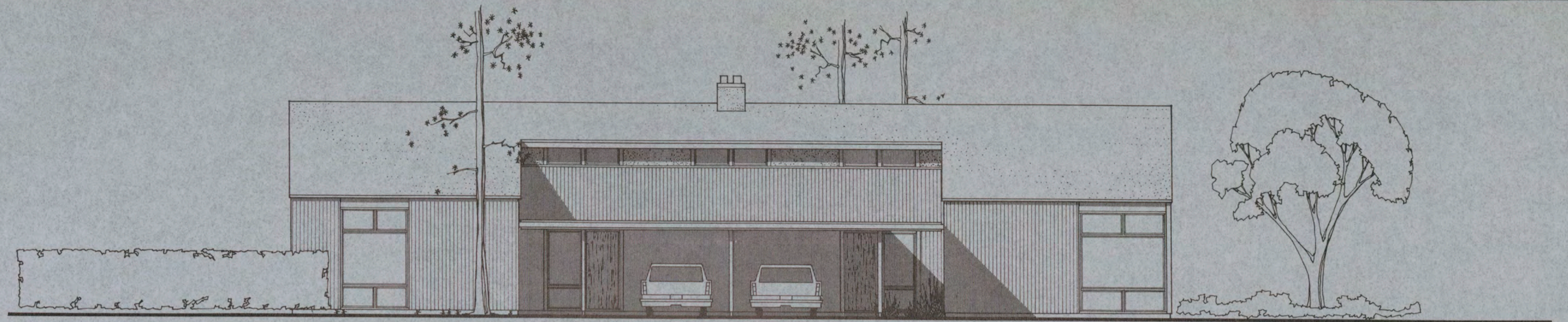
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 3 BR. 2 STORY DUPLEX OR SINGLE

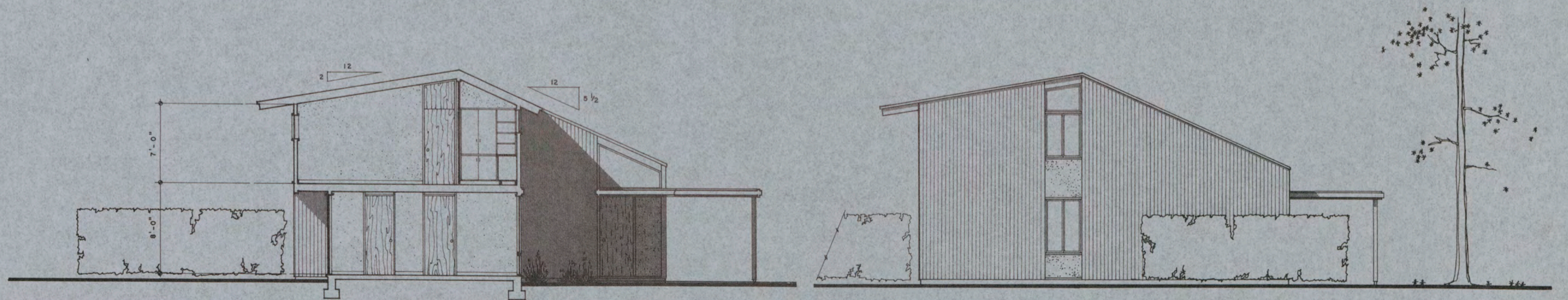
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	1	2 OF 3
IDENTIFICATION SYMBOL			3



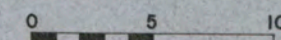
FRONT ELEVATION



REAR ELEVATION



SECTION



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harben*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

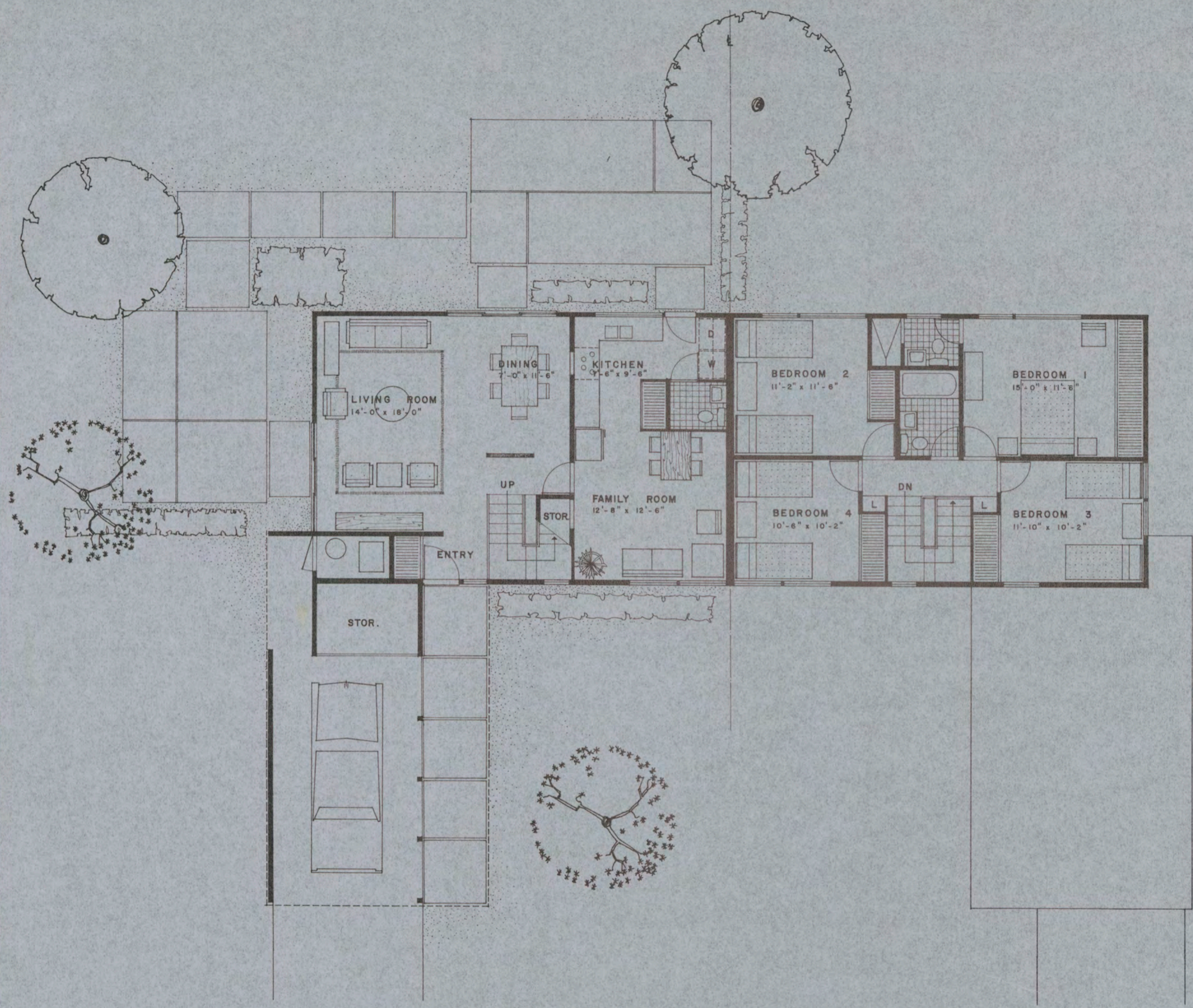
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 3 BR. 2 STORY DUPLEX OR SINGLE

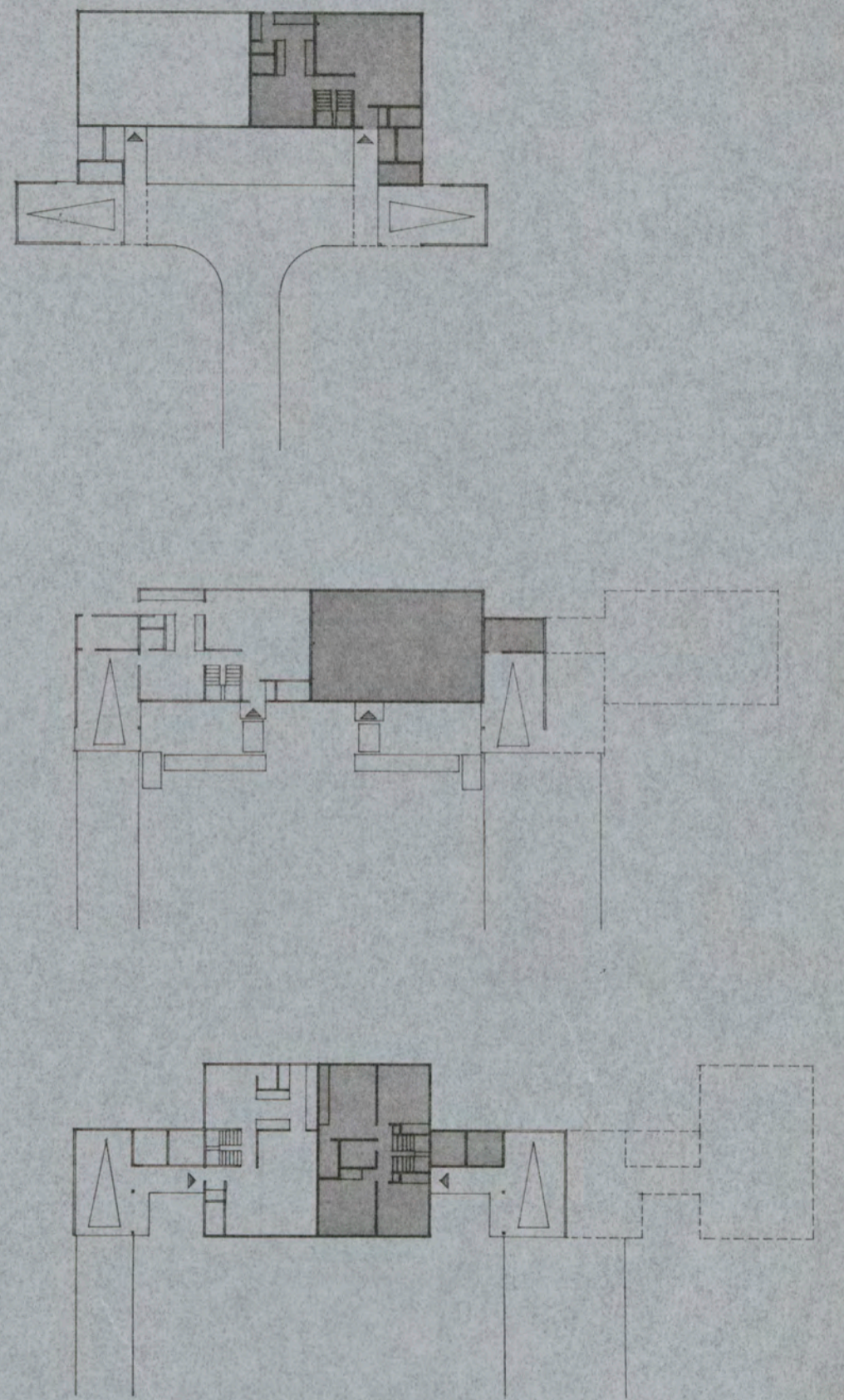
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	1	3 OF 3

IDENTIFICATION SYMBOL





GROUND FLOOR PLAN  
0 5 10



SECOND FLOOR PLAN

ALTERNATE ARRANGEMENTS  
0 10 20 40

GROSS AREA 1588 SQ. FT.  
NET AREA 1390 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmond J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

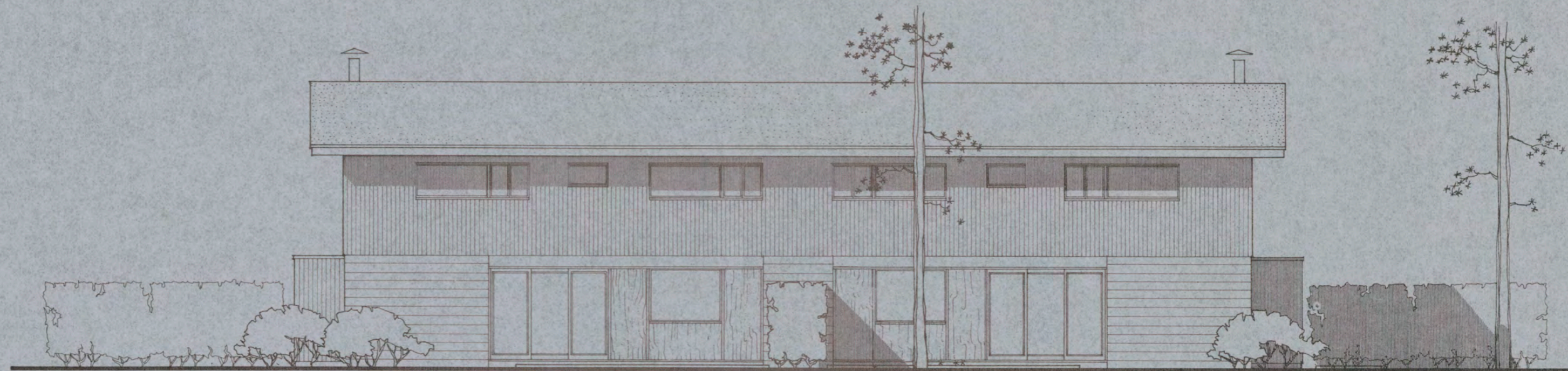
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS  
4 BR. 2 STORY DUPLEX OR SINGLE**

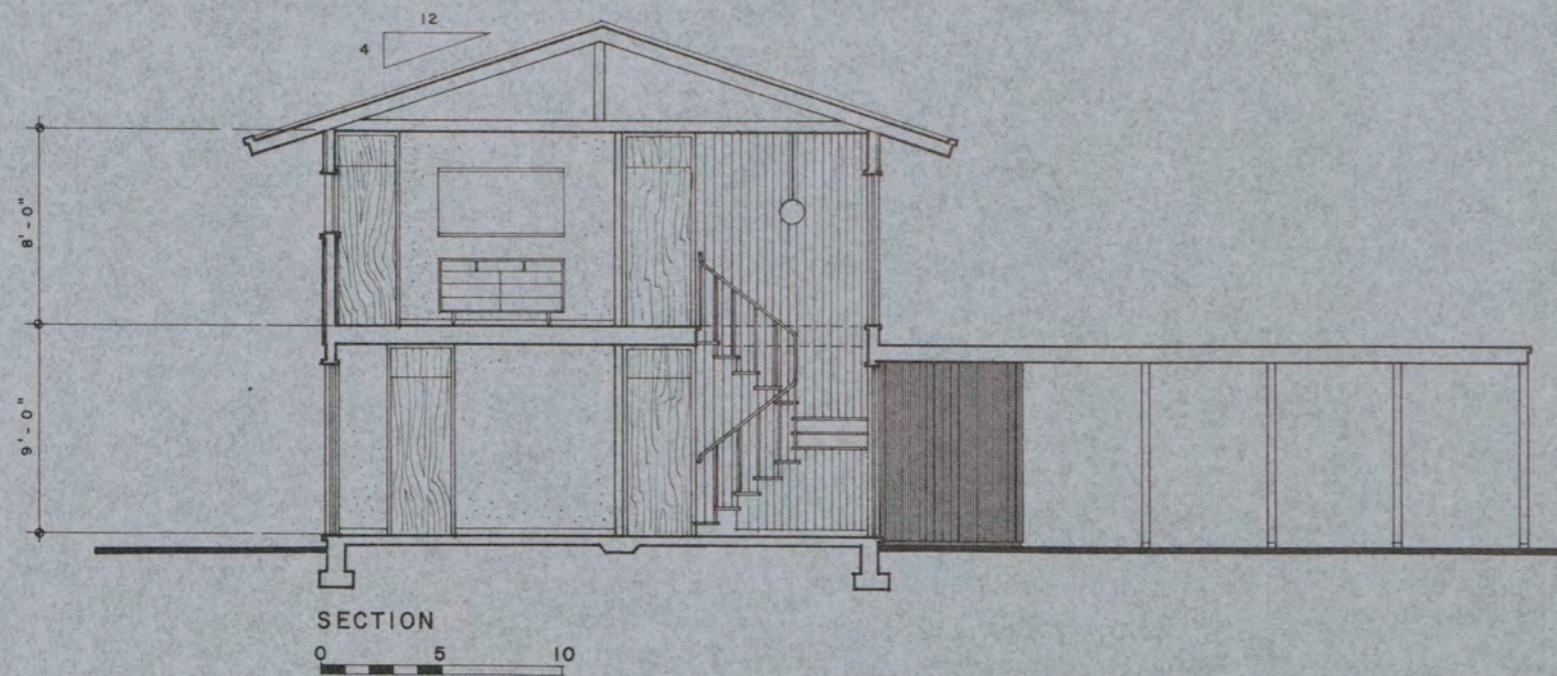
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV FGO 2** **1**  
IDENTIFICATION SYMBOL **OF 4**



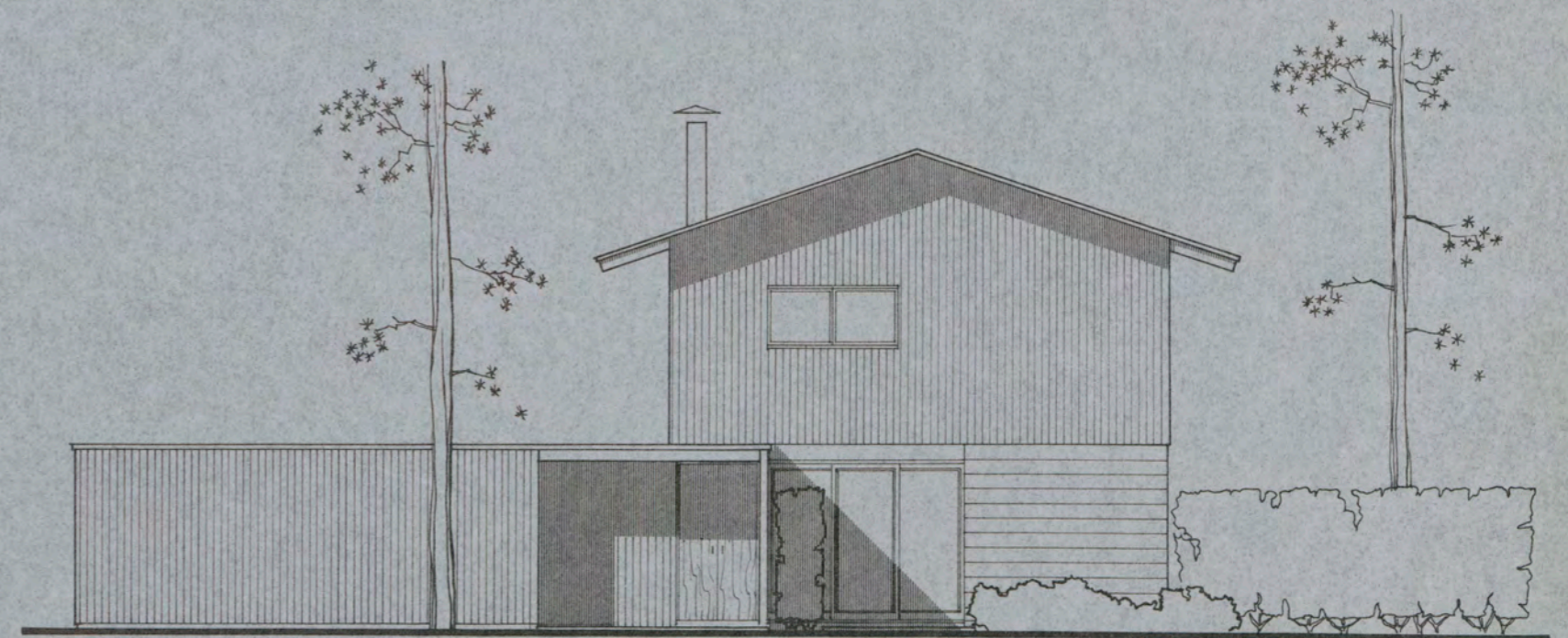
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

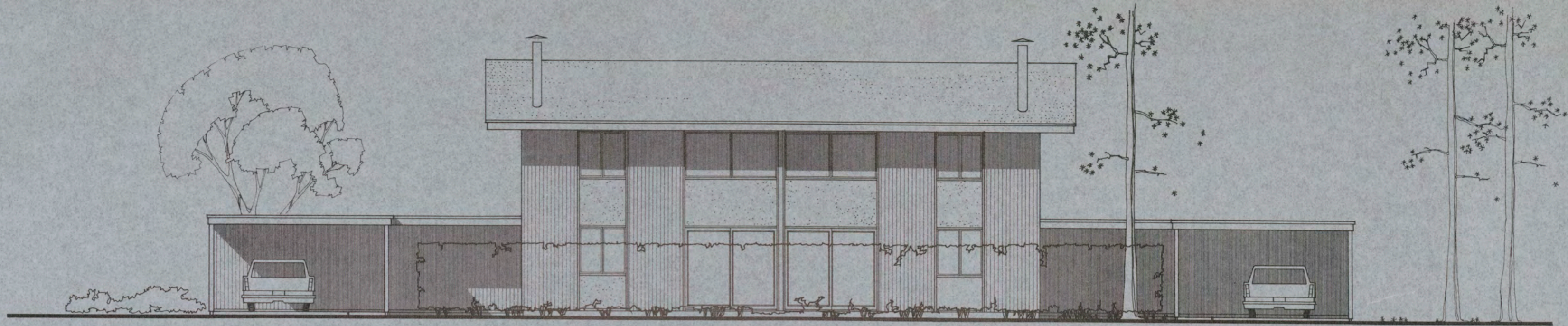
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lynwood J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

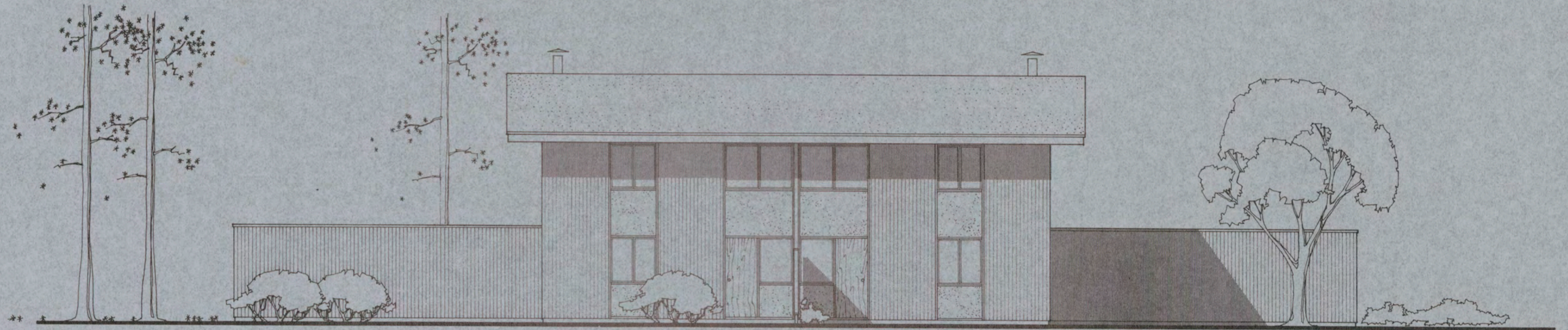
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 4 BR. 2 STORY DUPLEX OR SINGLE

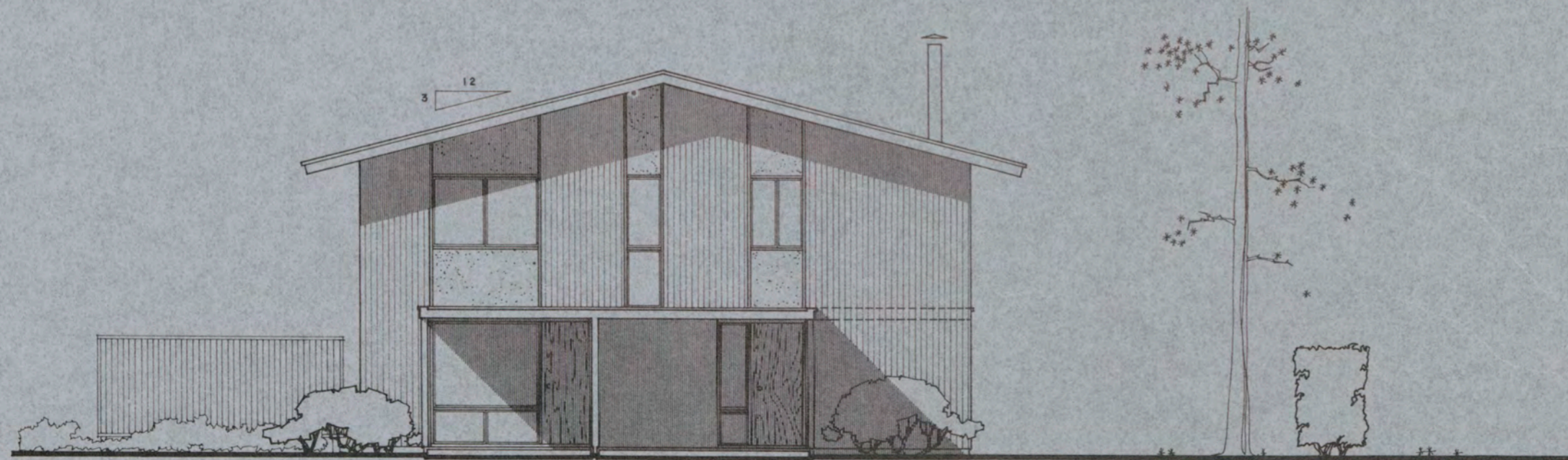
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	2	2 OF 4
IDENTIFICATION SYMBOL			4



FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10

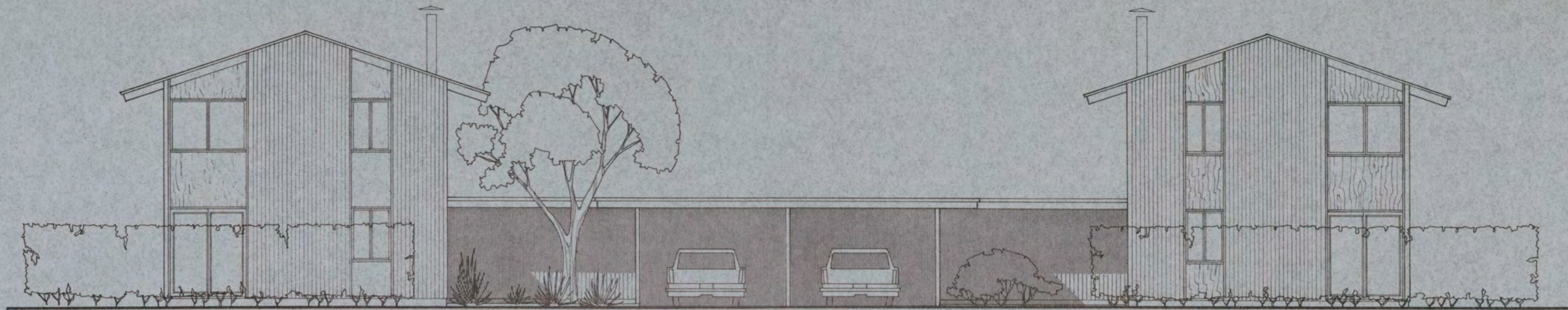
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Lyndon J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 4 BR. 2 STORY DUPLEX OR SINGLE

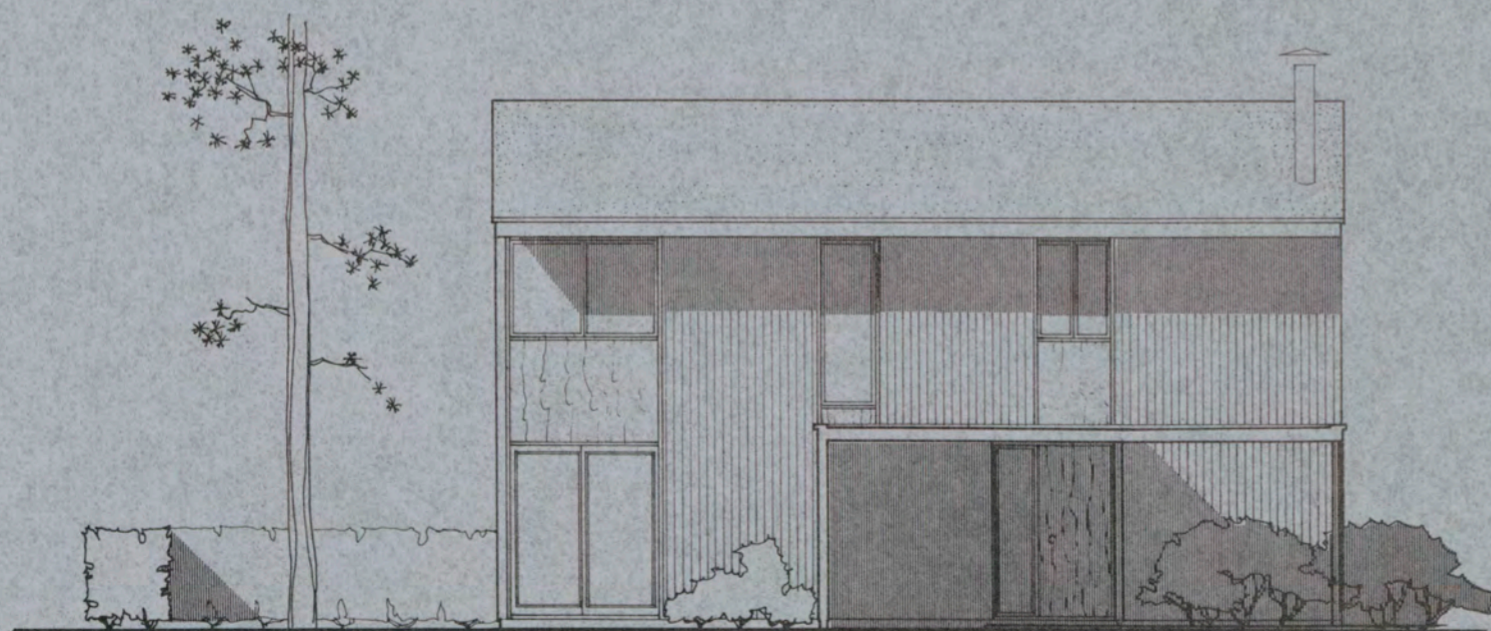
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	2	3 OF 4
IDENTIFICATION SYMBOL			4



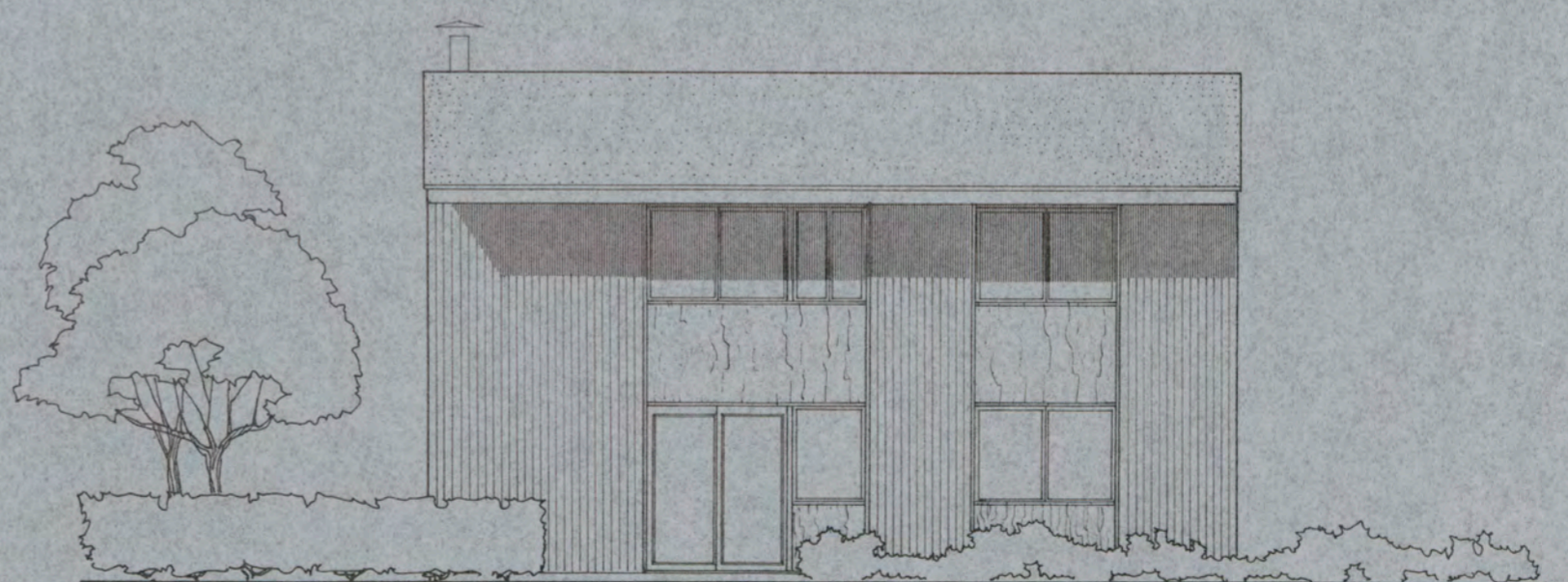
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

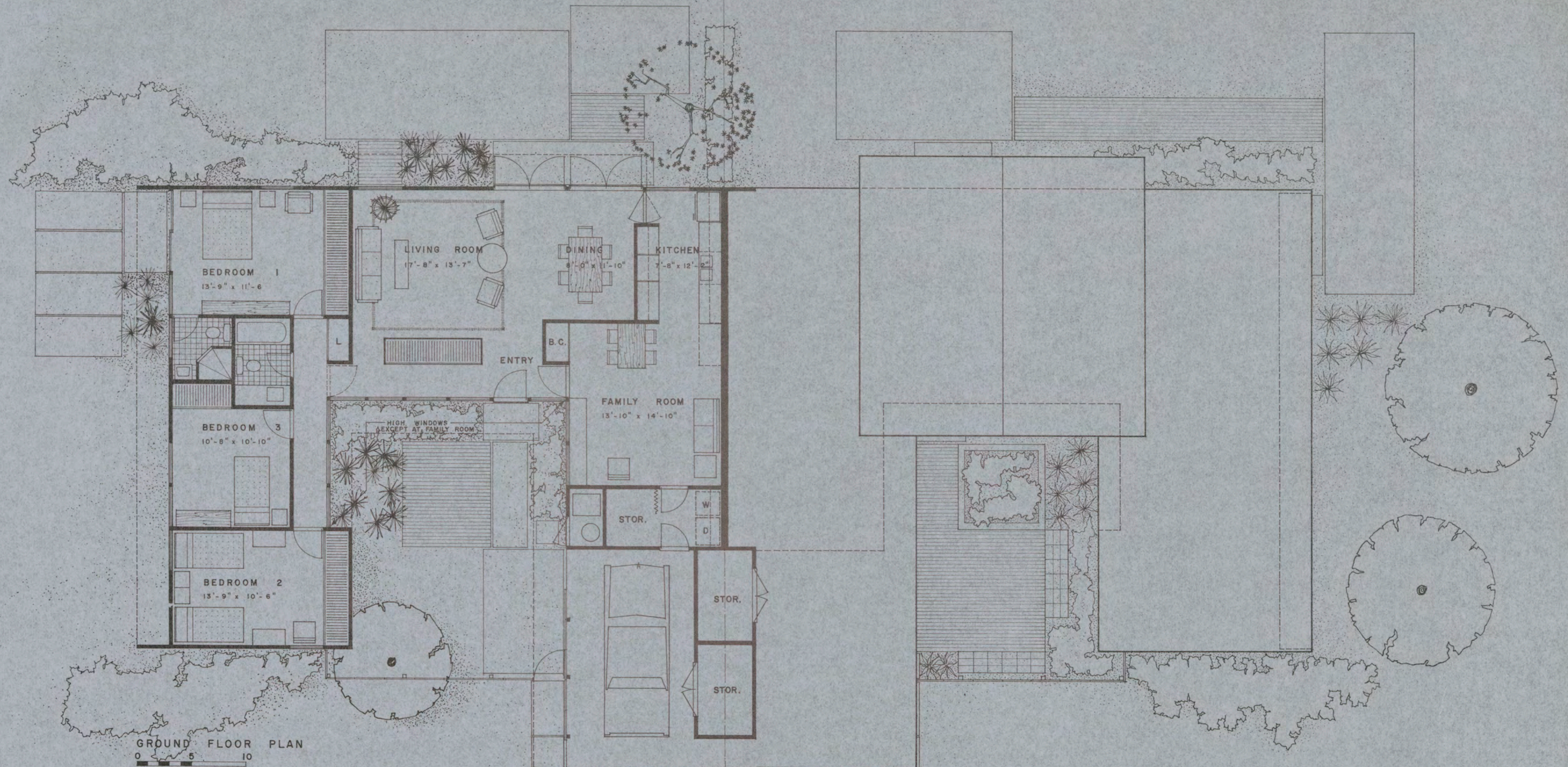
APPROVAL  
*Richard J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

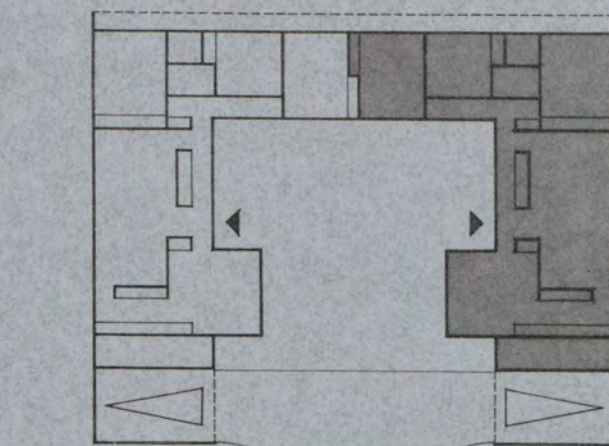
DESCRIPTION  
 FIELD GRADE OFFICERS  
 4 BR. 2 STORY DUPLEX OR SINGLE

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	2	4 OF 4

IDENTIFICATION SYMBOL



GROUND FLOOR PLAN  
0 5 10



ALTERNATE ARRANGEMENTS  
0 10 20 40

GROSS AREA 1598 SQ. FT.  
NET AREA 1399 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

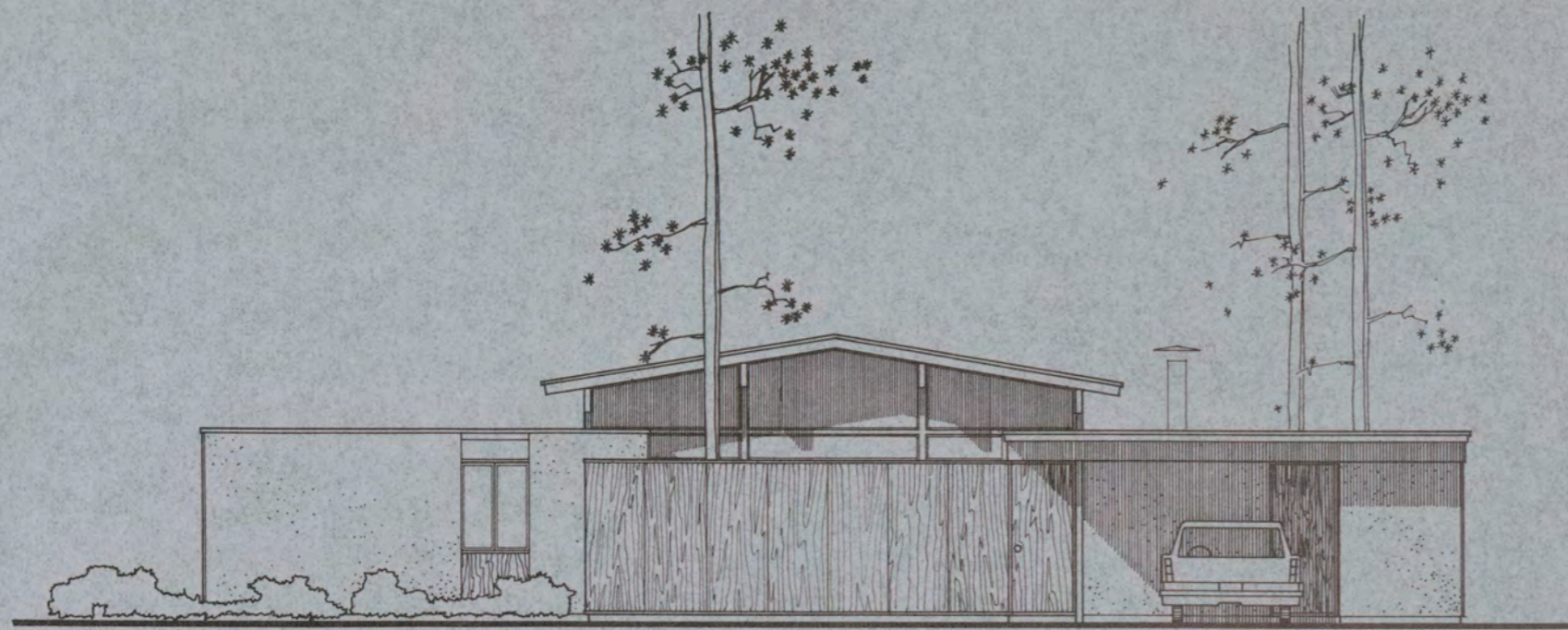
APPROVAL  
*Raymond J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

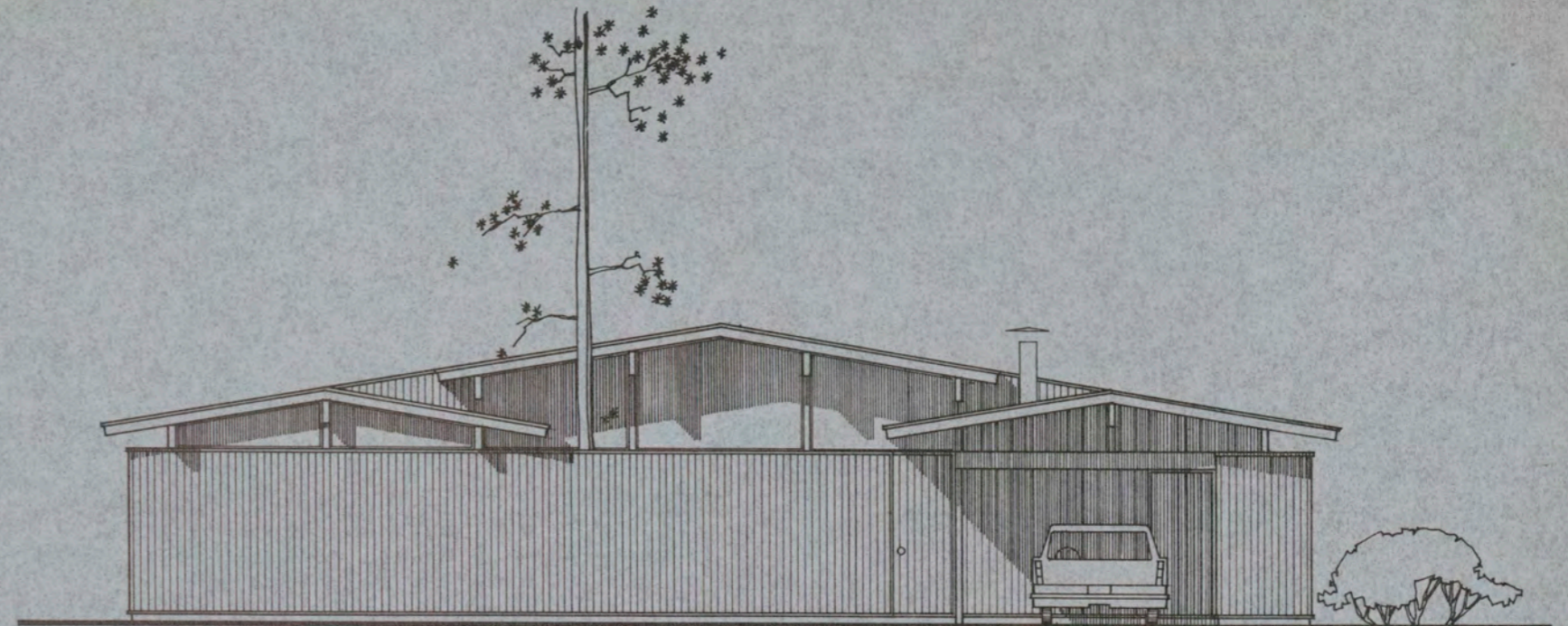
DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 1 STORY DUPLEX OR SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
<b>IV</b>	<b>FGO</b>	<b>3</b>	<b>1 OF 2</b>

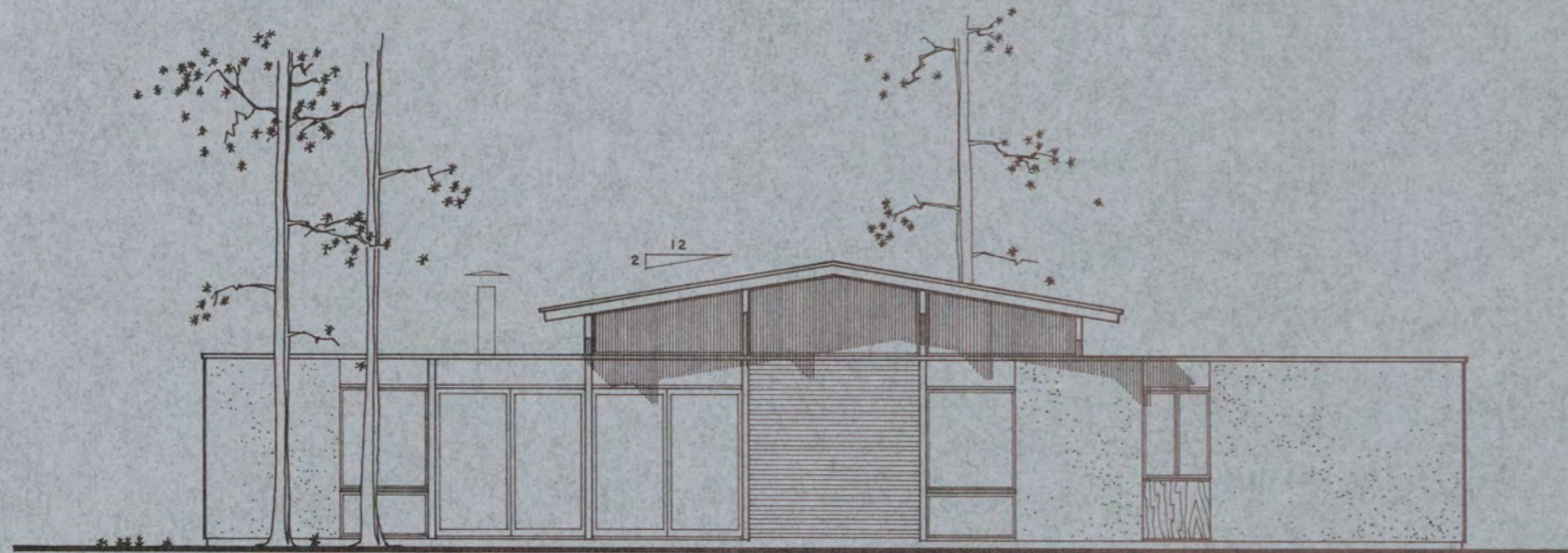
IDENTIFICATION SYMBOL



FRONT ELEVATION



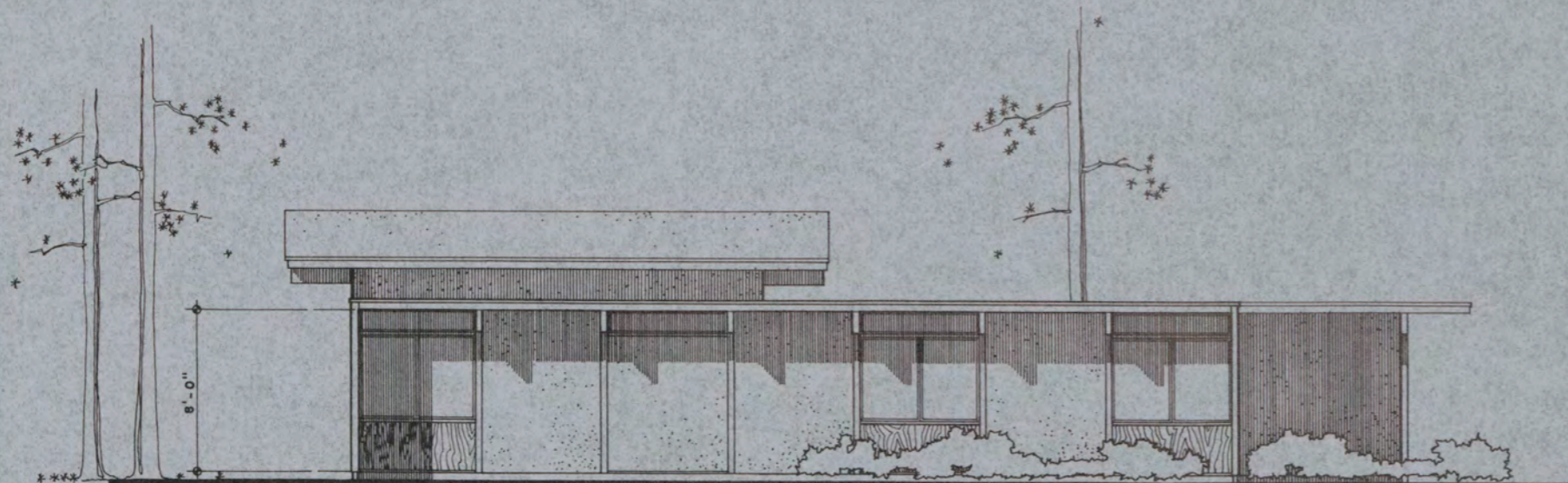
FRONT ELEVATION



REAR ELEVATION

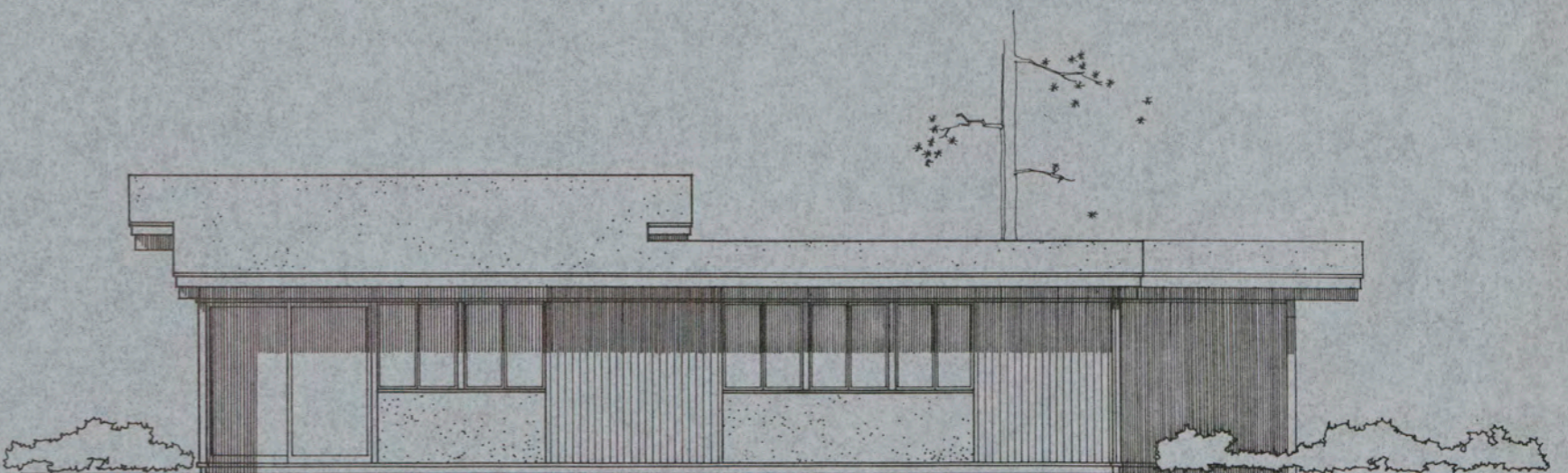


REAR ELEVATION



SIDE ELEVATION

0 5 10



SIDE ELEVATION

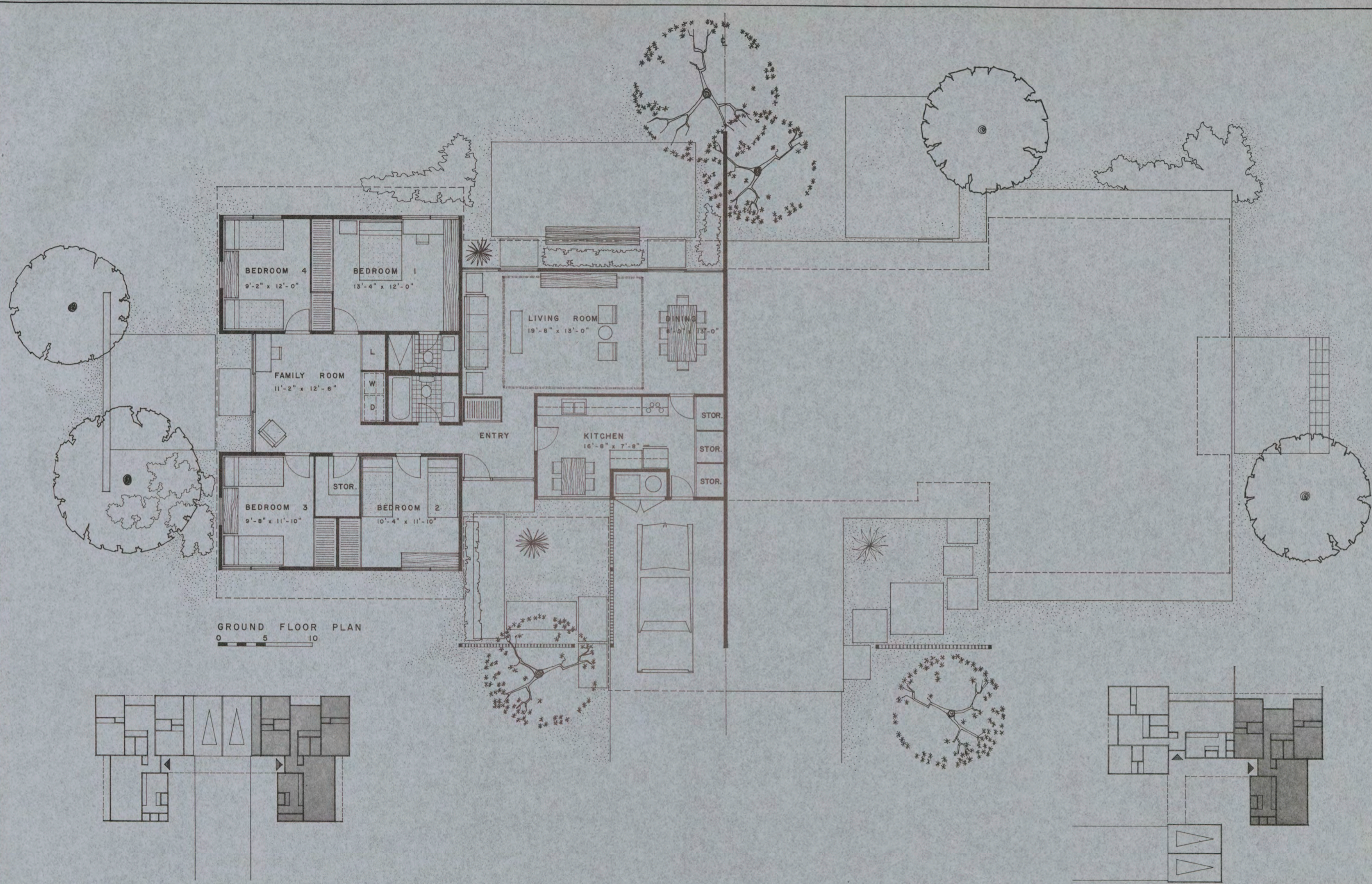
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 3 BR. 1 STORY DUPLEX OR SINGLE

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	3	2 OF 2
IDENTIFICATION SYMBOL			



GROUND FLOOR PLAN  
0 5 10

ALTERNATE ARRANGEMENTS  
0 10 20 40

GROSS AREA 1598 SQ. FT.  
NET AREA 1399 SQ. FT.

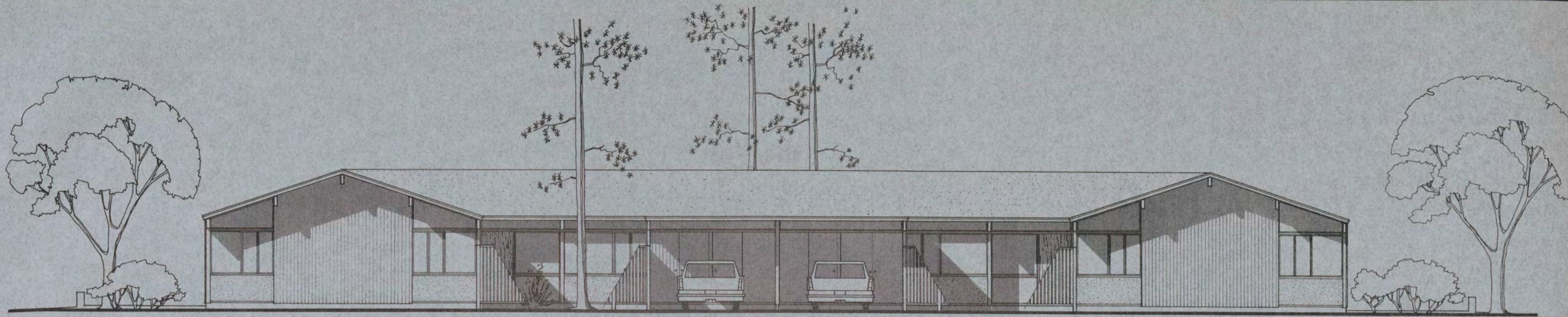
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

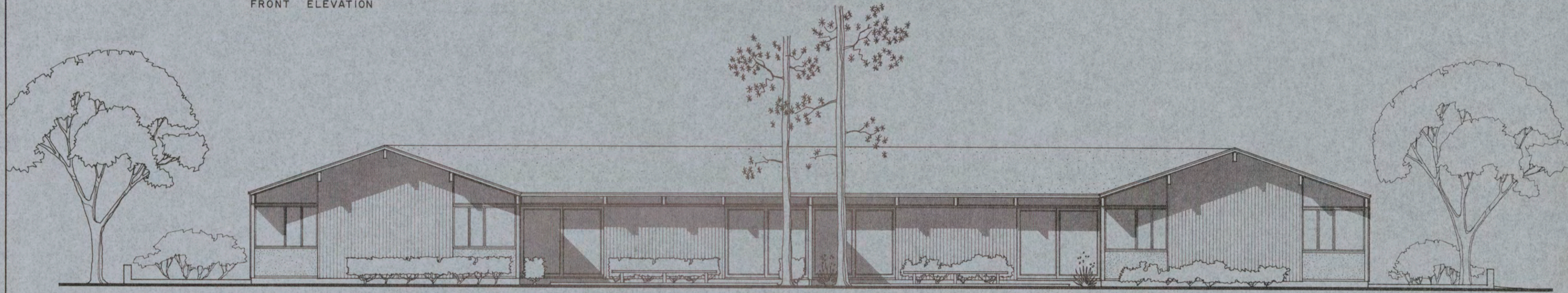
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS  
4 BR. 1 STORY DUPLEX**

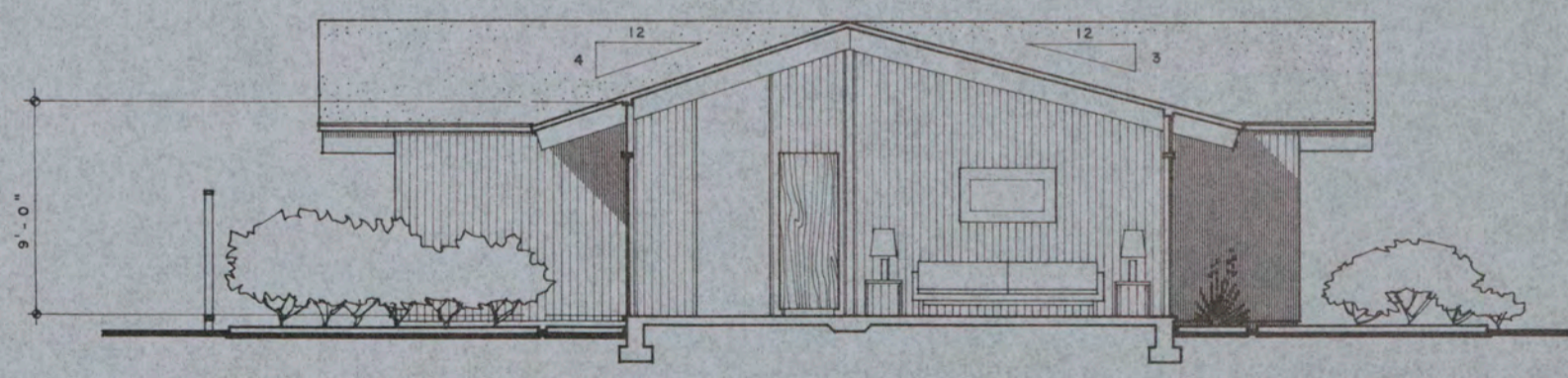
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV FGO 4** **1**  
IDENTIFICATION SYMBOL **OF 3**



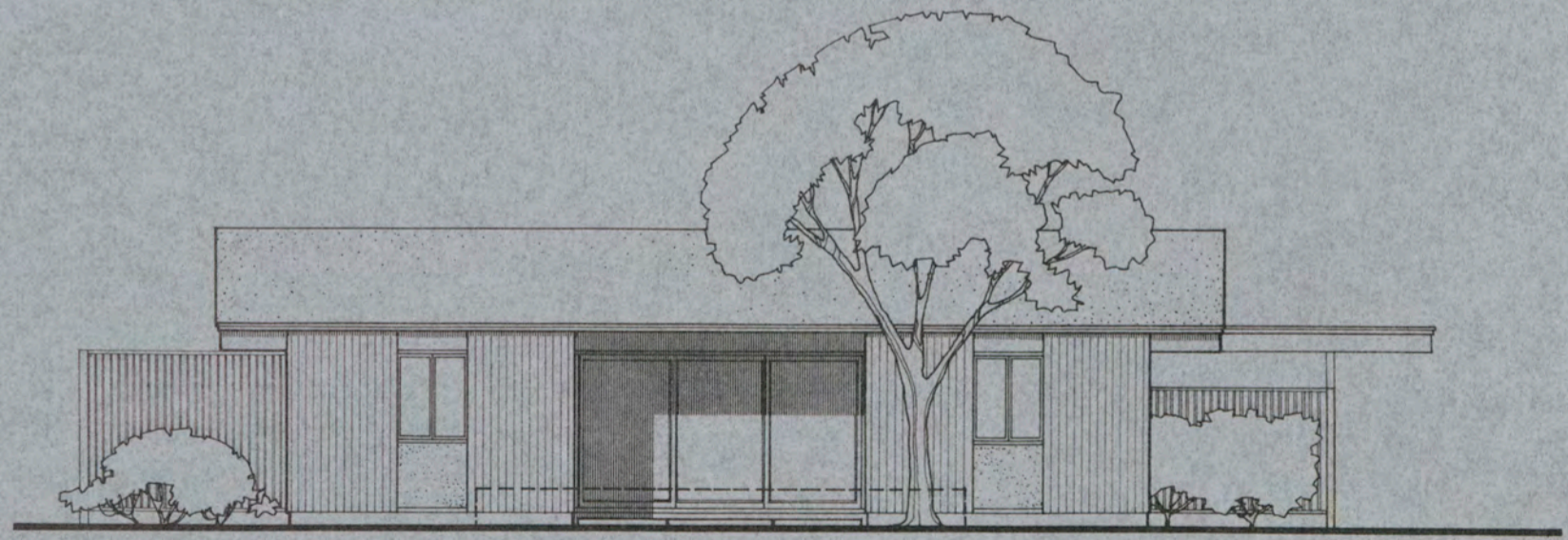
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

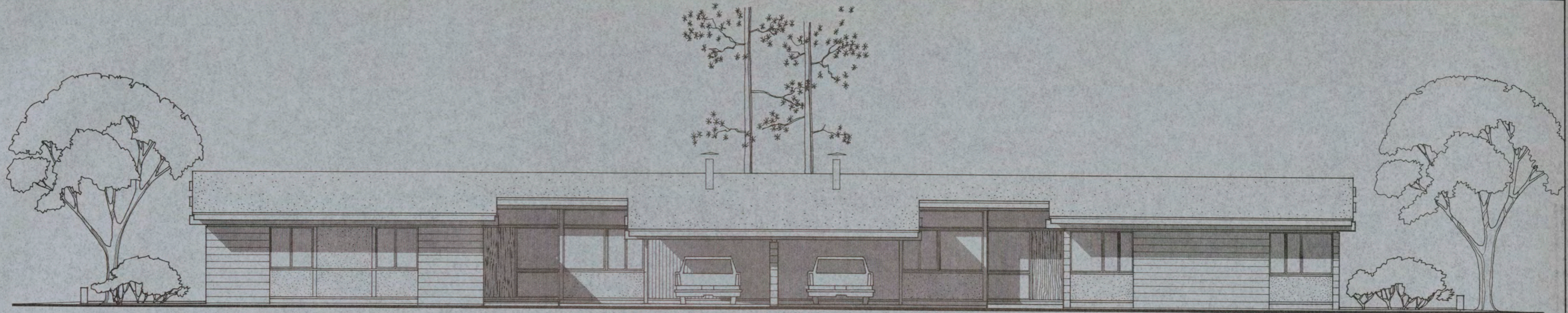
APPROVAL  
*Signed J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

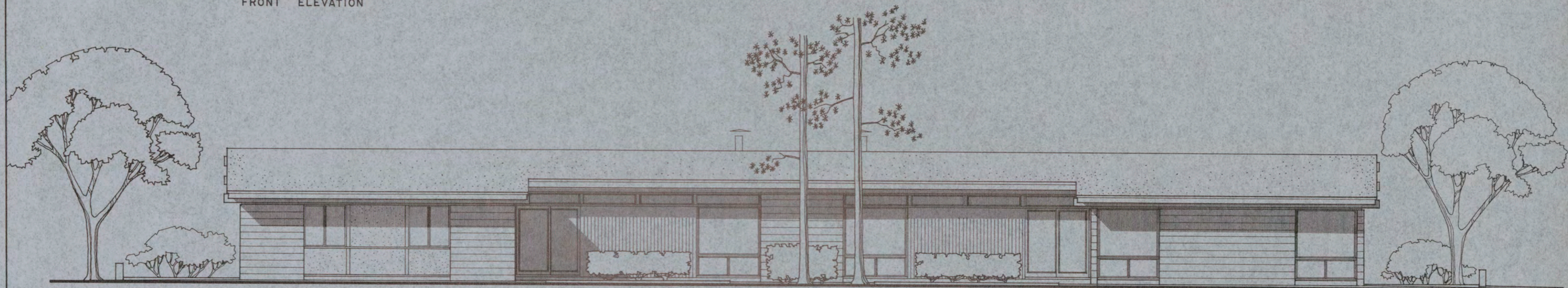
DESCRIPTION  
 FIELD GRADE OFFICERS  
 4 BR. 1 STORY DUPLEX

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV FGO 4			2 OF 3
IDENTIFICATION SYMBOL			

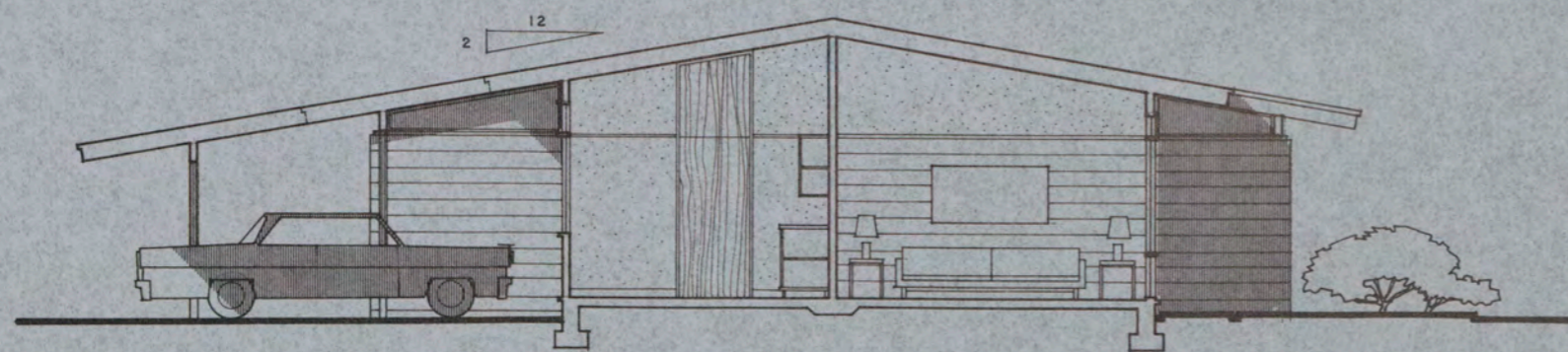




FRONT ELEVATION

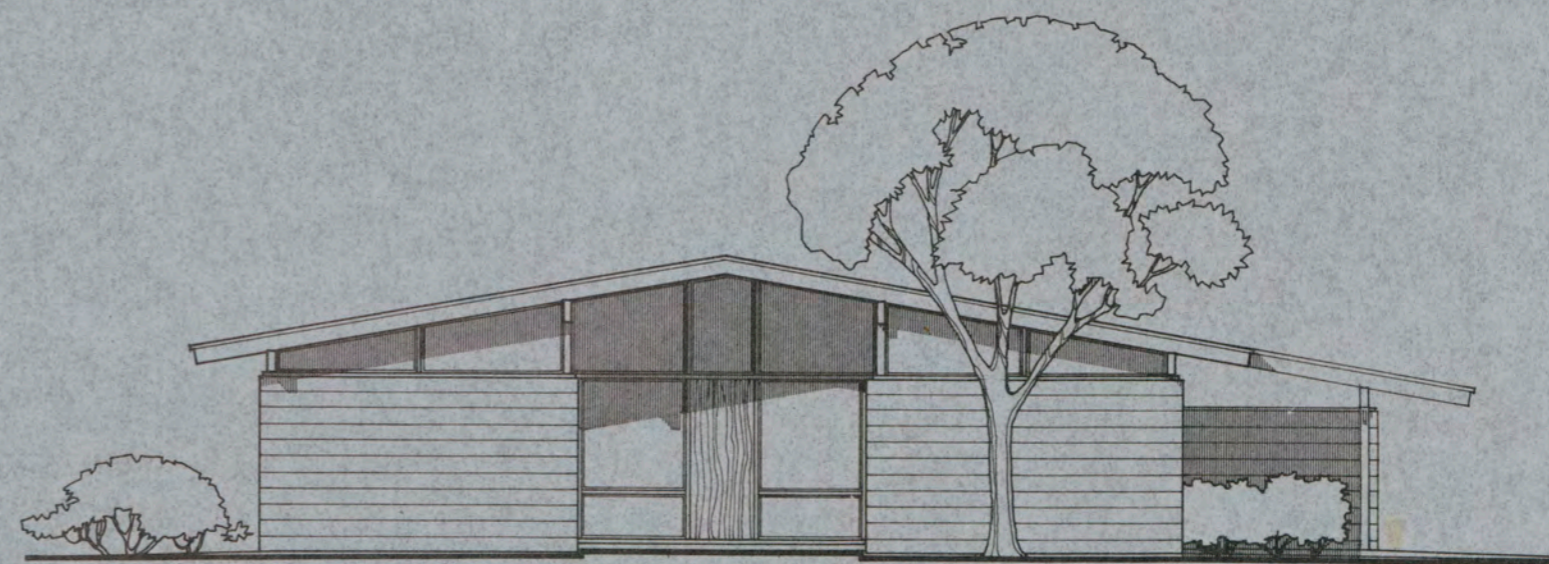


REAR ELEVATION



SECTION

0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**

PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL

*Sigmund J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

ARCHITECTS

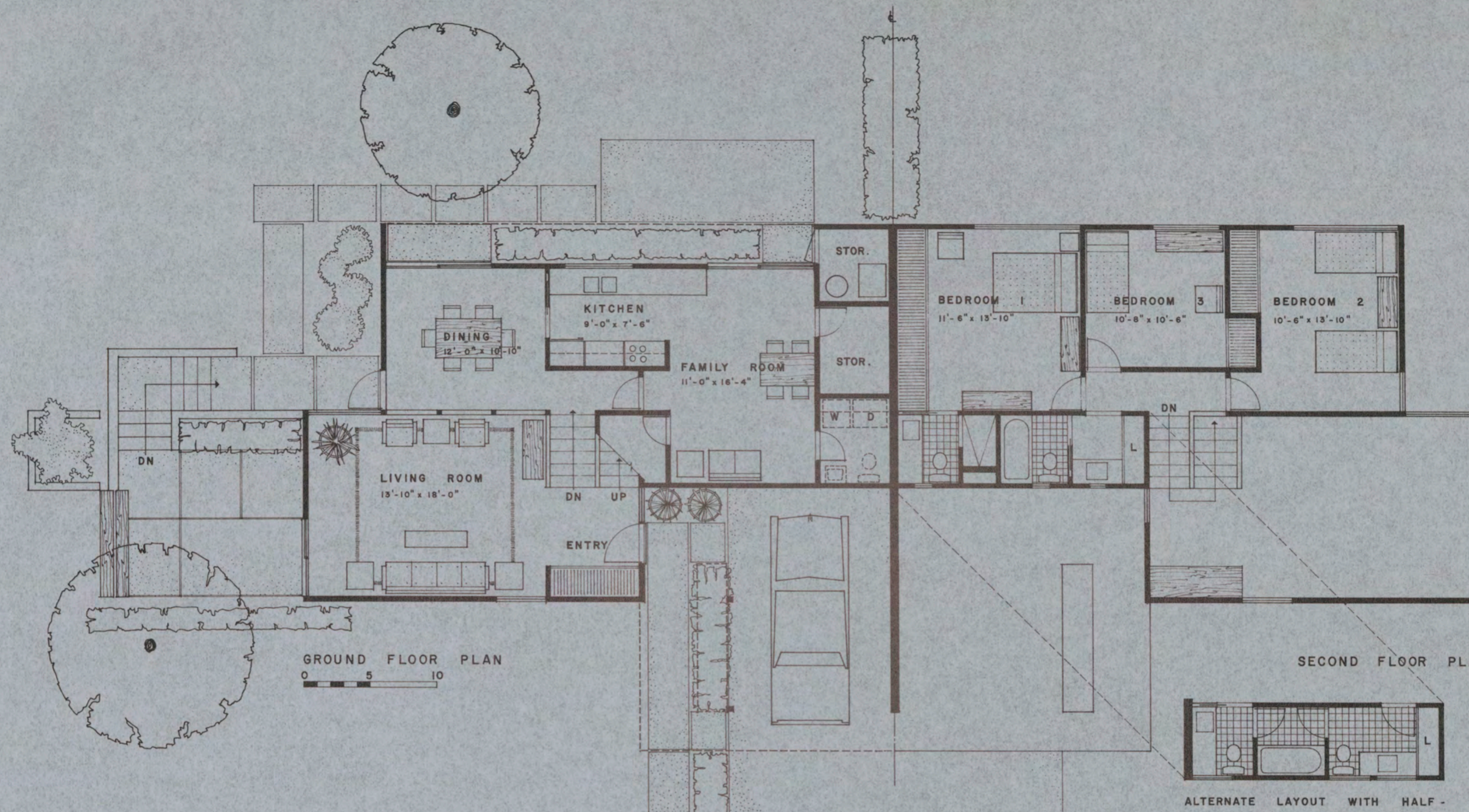
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION

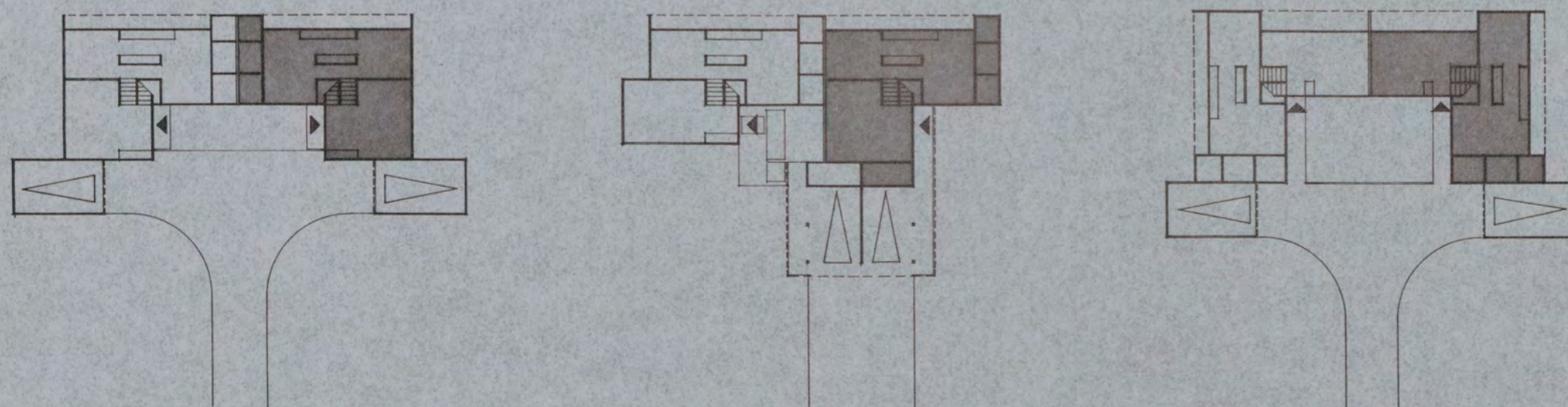
FIELD GRADE OFFICERS  
4 BR. 1 STORY DUPLEX

DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.

IV FGO 4 3 OF 3  
IDENTIFICATION SYMBOL



ALTERNATE LAYOUT WITH HALF-BATH ON GROUND FLOOR



ALTERNATE ARRANGEMENTS

GROSS AREA 1608 SQ. FT.  
NET AREA 1393 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

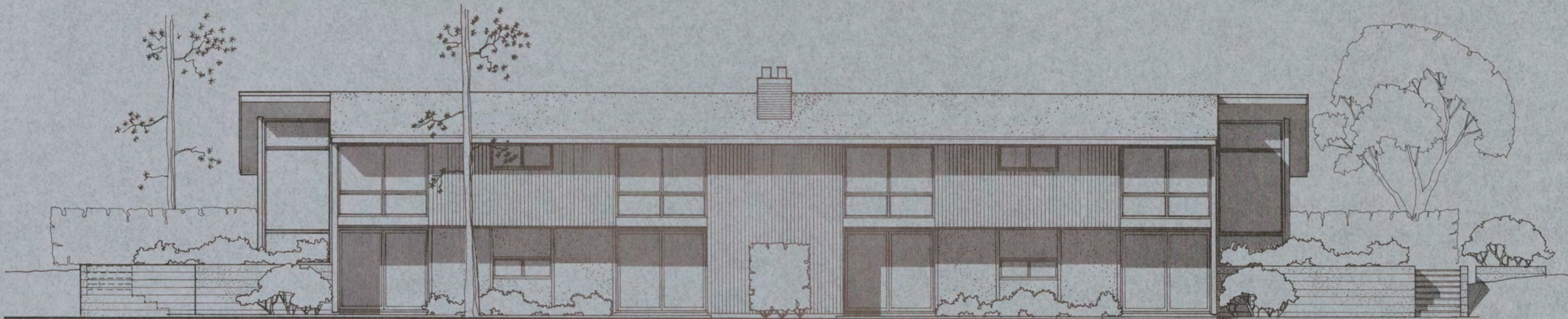
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY HILLSIDE  
ENTER TOP FLOOR**

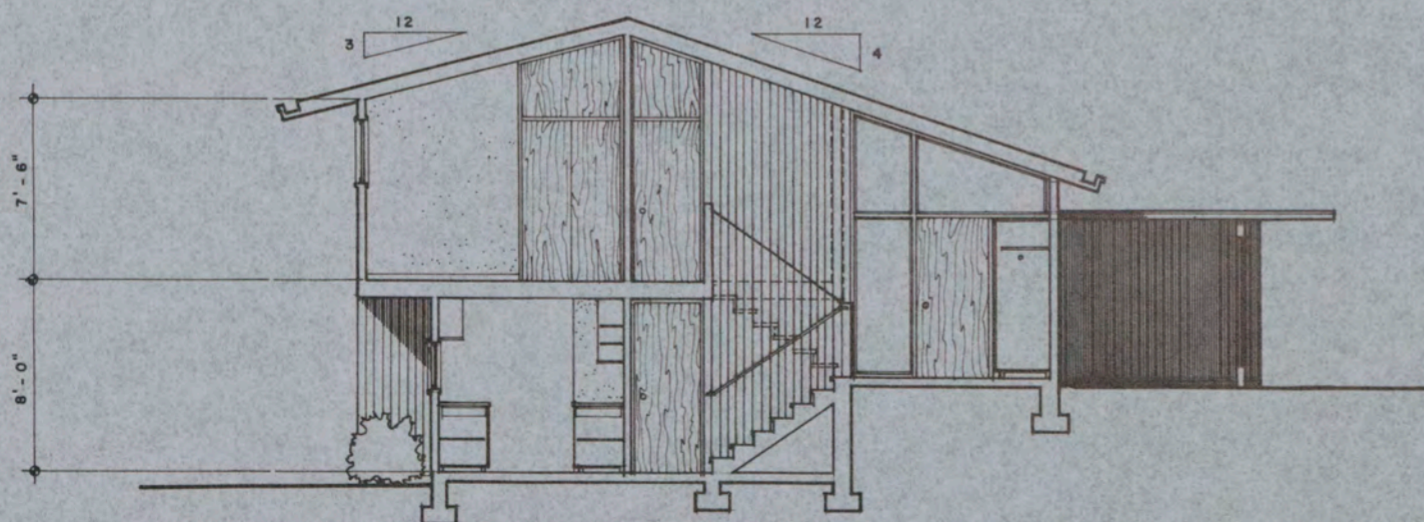
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV FGO 5**  
IDENTIFICATION SYMBOL **1 OF 2**



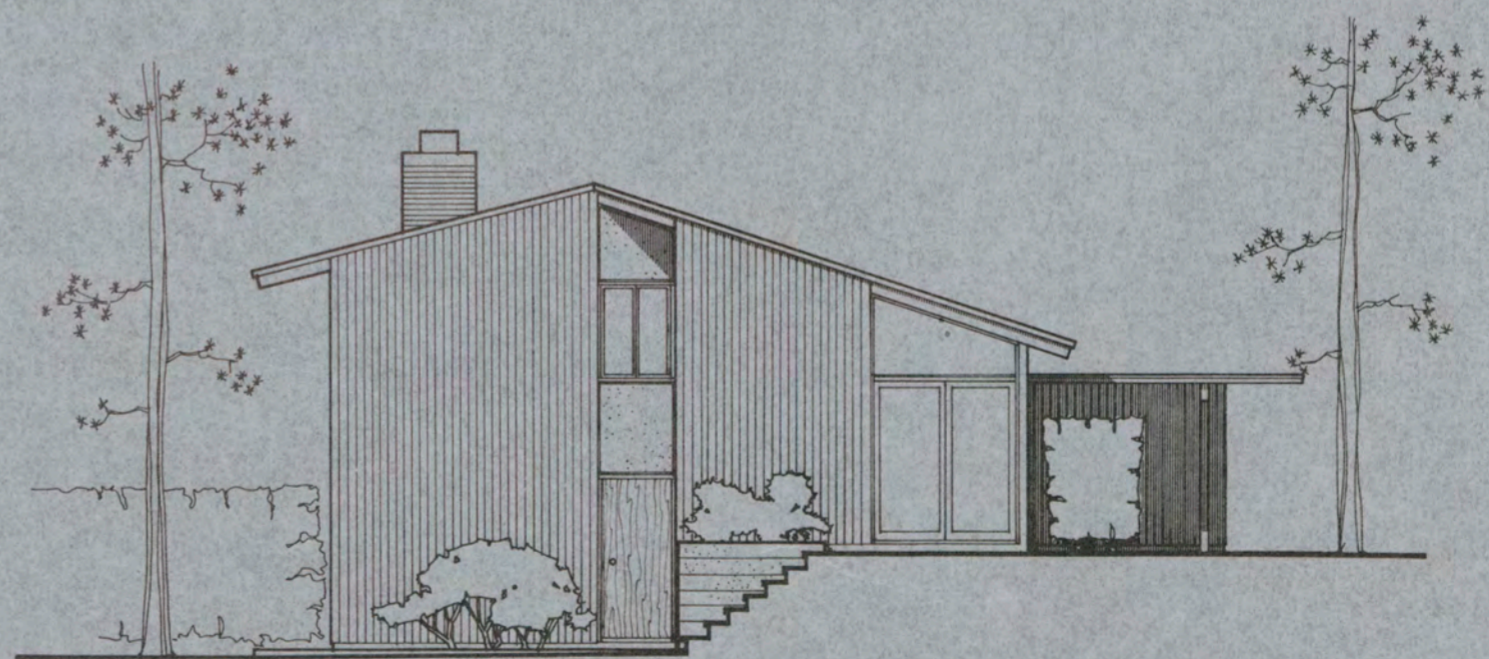
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

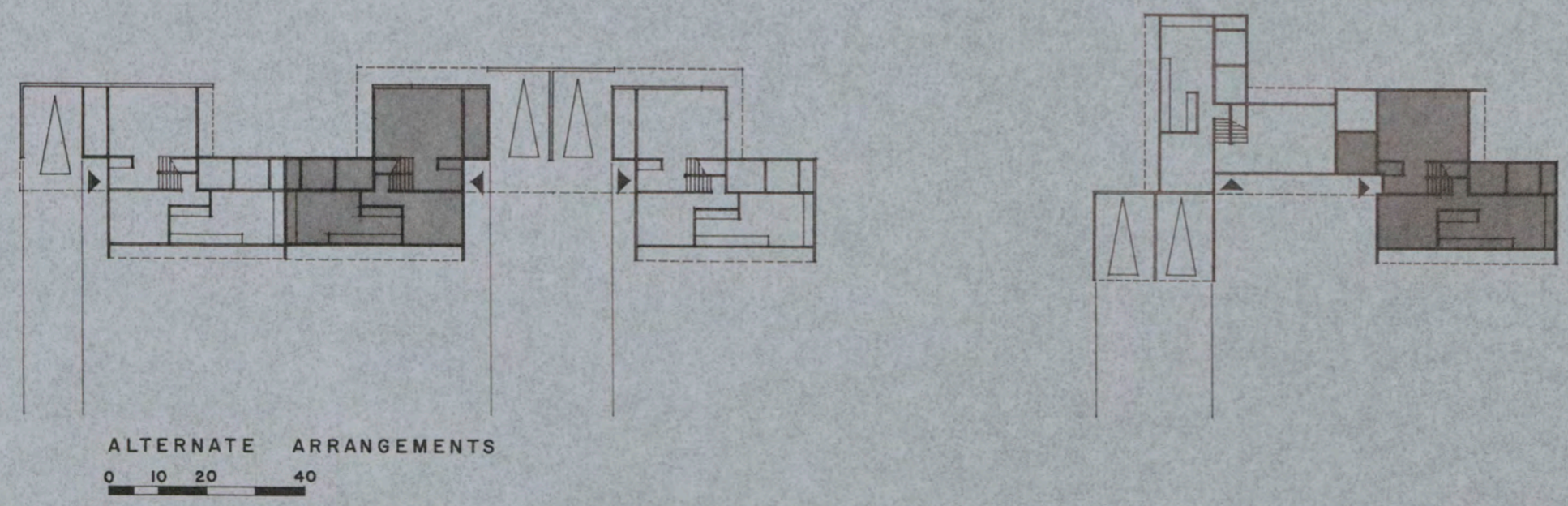
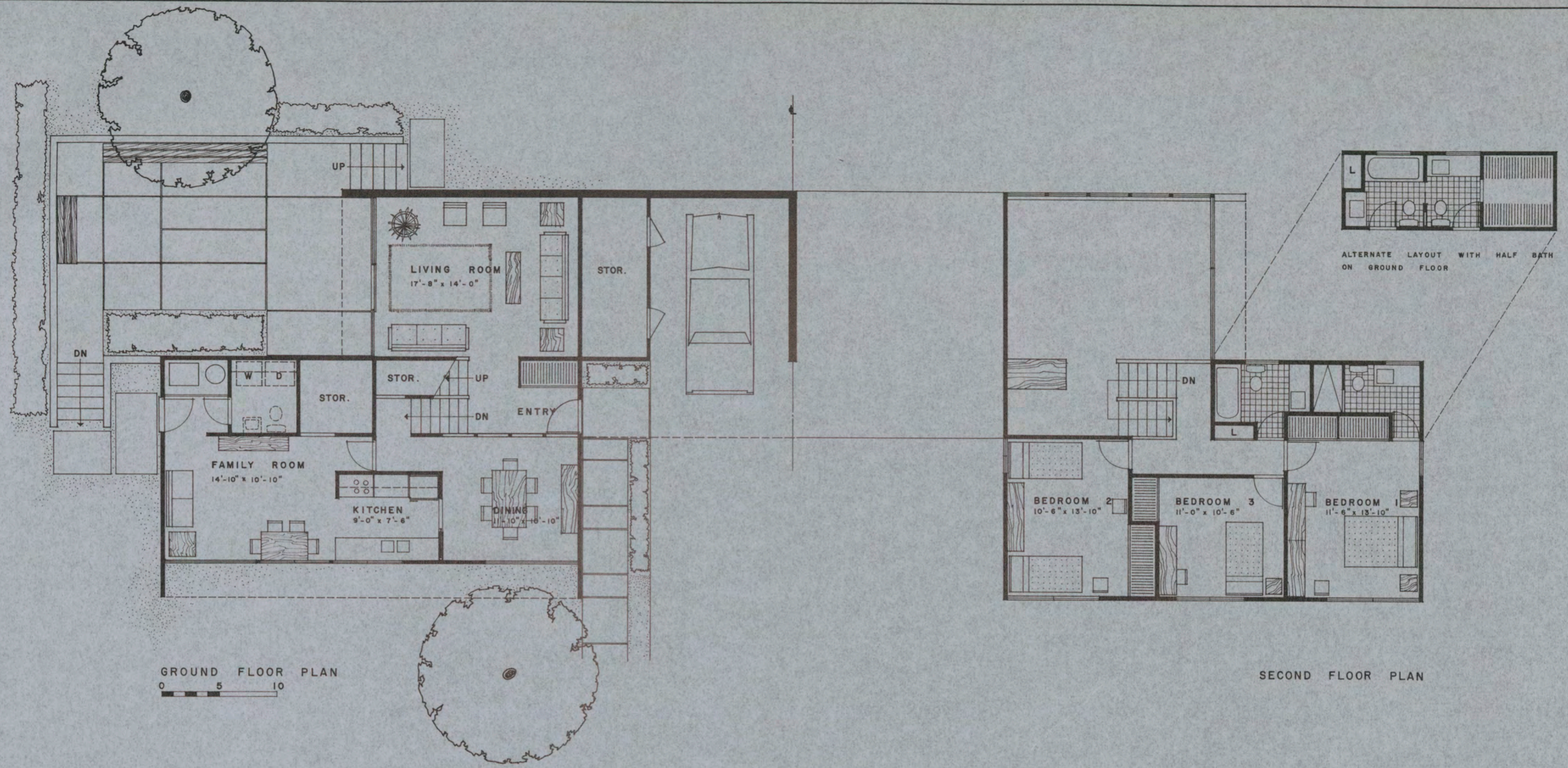
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS**  
**3 BR. 2 STORY—HILLSIDE**  
**ENTER TOP FLOOR**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	5	2 OF 2
IDENTIFICATION SYMBOL			



GROSS AREA 1676 SQ. FT.  
NET AREA 1399 SQ. FT.

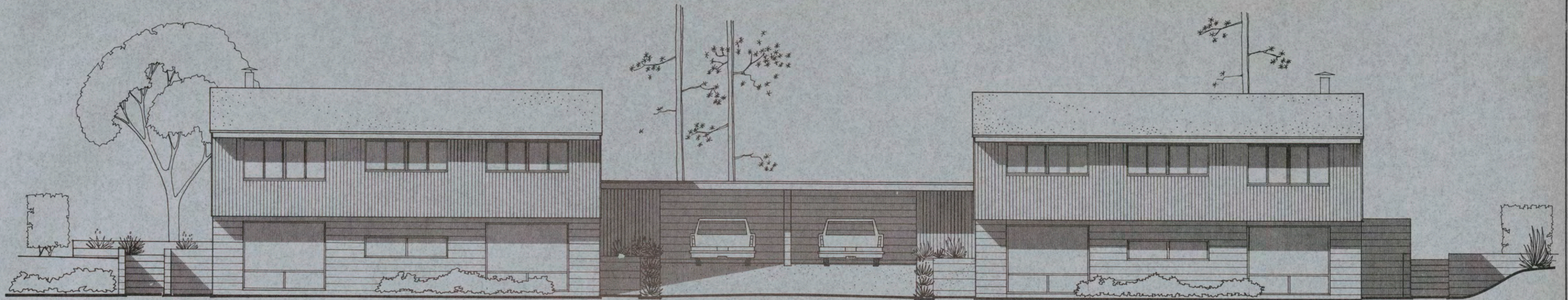
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Harber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

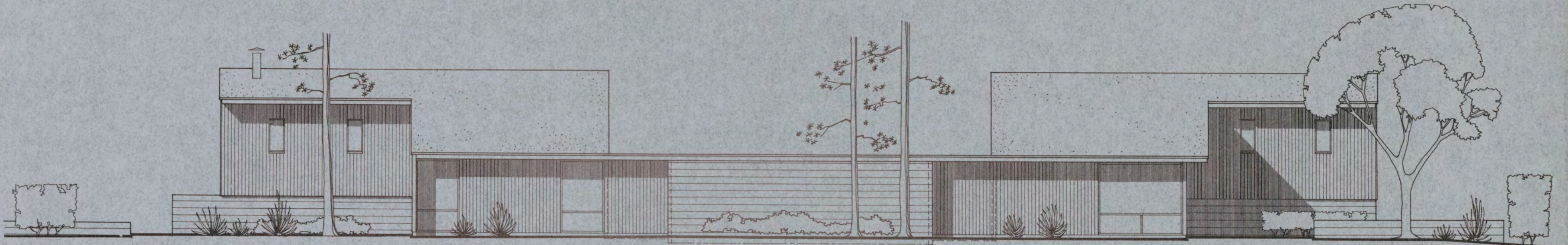
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**FIELD GRADE OFFICERS  
3 BR. 2 STORY—HILLSIDE  
ENTER BOTTOM FLOOR**

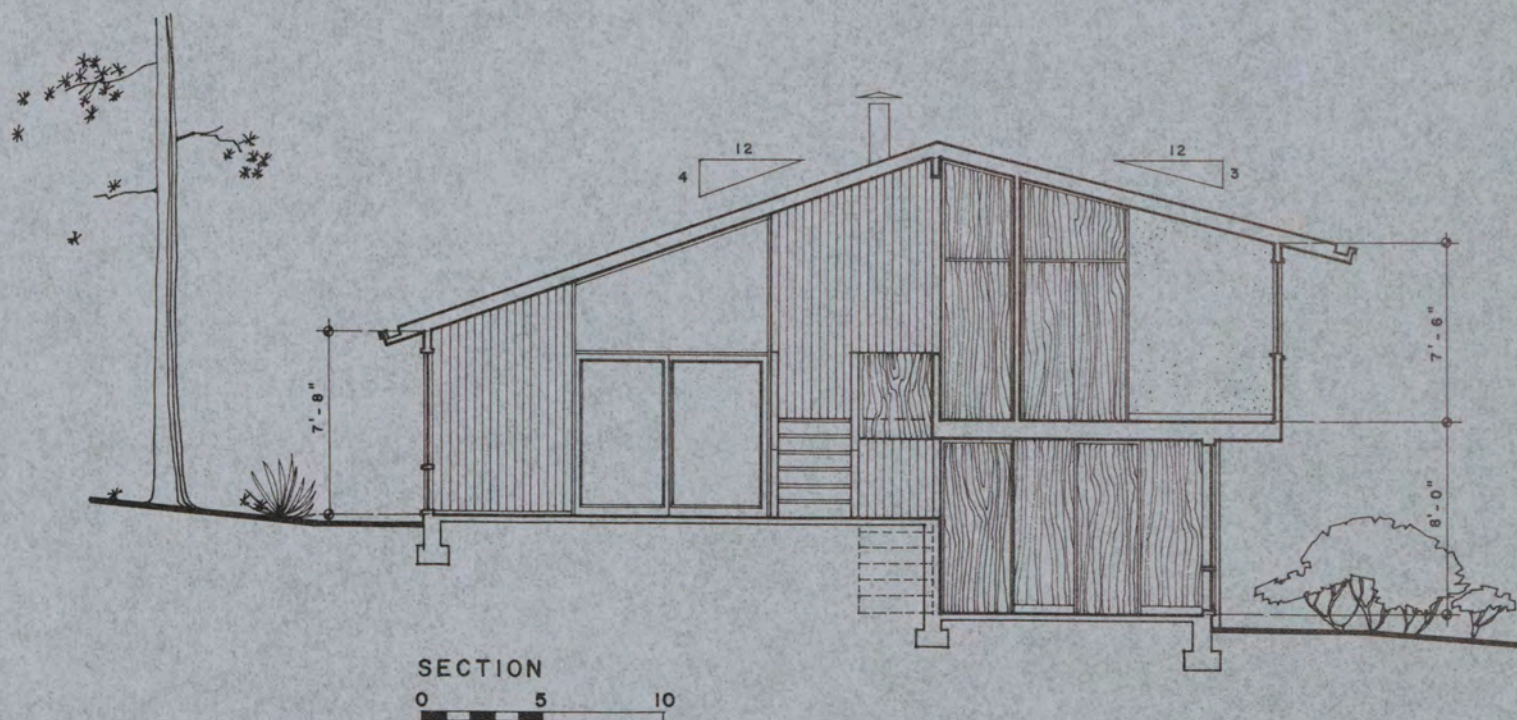
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV FGO 6** 1  
IDENTIFICATION SYMBOL OF 3



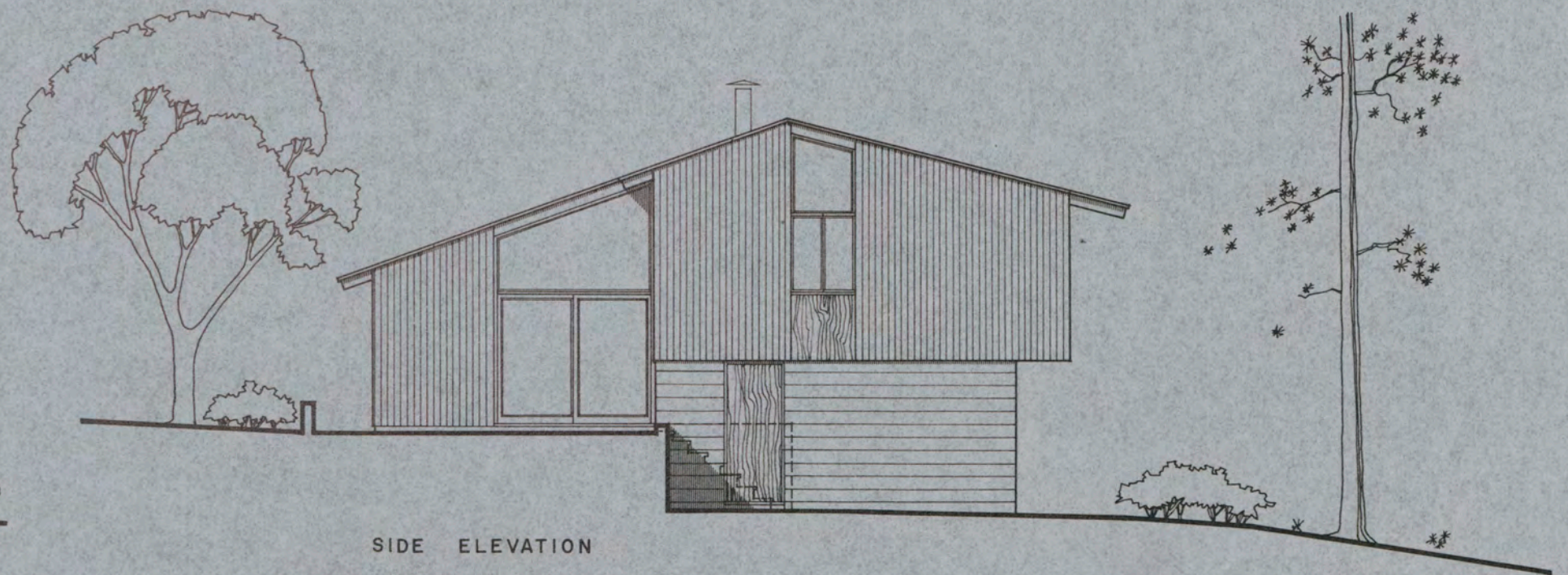
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

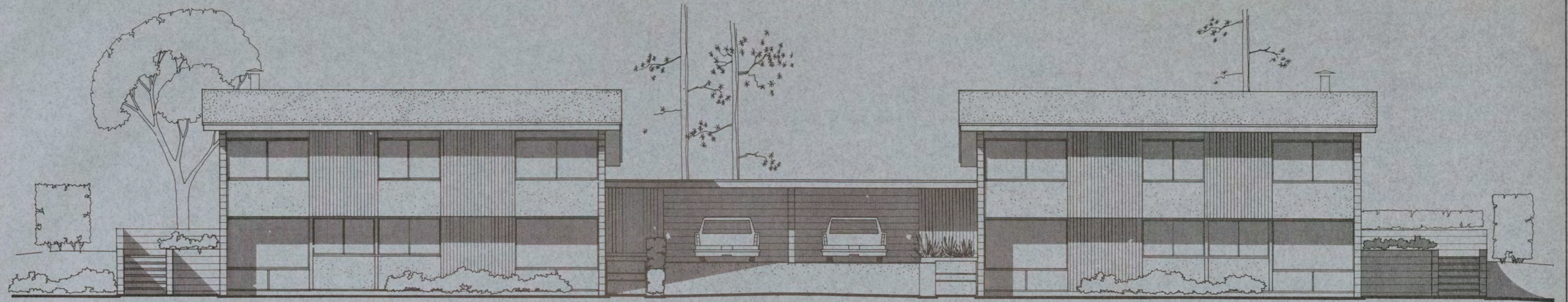
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

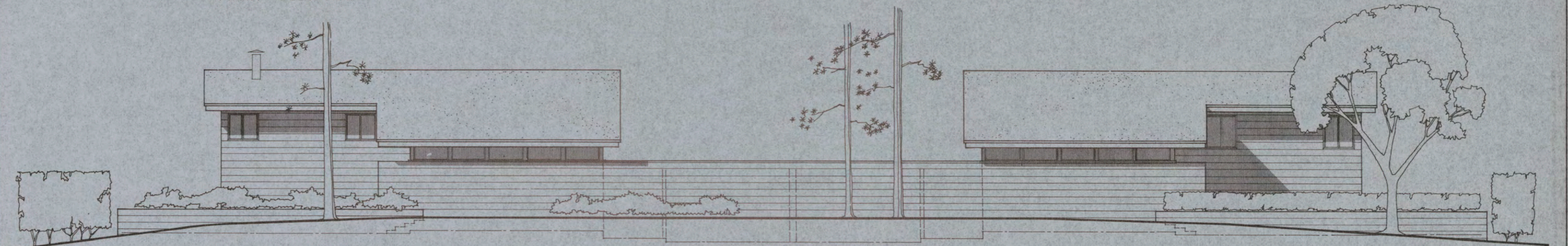
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 3 BR. 2 STORY—HILLSIDE  
 ENTER BOTTOM FLOOR

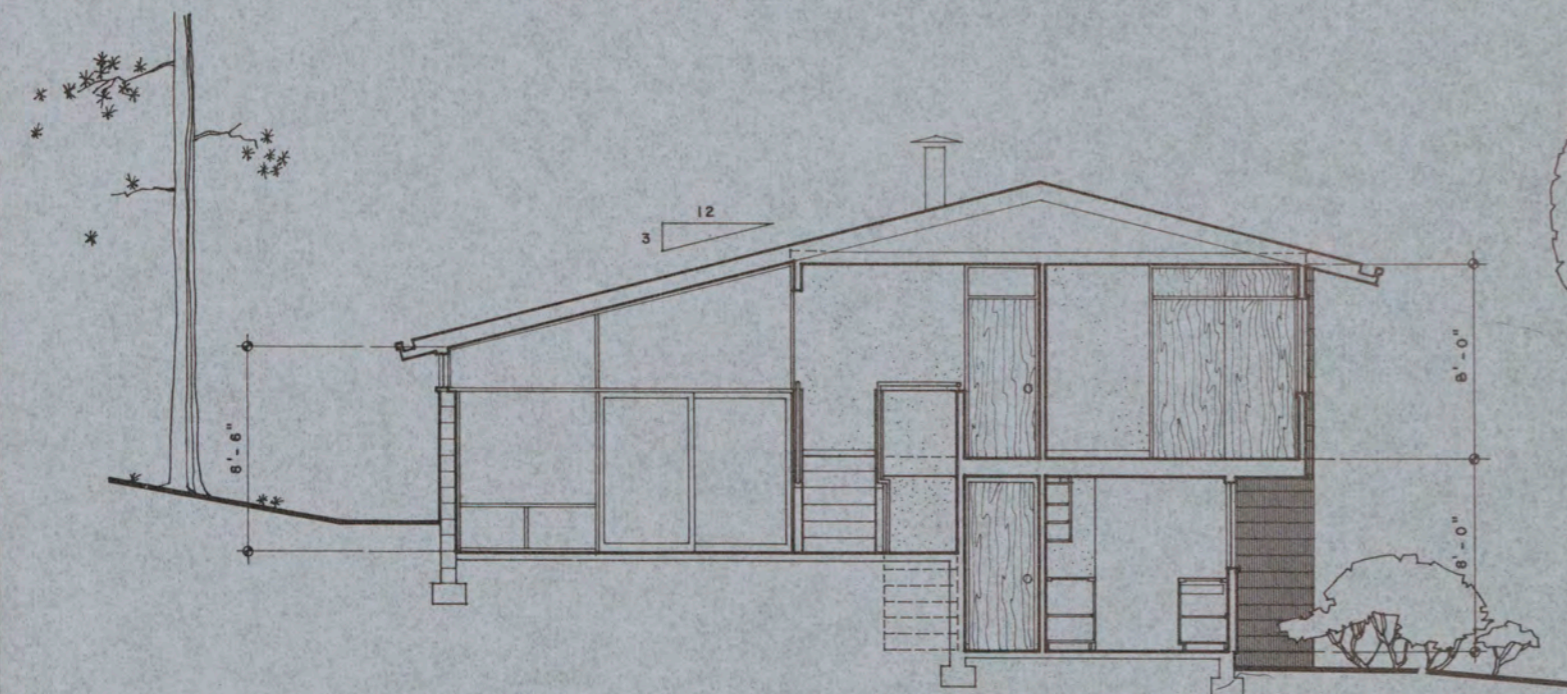
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	6	2 OF 3
IDENTIFICATION SYMBOL			3



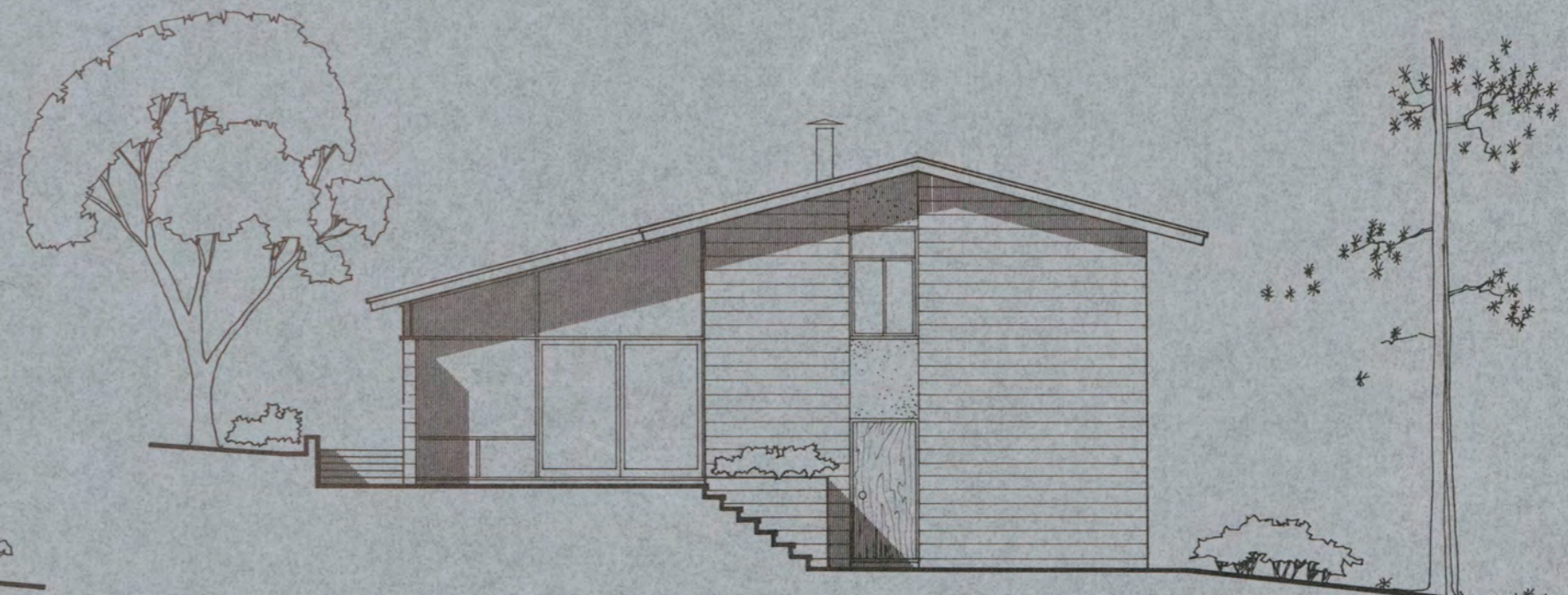
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

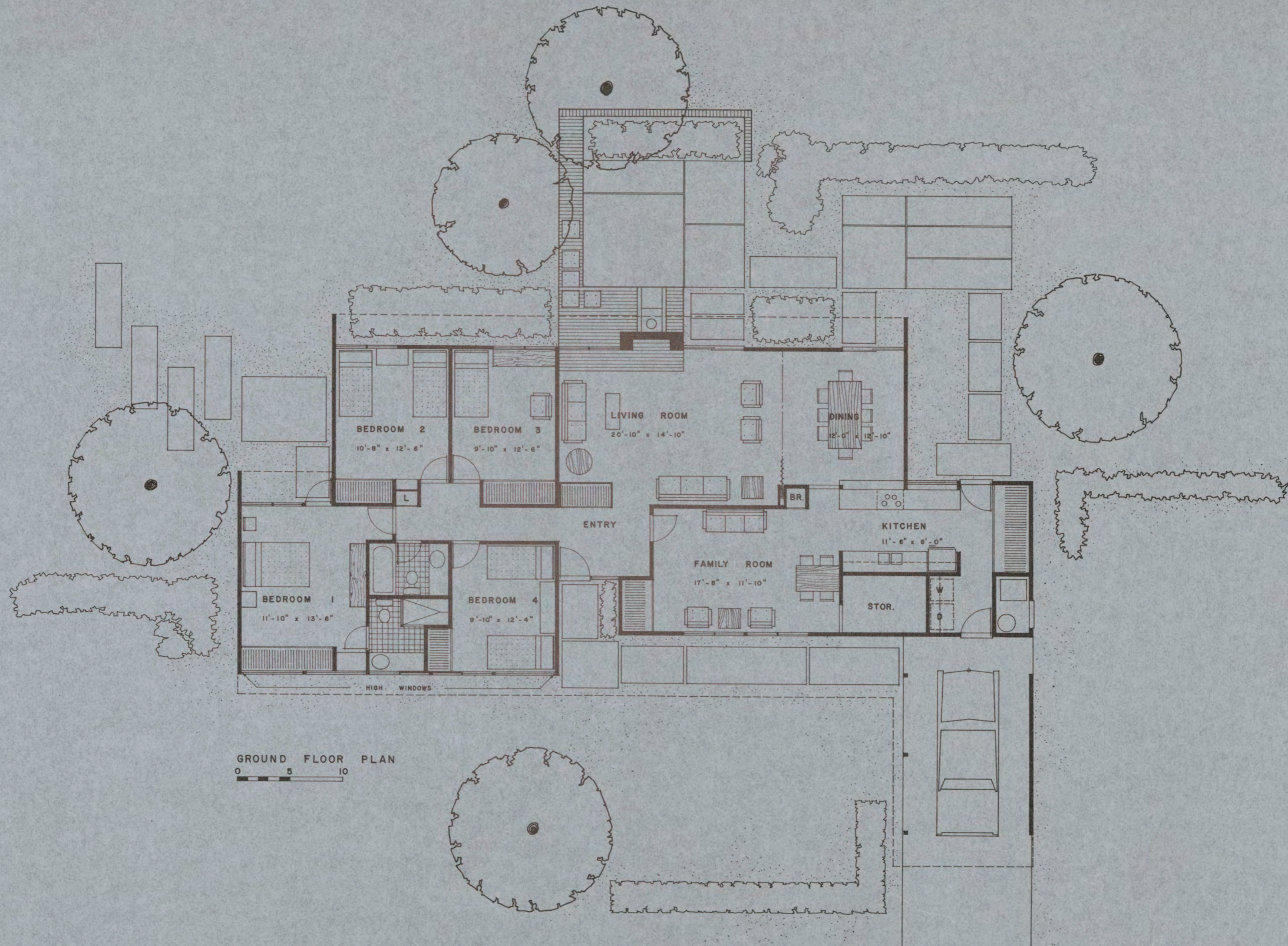
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
 FIELD GRADE OFFICERS  
 3 BR. 2 STORY—HILLSIDE  
 ENTER BOTTOM FLOOR

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	FGO	6	3 OF 3
IDENTIFICATION SYMBOL			



GROSS AREA 1903 SQ. FT.  
 NET AREA 1669 SQ. FT.

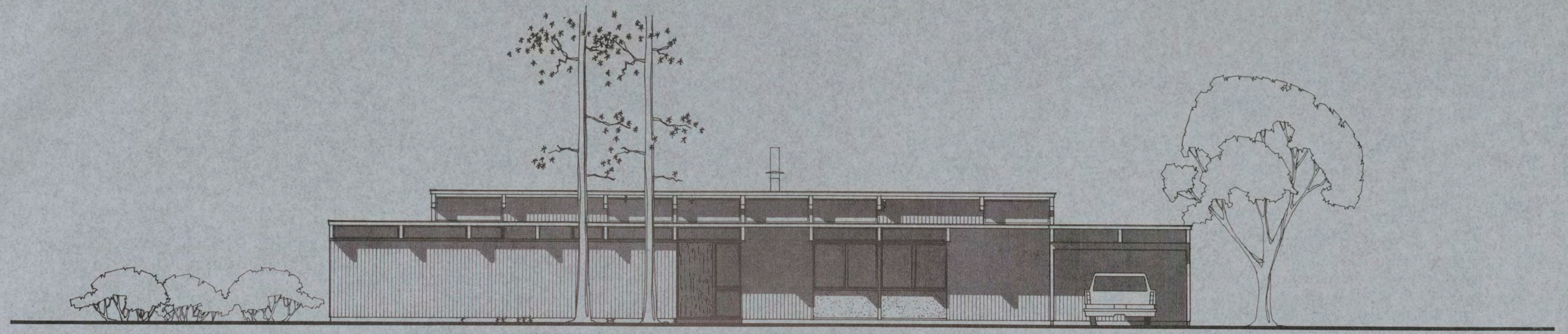
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Galen*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

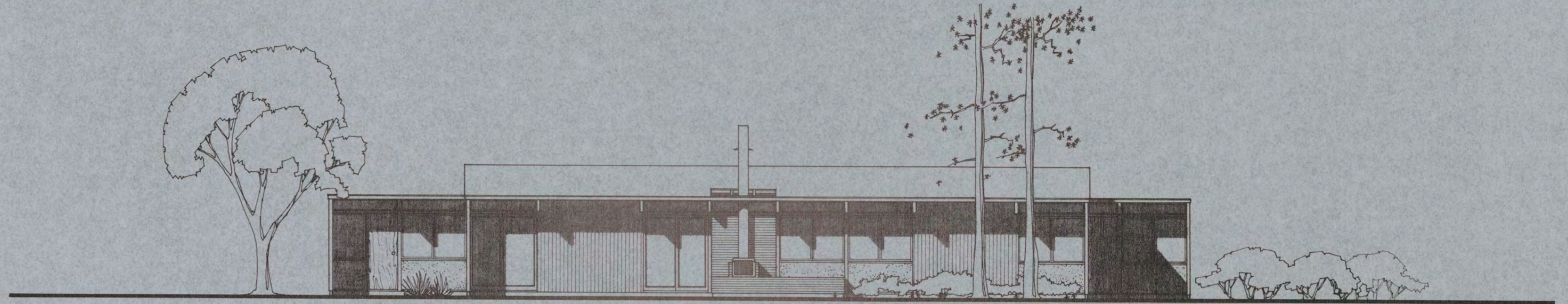
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 1 STORY SINGLE**

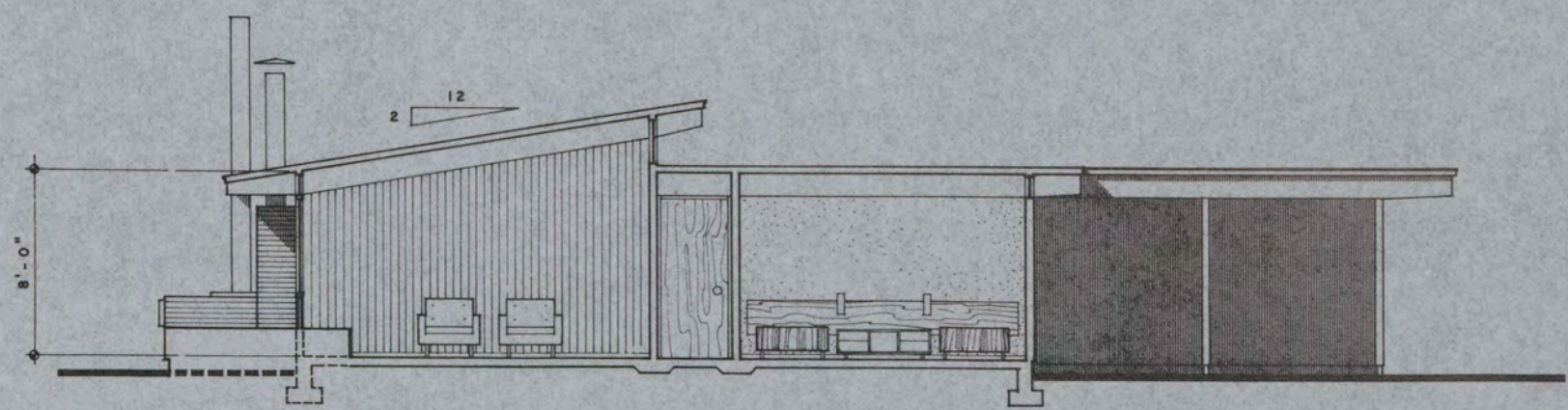
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
<b>IV</b>	<b>SO</b>	<b>1</b>	<b>1</b> OF <b>3</b>
IDENTIFICATION SYMBOL			



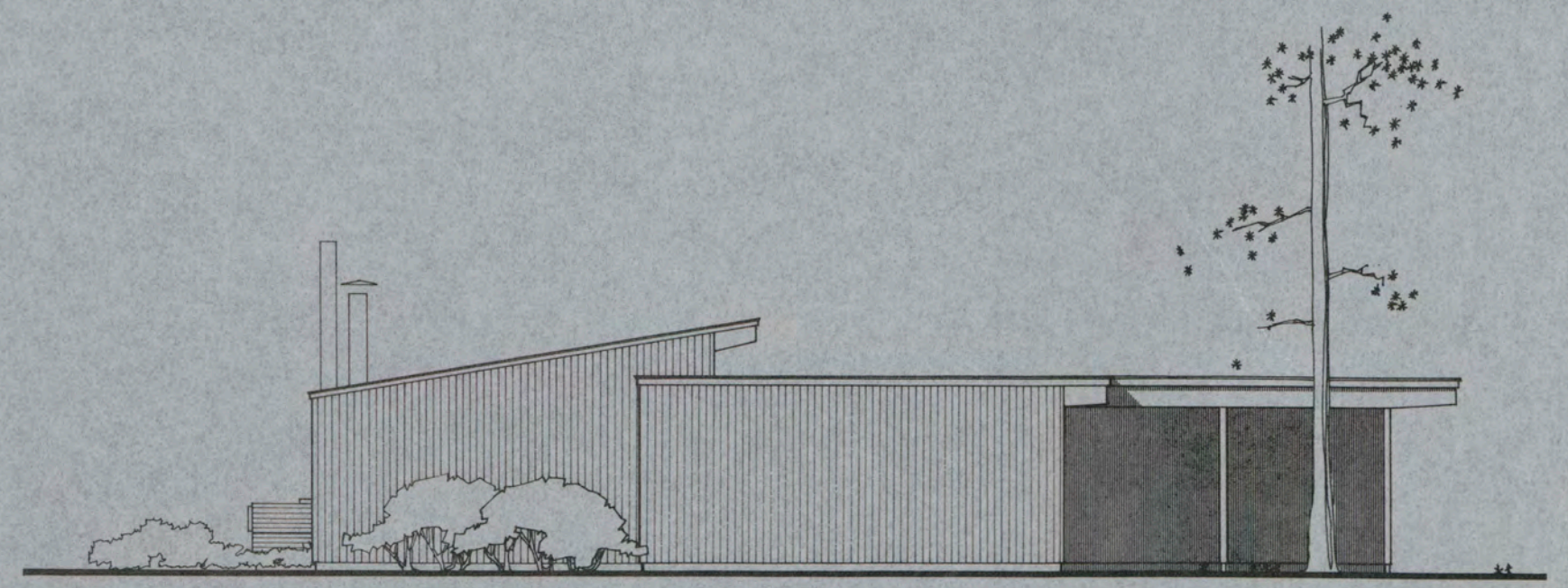
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

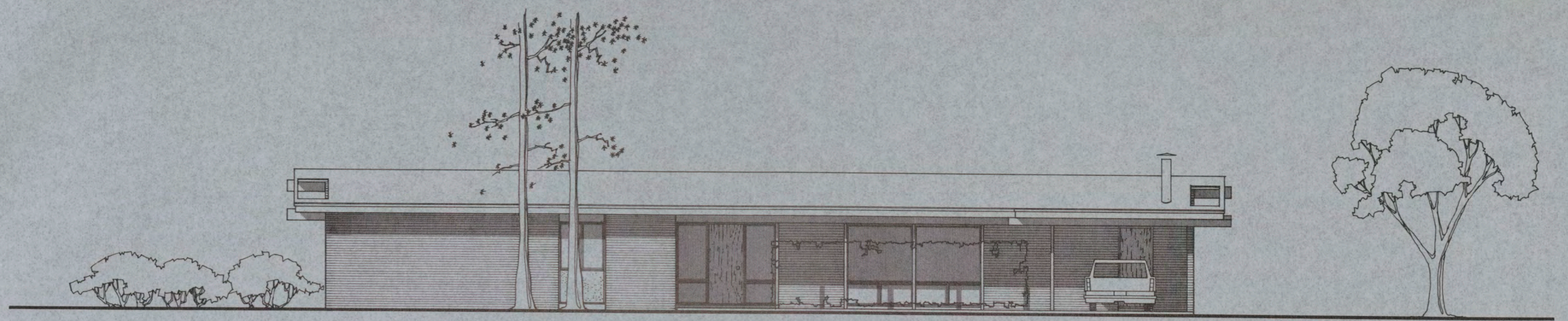
APPROVAL  
*Sigmond J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

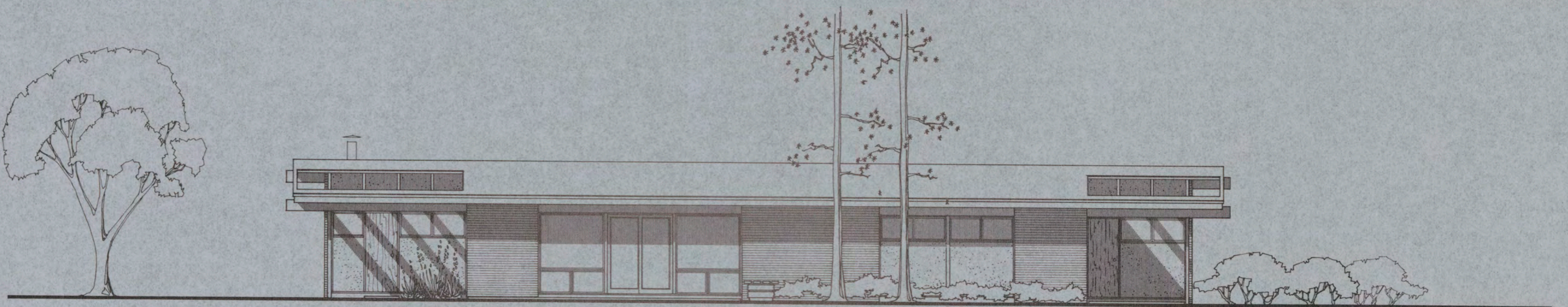
DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 1 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	SO	1	2 OF 3
IDENTIFICATION SYMBOL			

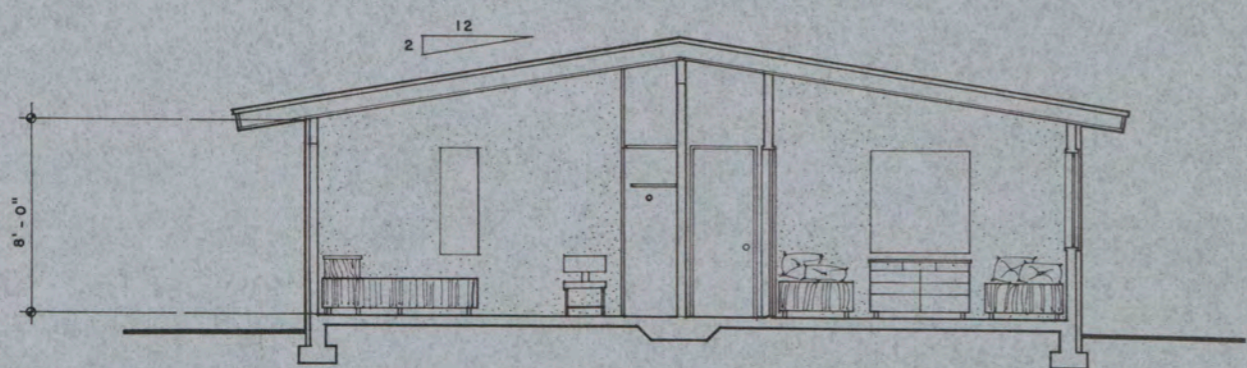




FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

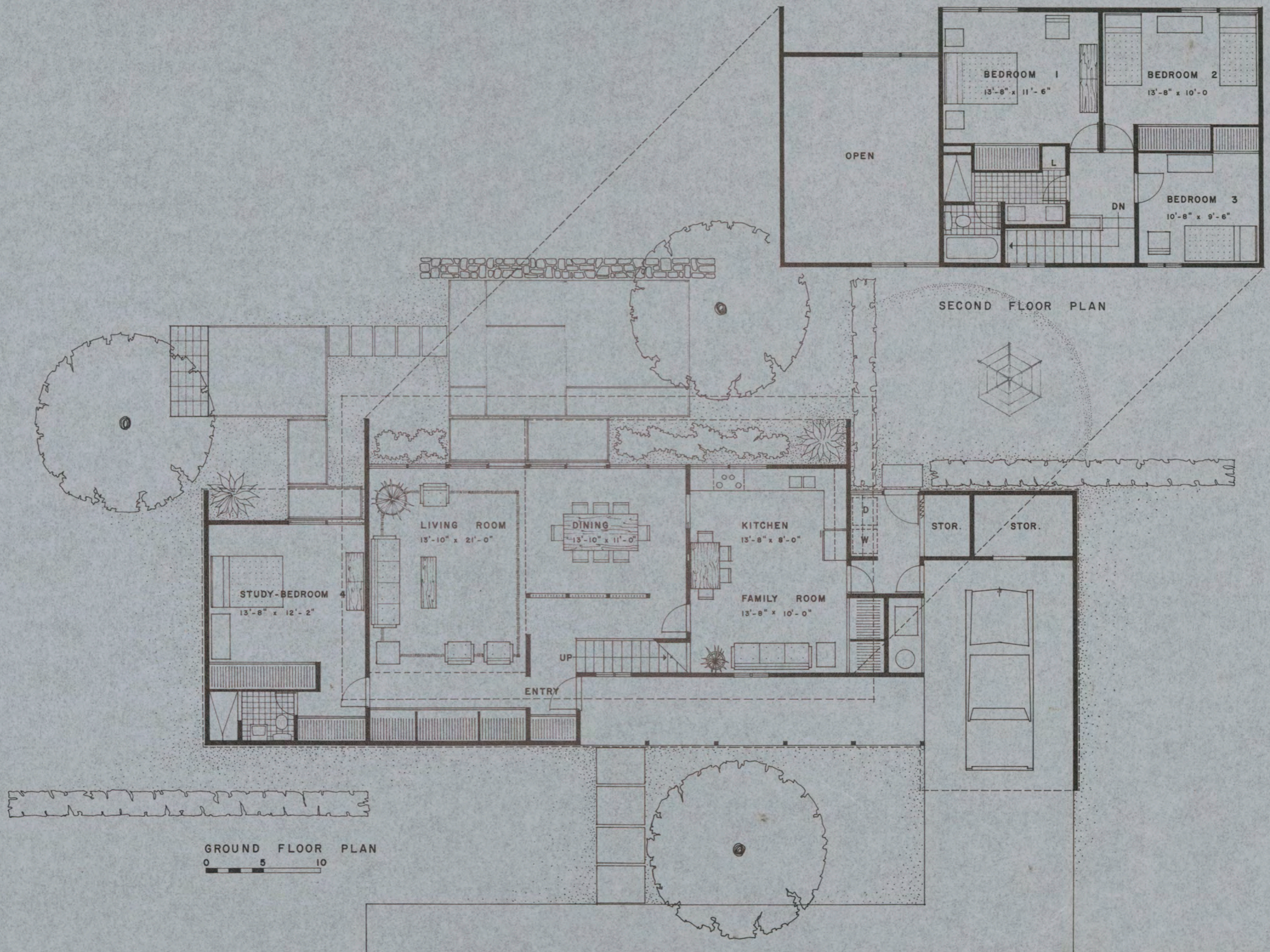
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Halperin*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 1 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	SO	1	3 OF 3
IDENTIFICATION SYMBOL			



GROSS AREA 2004 SQ. FT.  
 NET AREA 1660 SQ. FT.

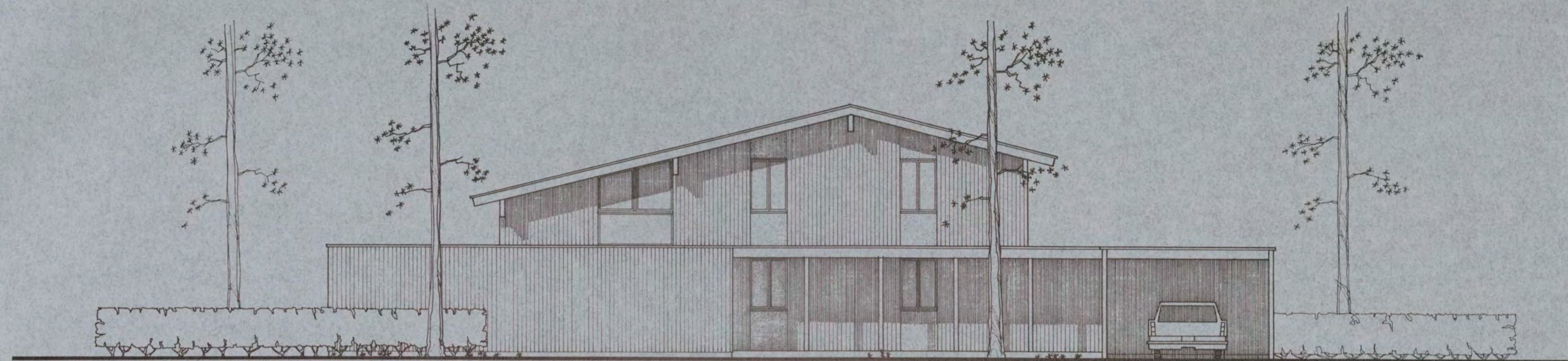
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sydney J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

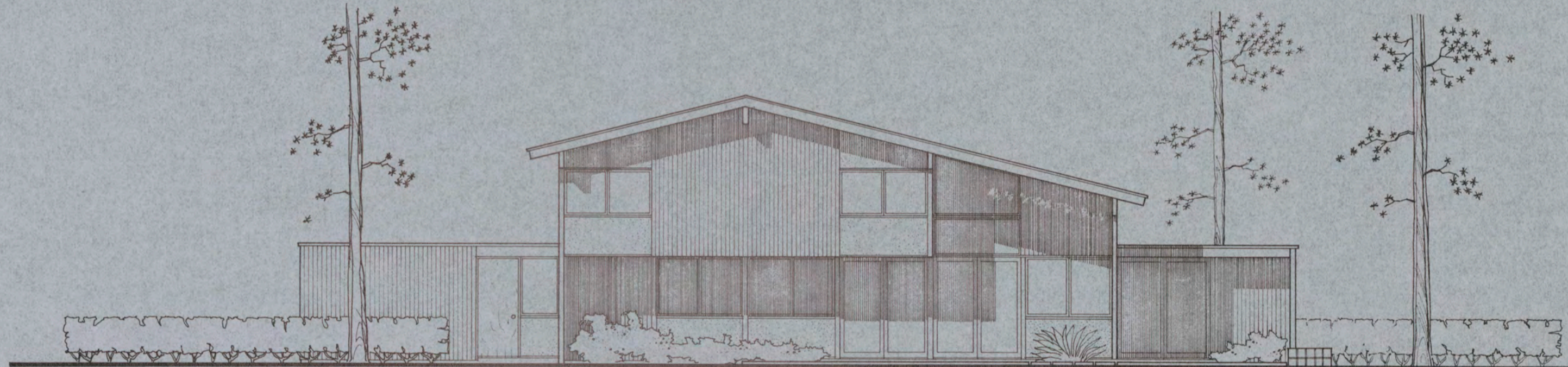
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 2 STORY SINGLE**

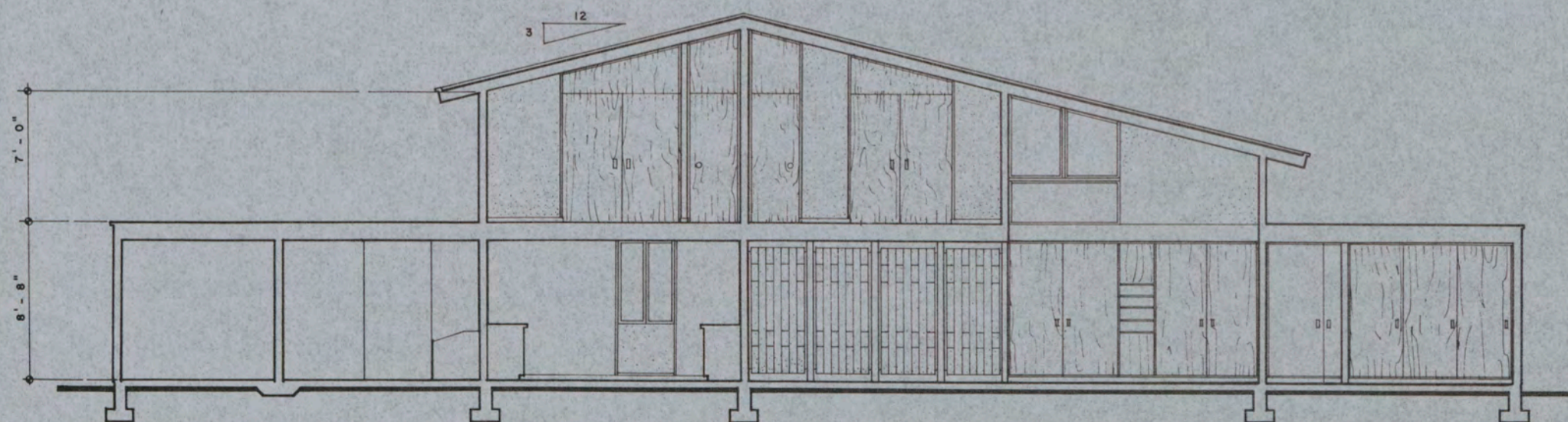
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	S0	2	1 OF 3
IDENTIFICATION SYMBOL			



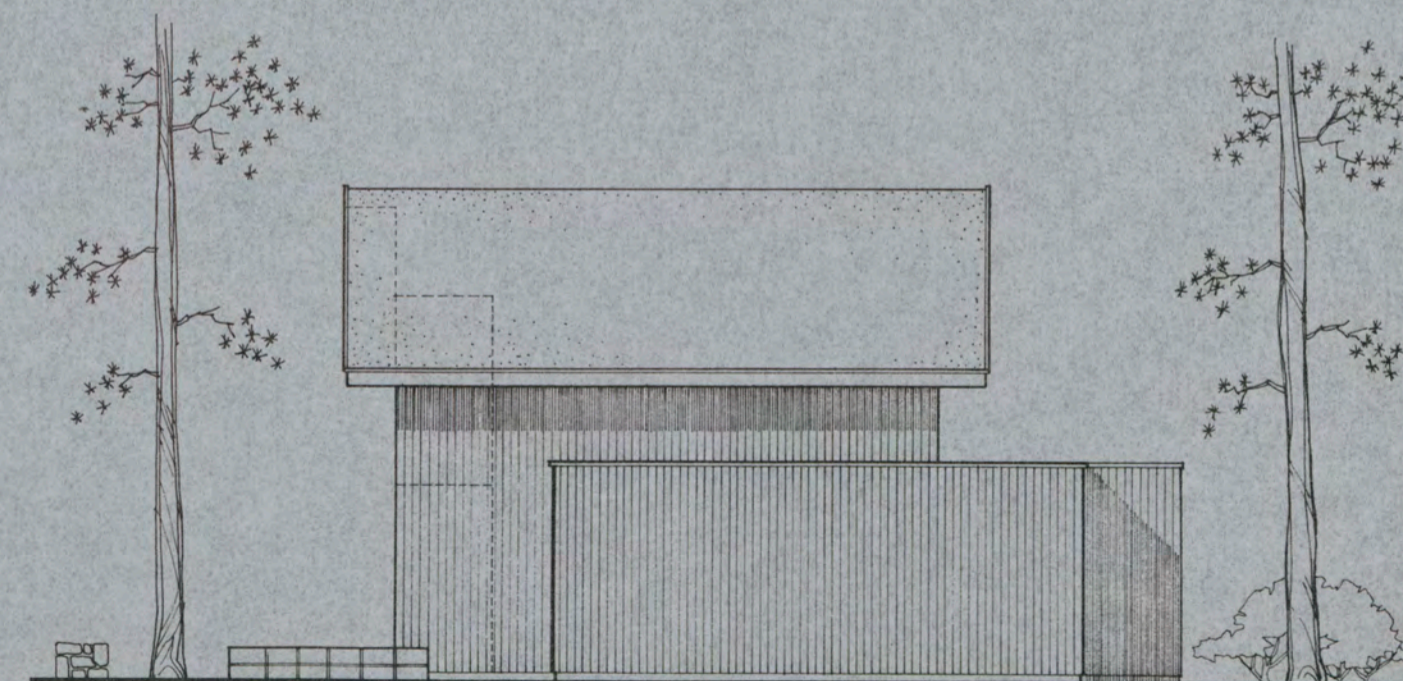
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

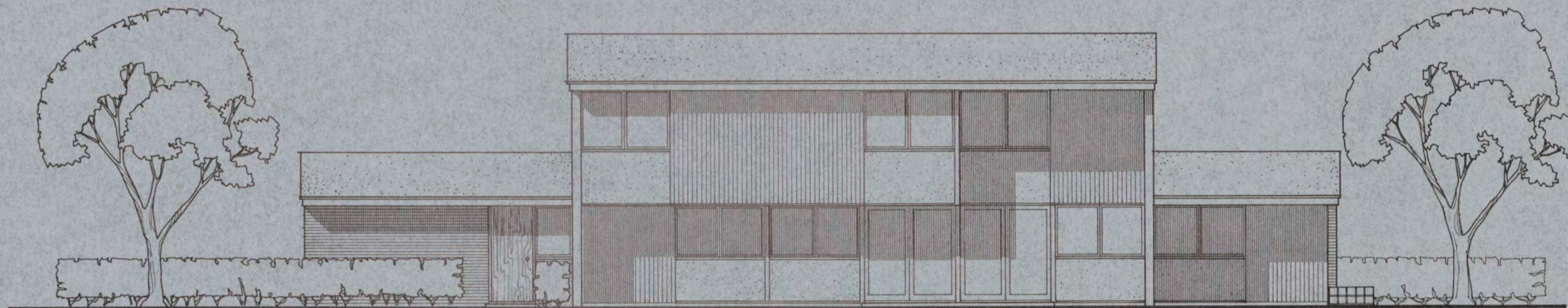
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 2 STORY SINGLE**

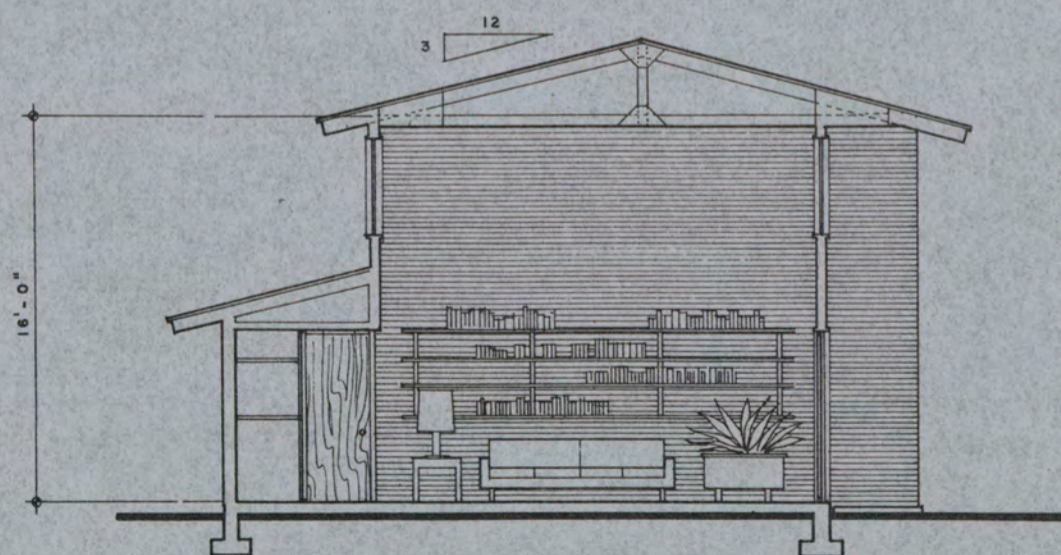
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	SO	2	2 OF 3
IDENTIFICATION SYMBOL			



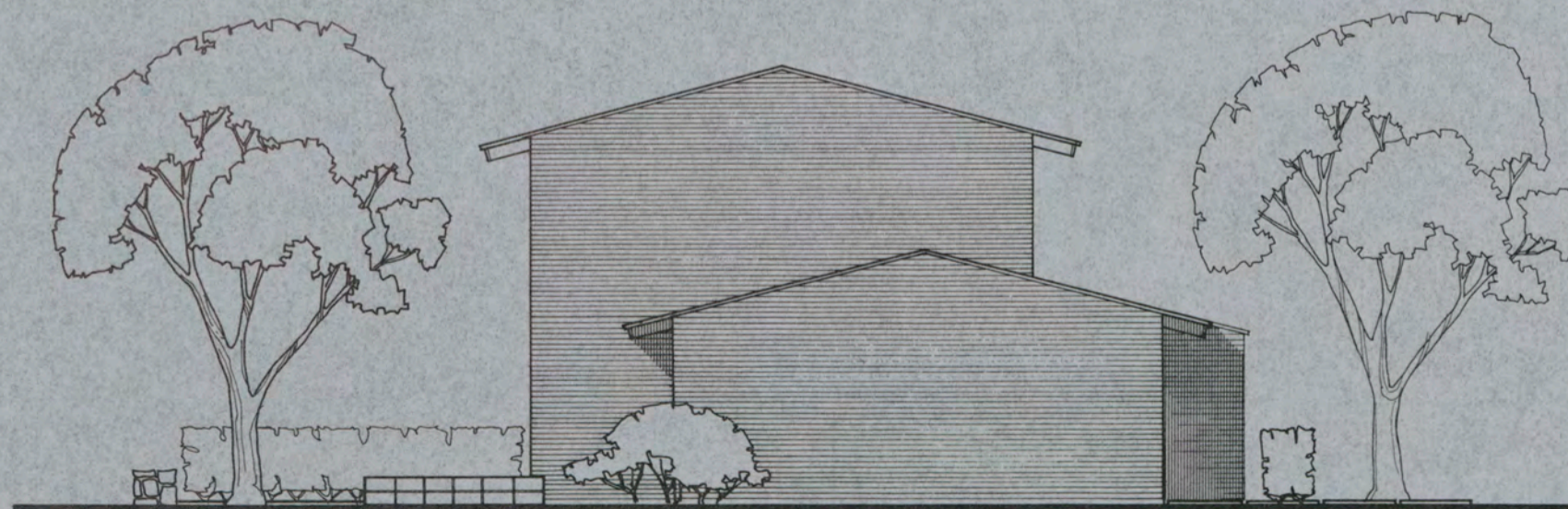
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

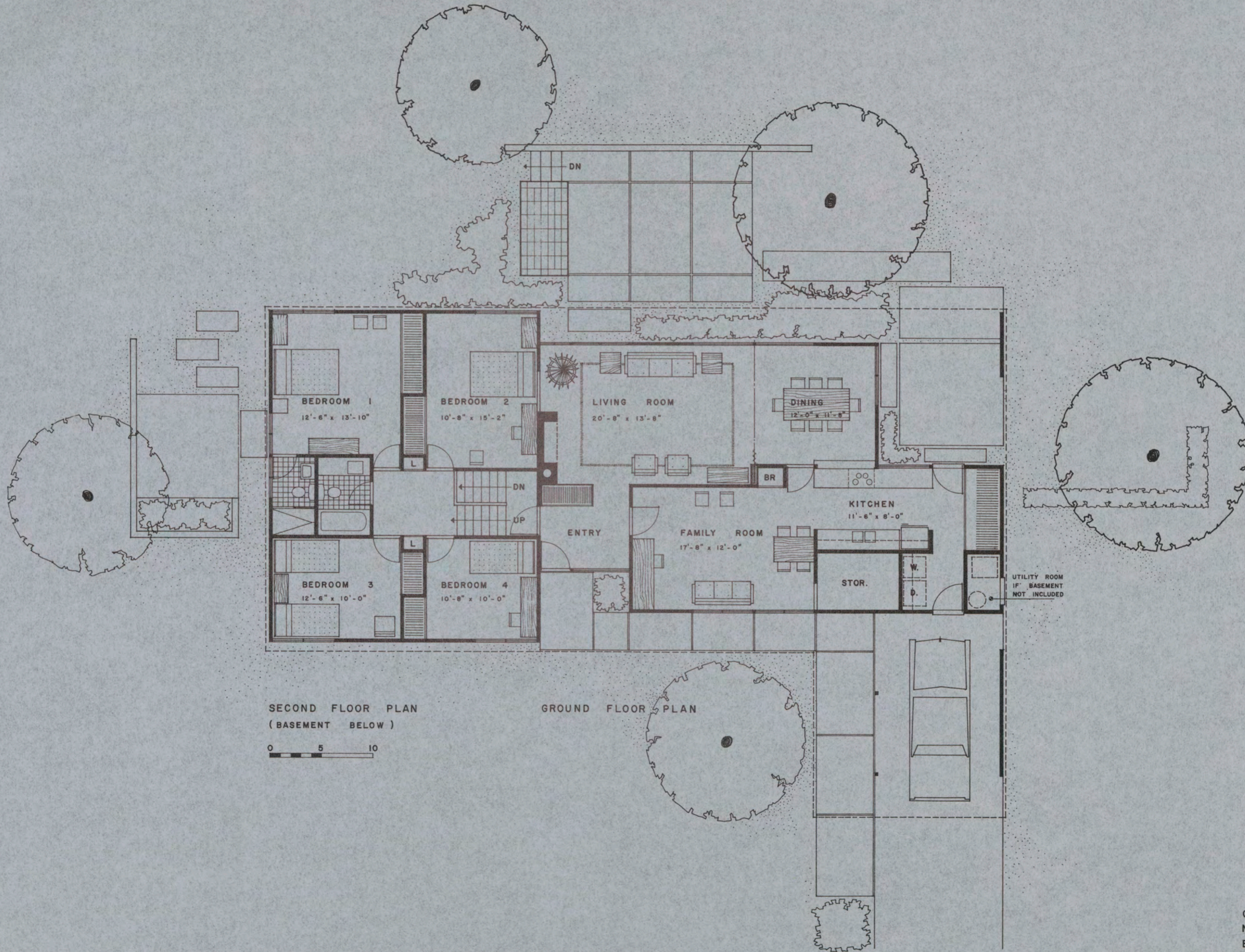
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. 2 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	S0	2	3 OF 3
IDENTIFICATION SYMBOL			



GROSS AREA 1895 SQ. FT.  
 NET AREA 1670 SQ. FT.  
 BASEMENT 832 SQ. FT.

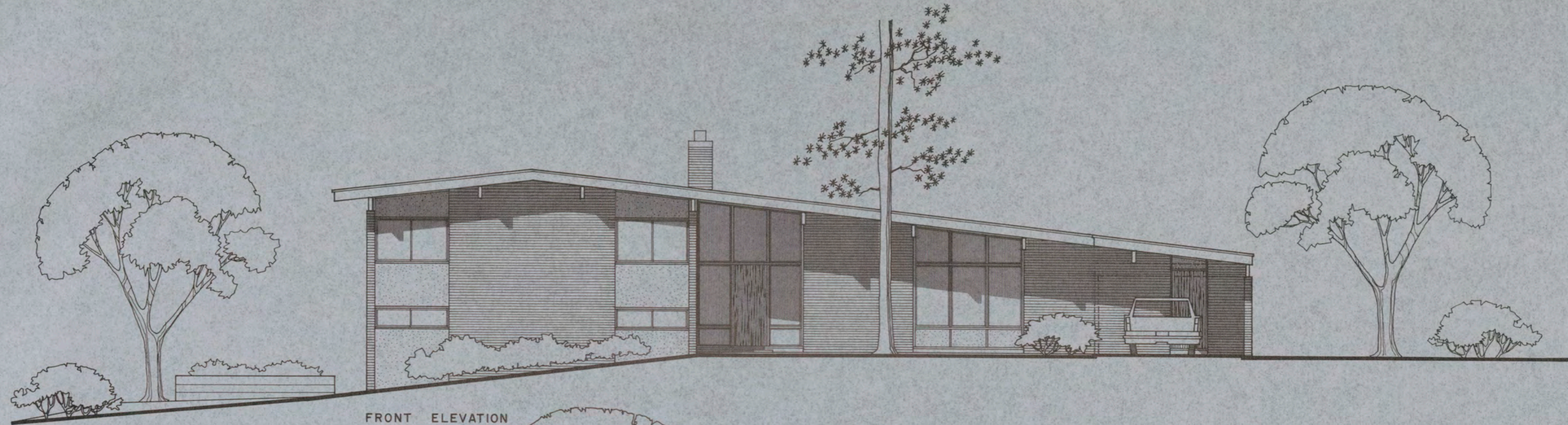
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

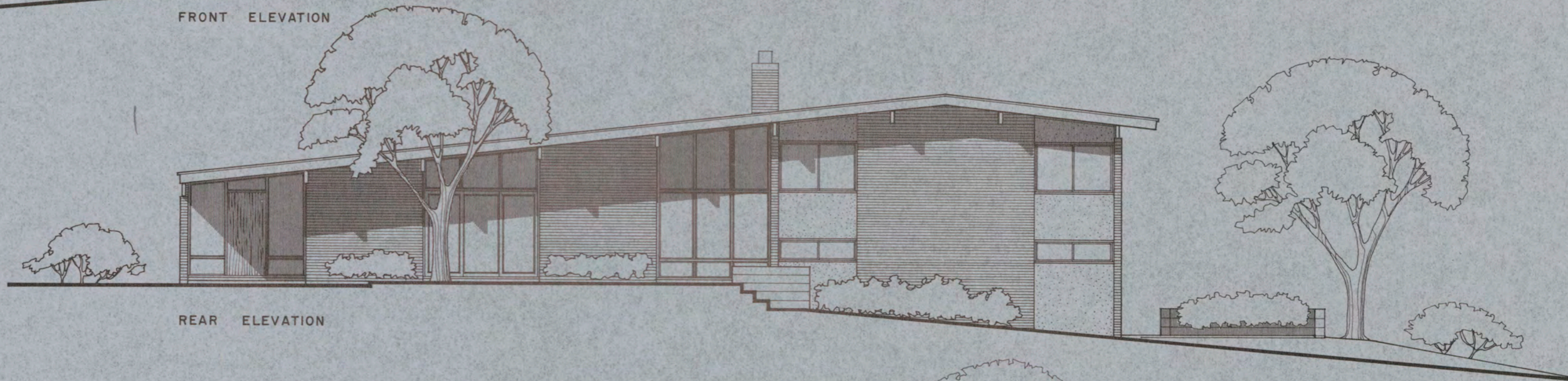
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. SPLIT SINGLE**

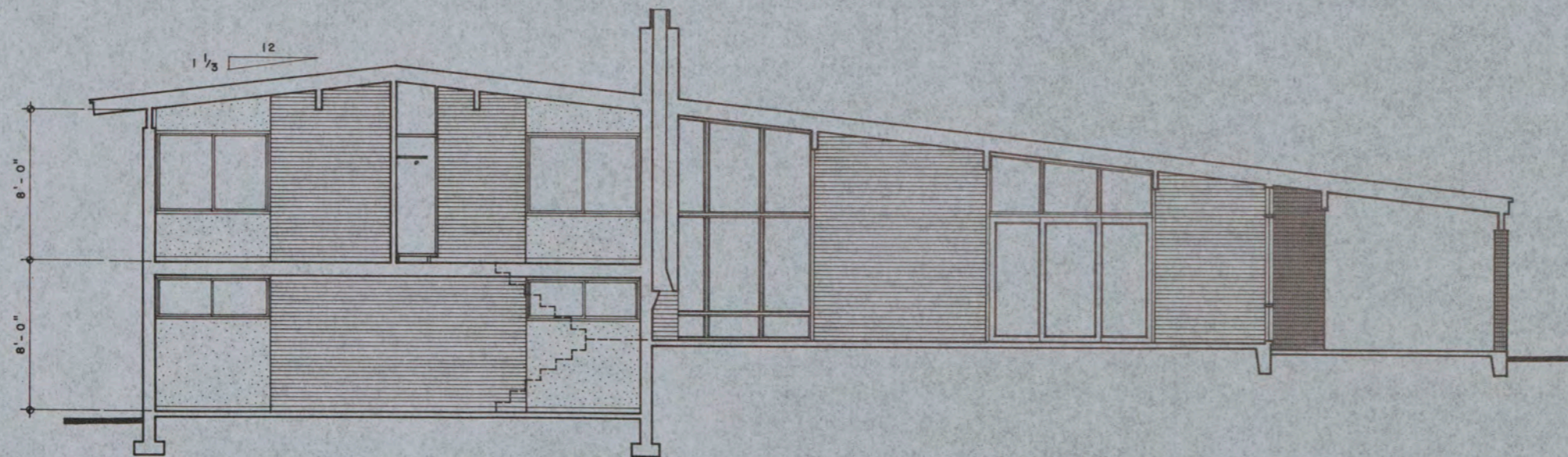
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV SO 3 1**  
 IDENTIFICATION SYMBOL OF 3



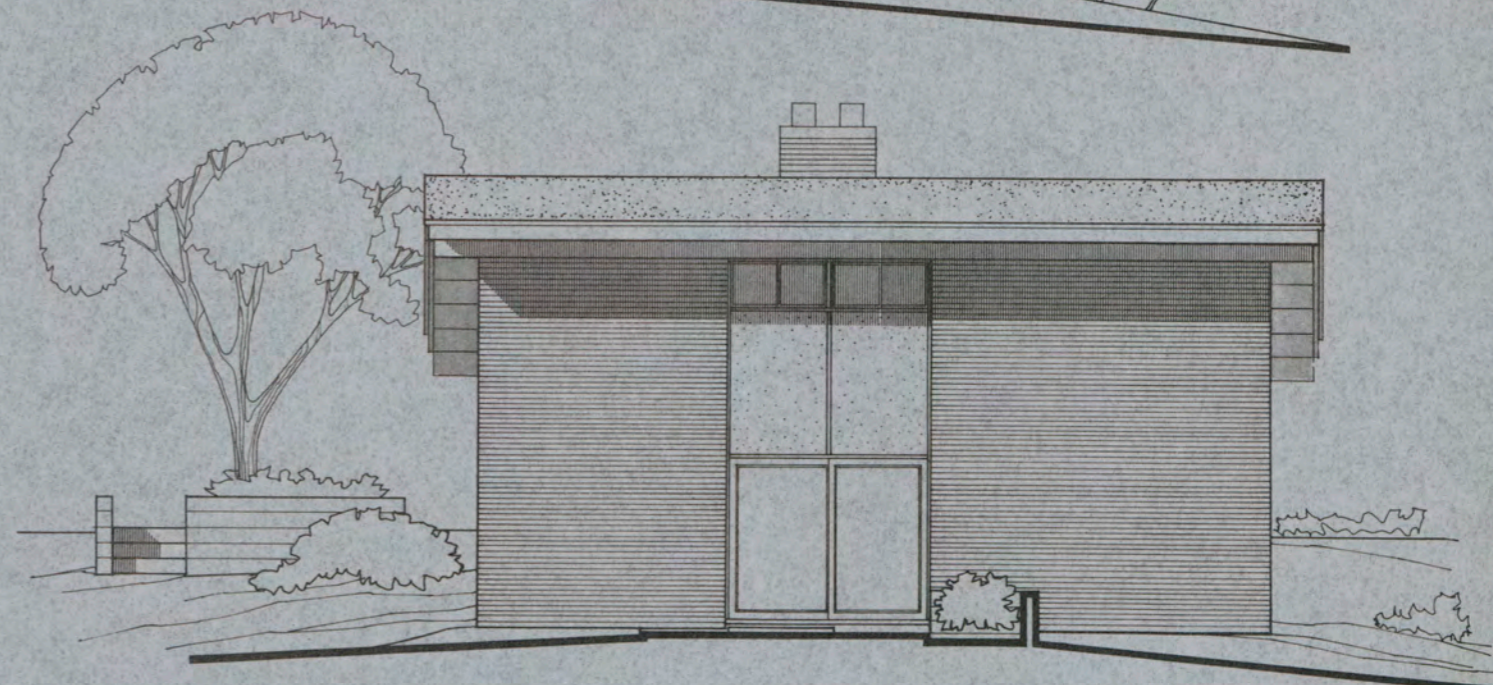
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

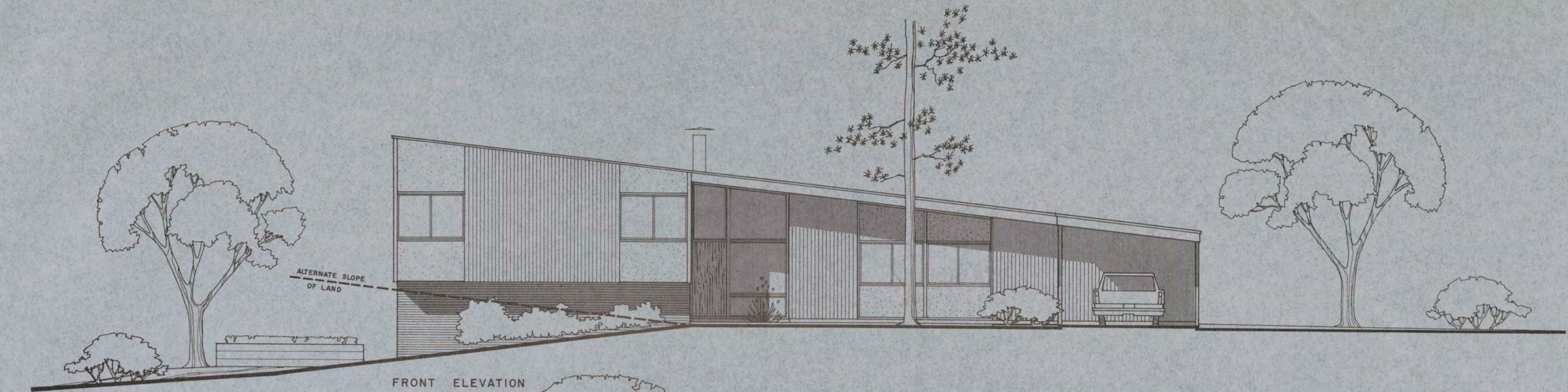
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Liquid J. Harbor*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

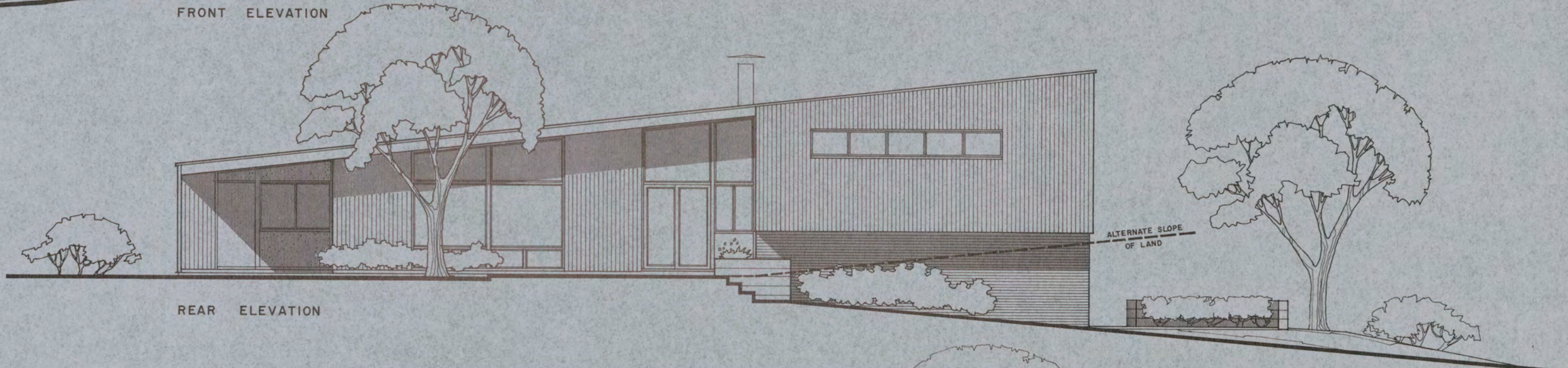
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. SPLIT SINGLE**

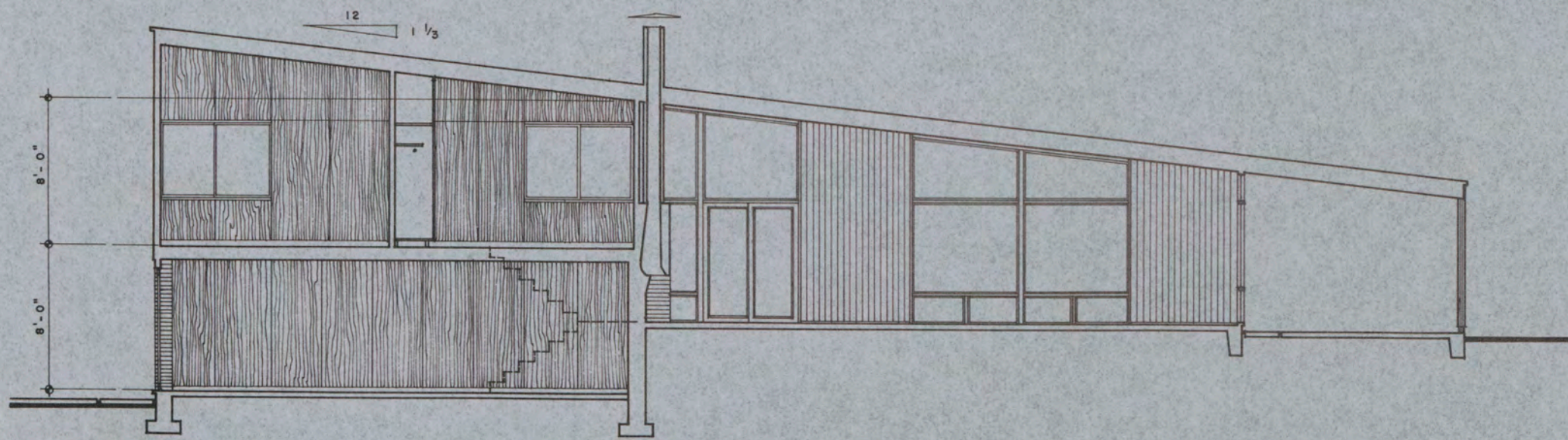
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	SO	3	2 OF 3
IDENTIFICATION SYMBOL			



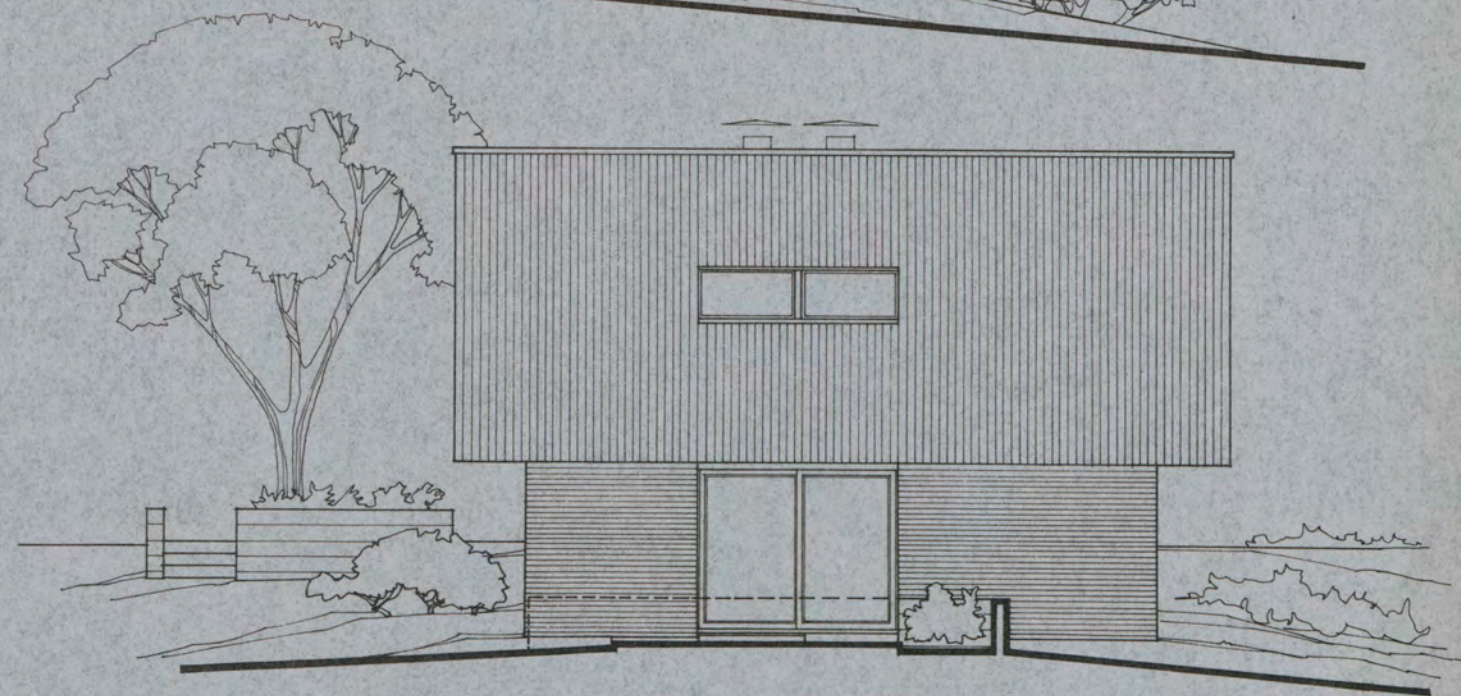
FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10



SIDE ELEVATION

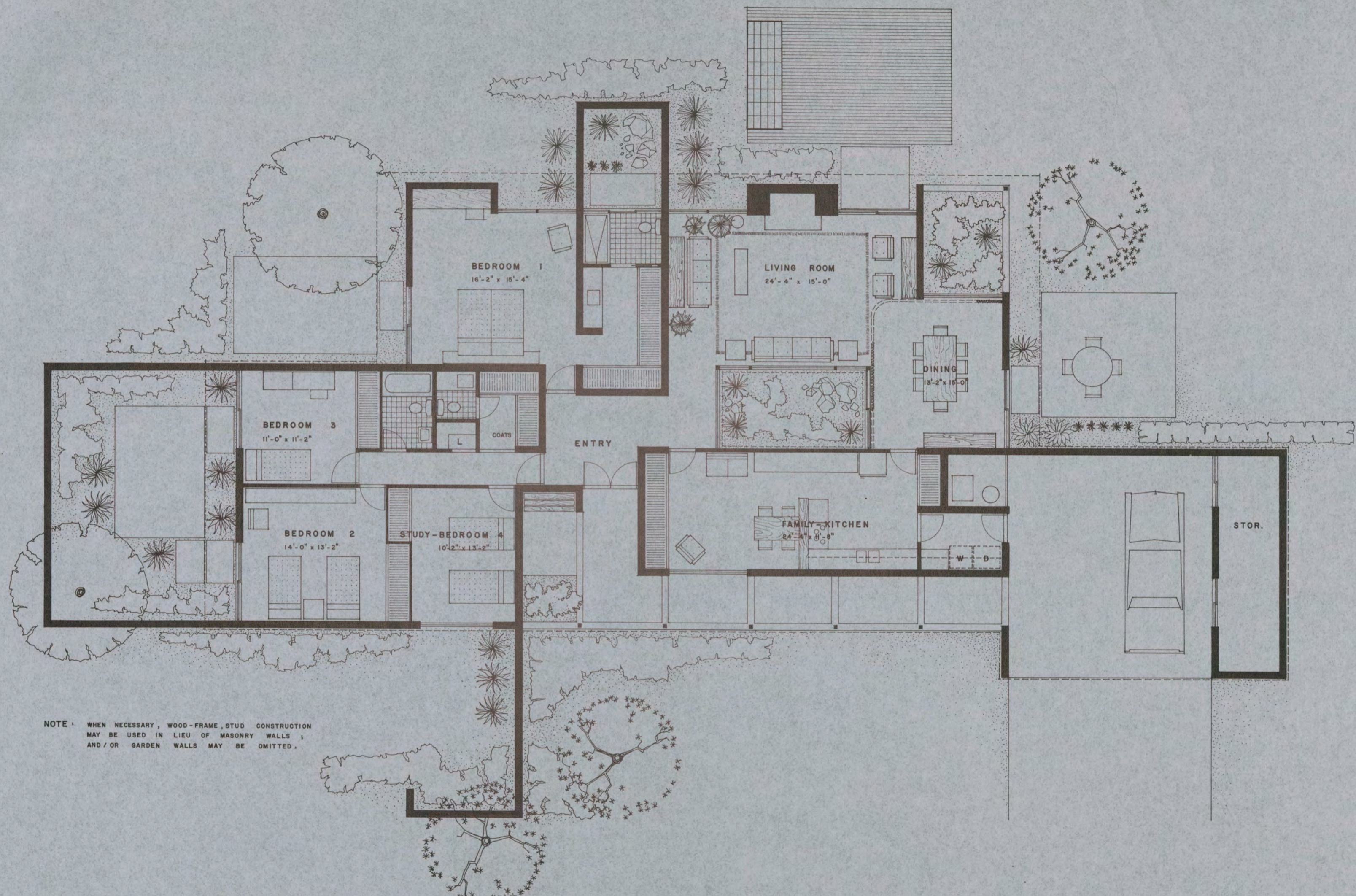
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Sigmund J. Garber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**SENIOR GRADE OFFICERS  
 4 BR. SPLIT SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	SO	3	3 OF 3
IDENTIFICATION SYMBOL			



NOTE: WHEN NECESSARY, WOOD-FRAME STUD CONSTRUCTION MAY BE USED IN LIEU OF MASONRY WALLS; AND/OR GARDEN WALLS MAY BE OMITTED.

GROUND FLOOR PLAN  
0 5 10

GROSS AREA 2524 SQ. FT.  
NET AREA 2080 SQ. FT.

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Richard J. Harbo*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

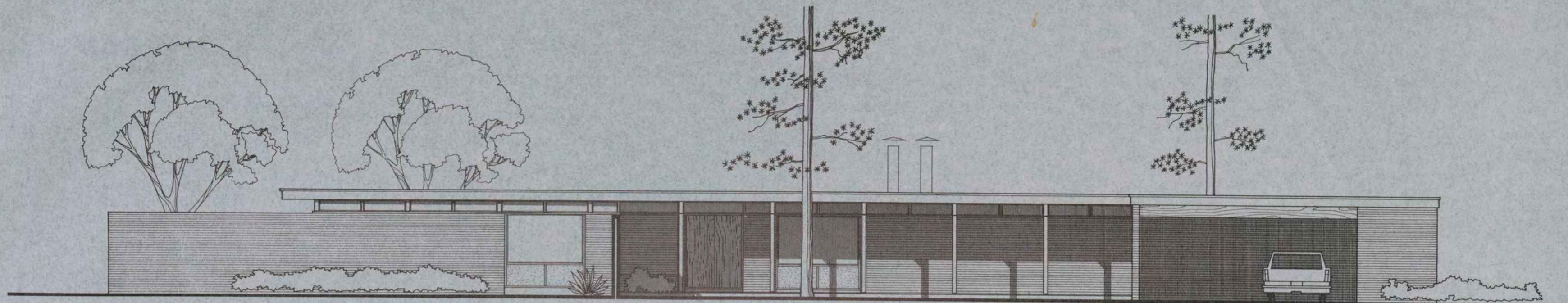
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**GENERAL OFFICERS  
4 BR. 1 STORY SINGLE**

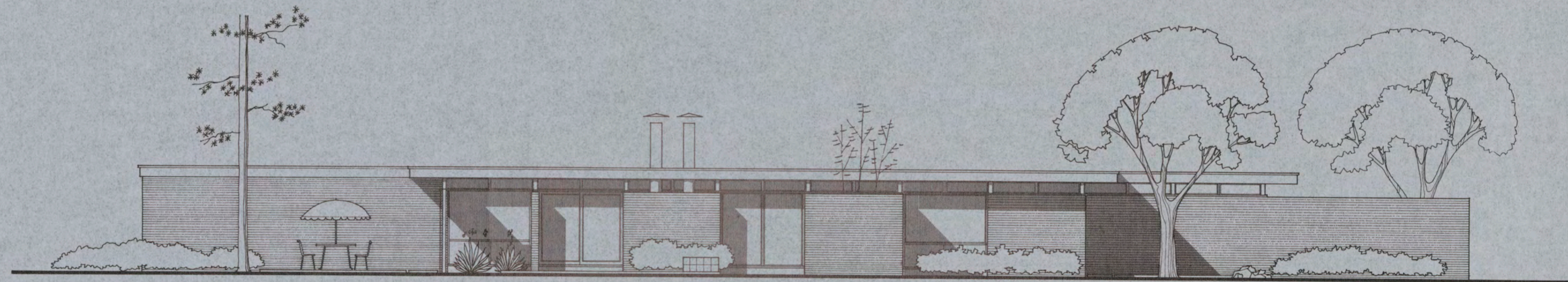
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	GO	1	1 OF 3

IDENTIFICATION SYMBOL

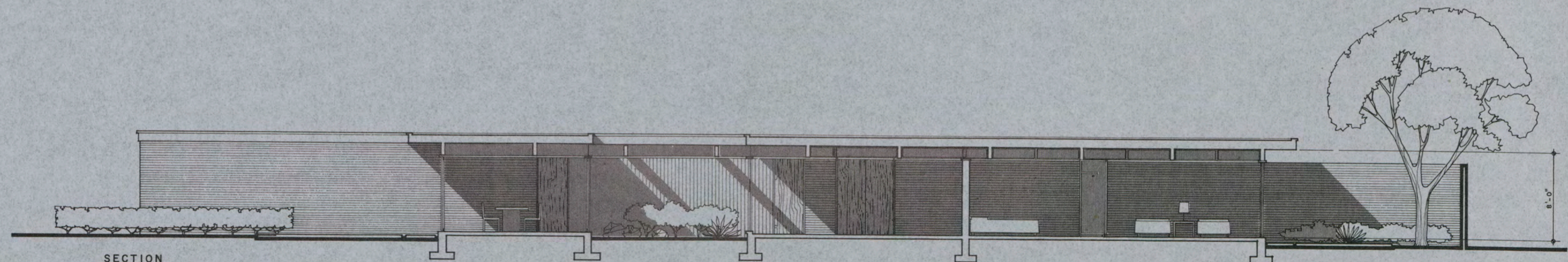




FRONT ELEVATION



REAR ELEVATION



SECTION  
0 5 10

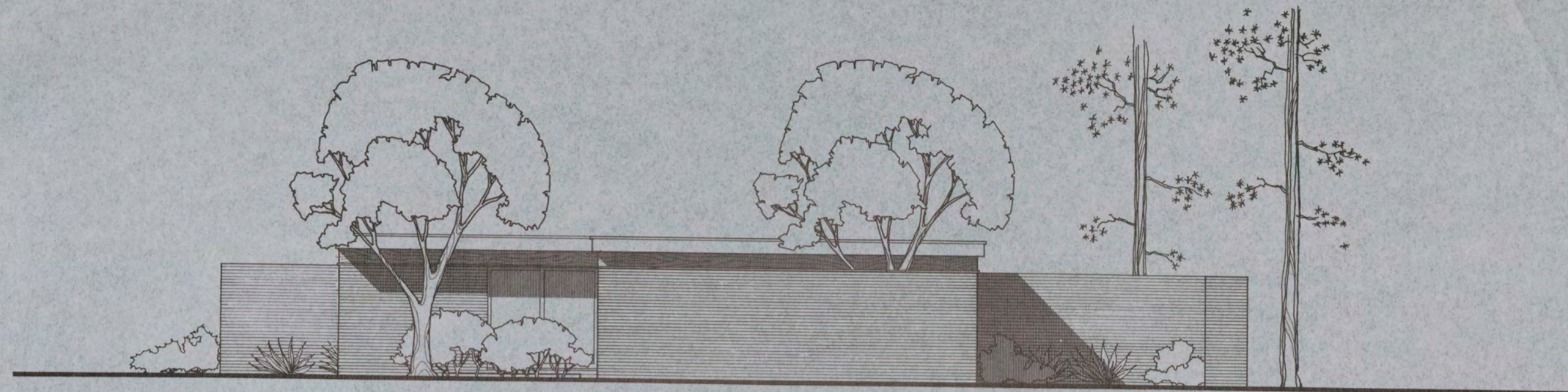
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Signed J. Halber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

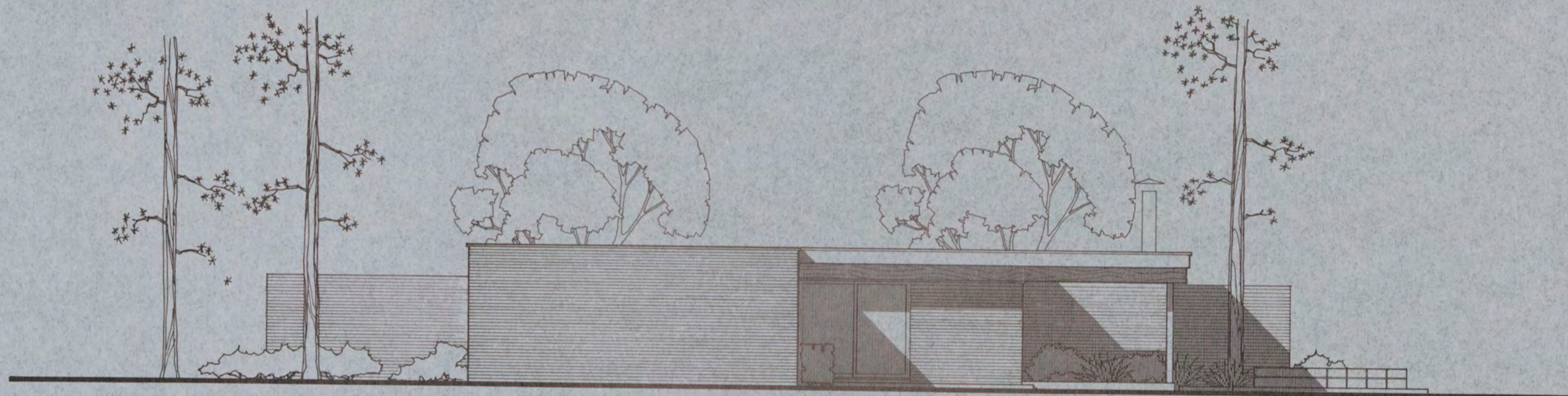
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**GENERAL OFFICERS**  
**4 BR. 1 STORY SINGLE**

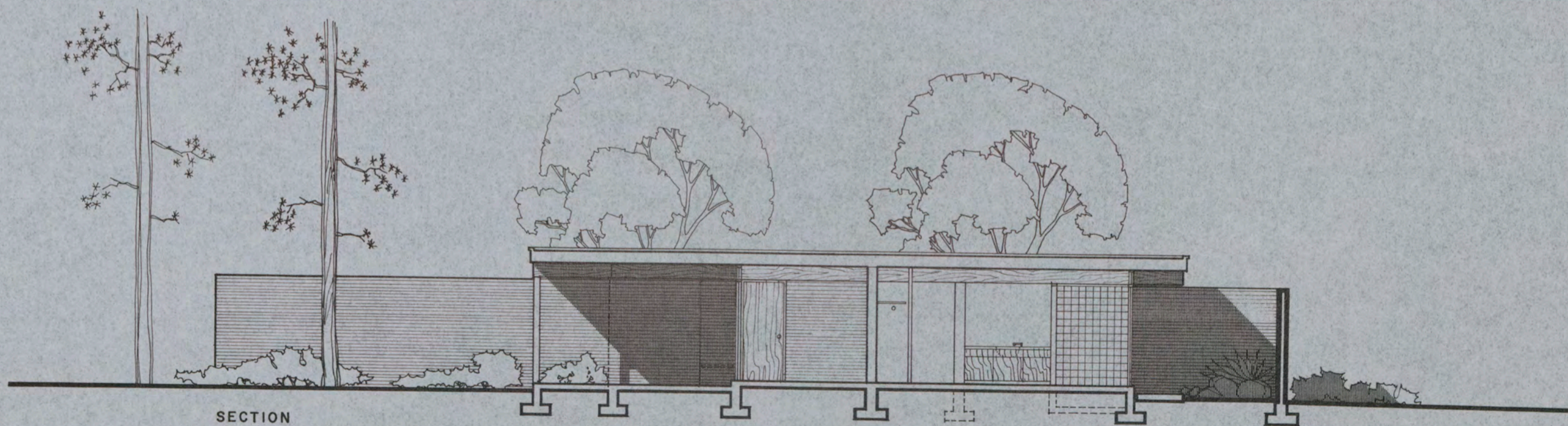
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	GO	1	2 OF 3
IDENTIFICATION SYMBOL			



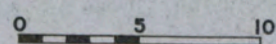
SIDE ELEVATION



SIDE ELEVATION



SECTION



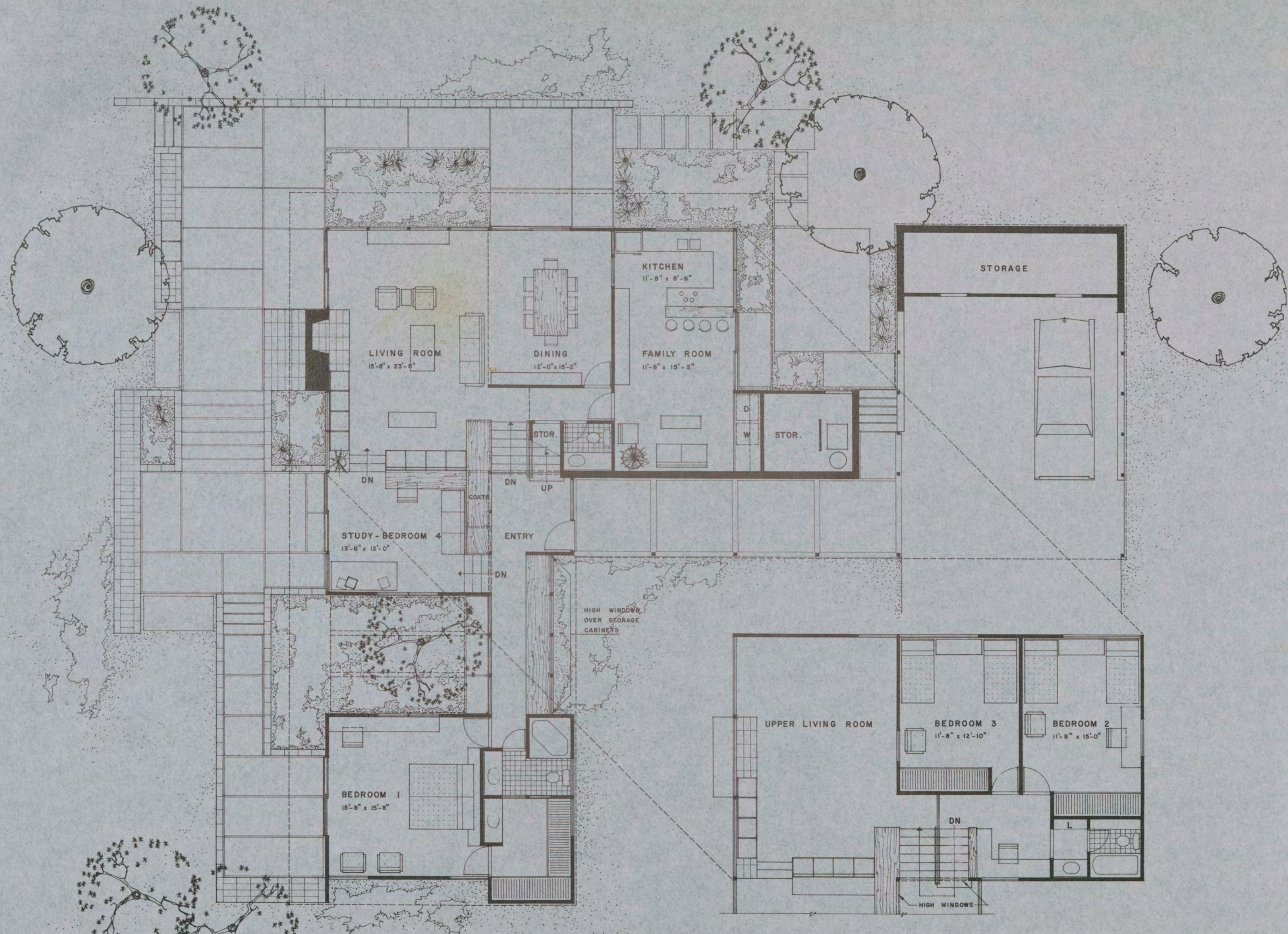
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**GENERAL OFFICERS  
 4 BR. 1 STORY SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	GO	1	3 OF 3
IDENTIFICATION SYMBOL			



GROUND FLOOR PLAN  
0 5 10

SECOND FLOOR PLAN

GROSS AREA 2584 SQ. FT.  
NET AREA 2090 SQ. FT.

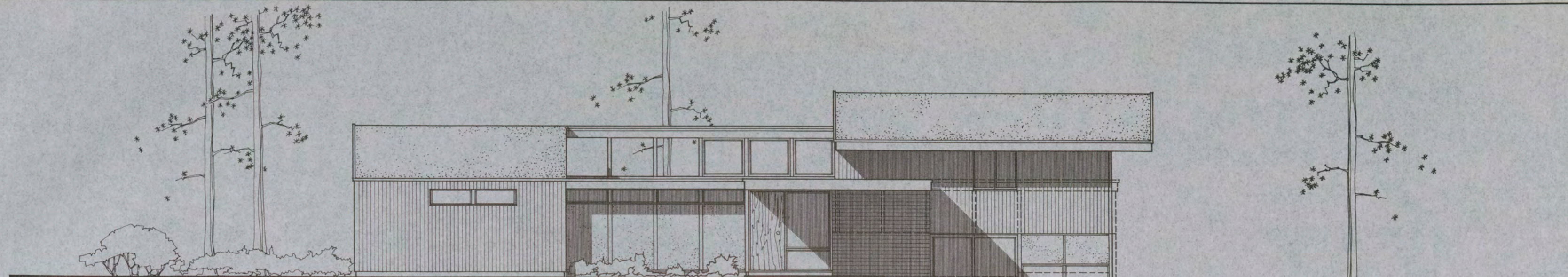
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Edward J. Garber*  
20 FEBRUARY 1964  
DIRECTOR, FAMILY HOUSING  
STANDARDS AND DESIGN

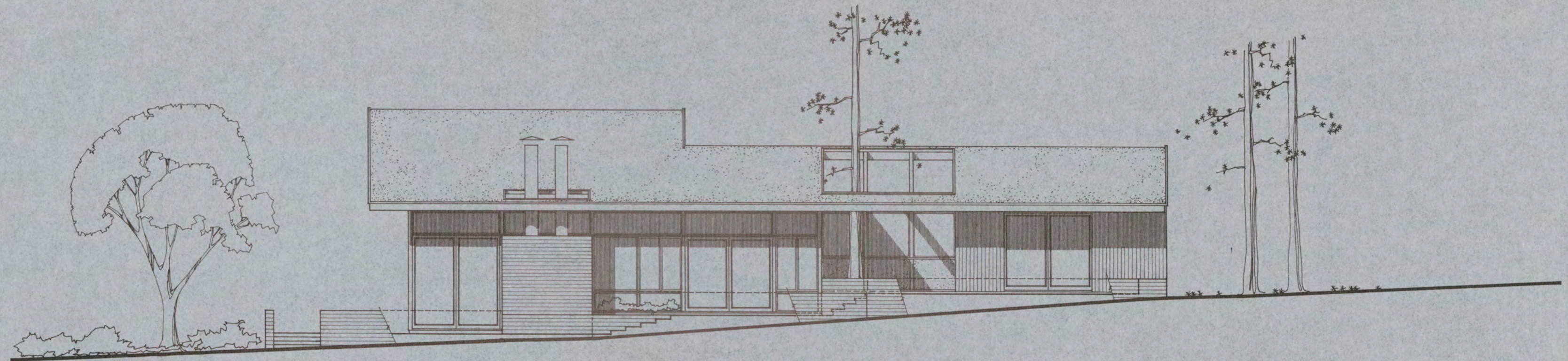
ARCHITECTS  
GEORGE MATSUMOTO  
ARCHITECT  
OAKLAND CALIF.

DESCRIPTION  
**GENERAL OFFICERS  
4 BR. SPLIT SINGLE**

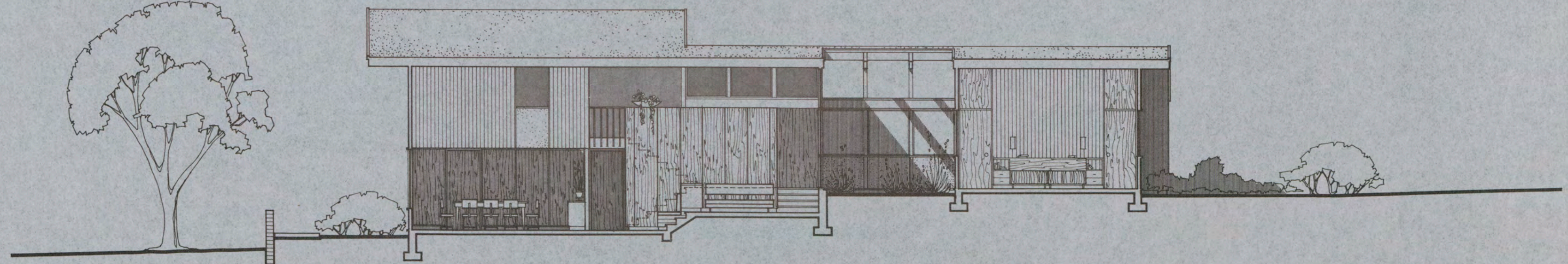
DESIGN GROUP PERSONNEL TYPE HOUSE TYPE SHEET NO.  
**IV GO 3** 1  
IDENTIFICATION SYMBOL OF 3



FRONT ELEVATION



REAR ELEVATION



SECTION

0 5 10

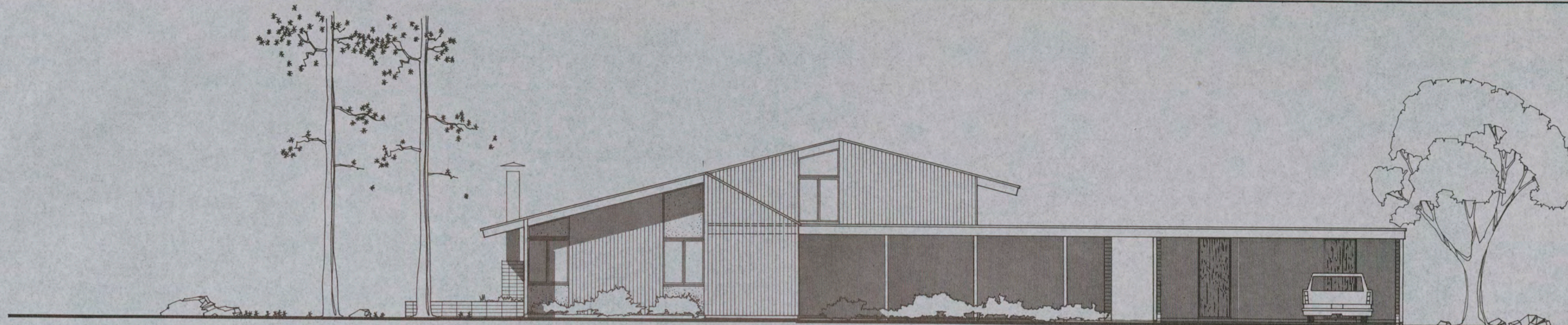
**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

APPROVAL  
*Seymour J. Harlan*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

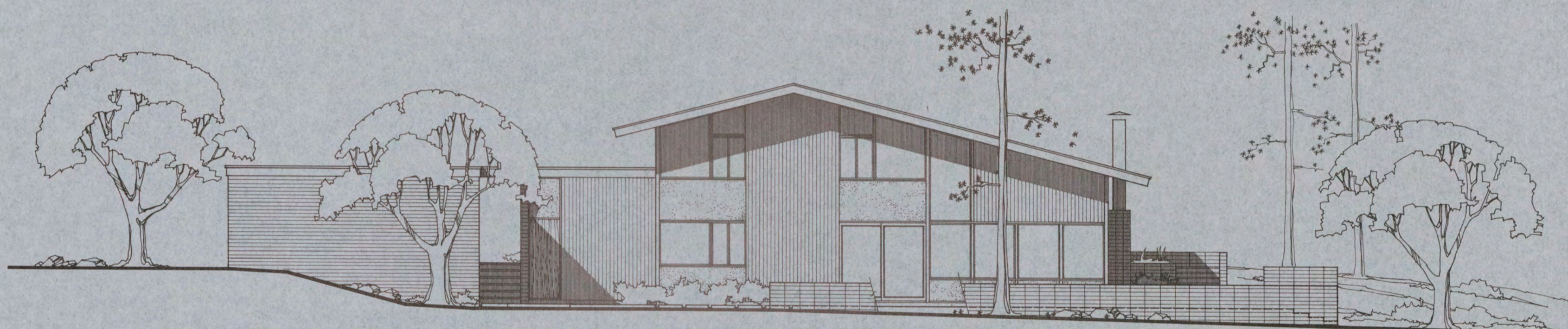
ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

DESCRIPTION  
**GENERAL OFFICERS  
 4 BR. SPLIT SINGLE**

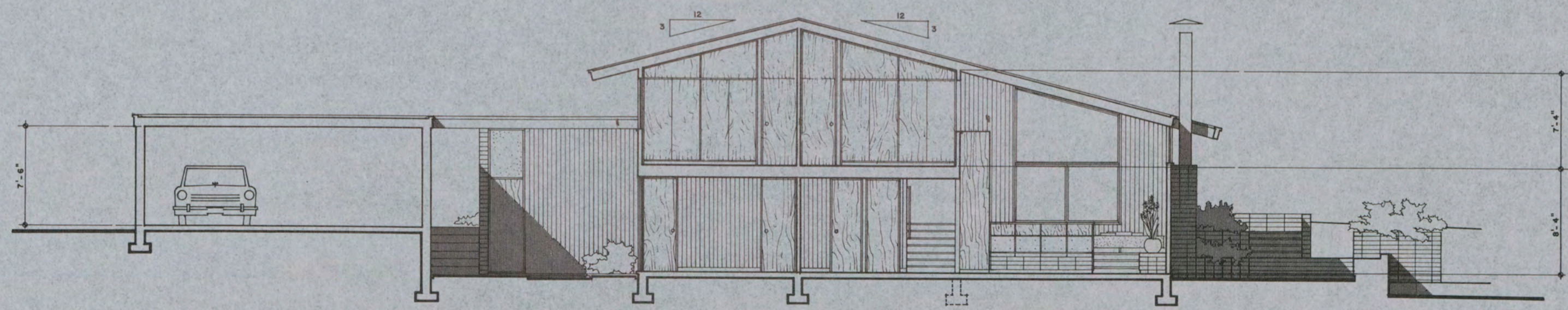
DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	GO	3	2 OF 3
IDENTIFICATION SYMBOL			



SIDE ELEVATION



SIDE ELEVATION



SECTION  
0 5 10

**DEPARTMENT OF DEFENSE — FAMILY HOUSING**  
 PREPARED BY THE OFFICE OF THE DEPUTY ASSISTANT SECRETARY OF DEFENSE (FAMILY HOUSING)

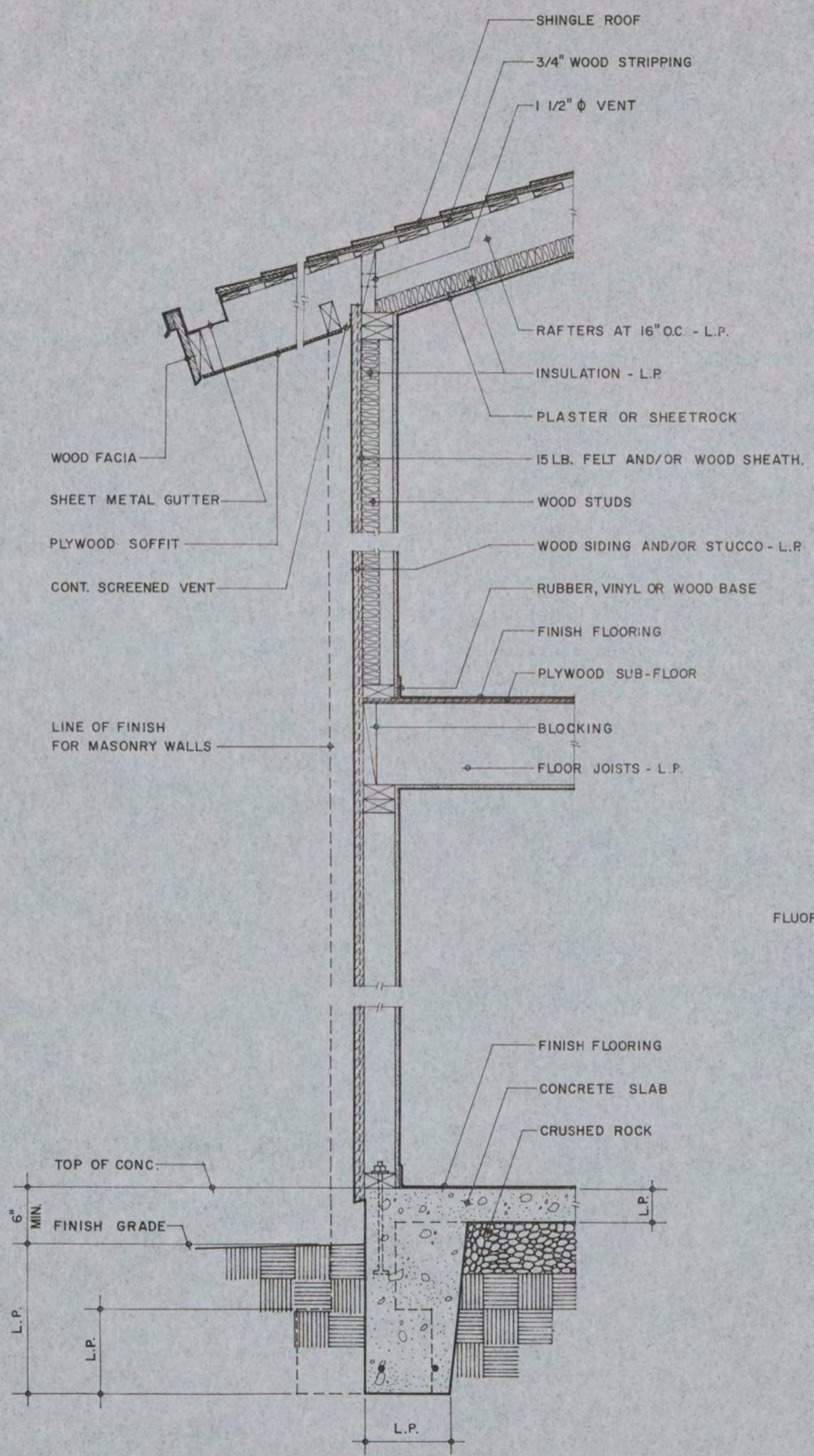
APPROVAL  
*Richard J. Harber*  
 20 FEBRUARY 1964  
 DIRECTOR, FAMILY HOUSING  
 STANDARDS AND DESIGN

ARCHITECTS  
 GEORGE MATSUMOTO  
 ARCHITECT  
 OAKLAND CALIF.

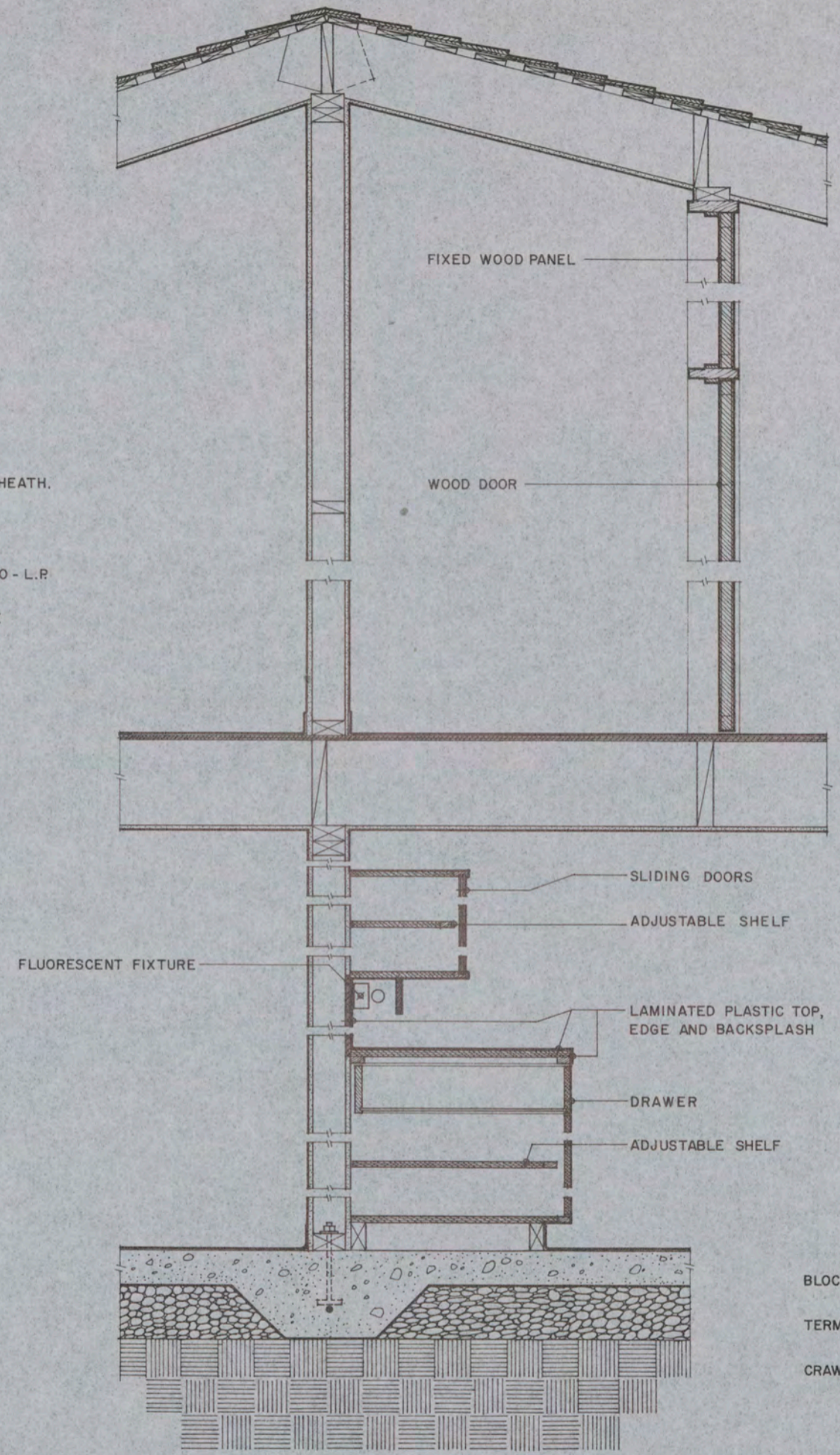
DESCRIPTION  
**GENERAL OFFICERS  
 4 BR. SPLIT SINGLE**

DESIGN GROUP	PERSONNEL TYPE	HOUSE TYPE	SHEET NO.
IV	GO	3	3 OF 3

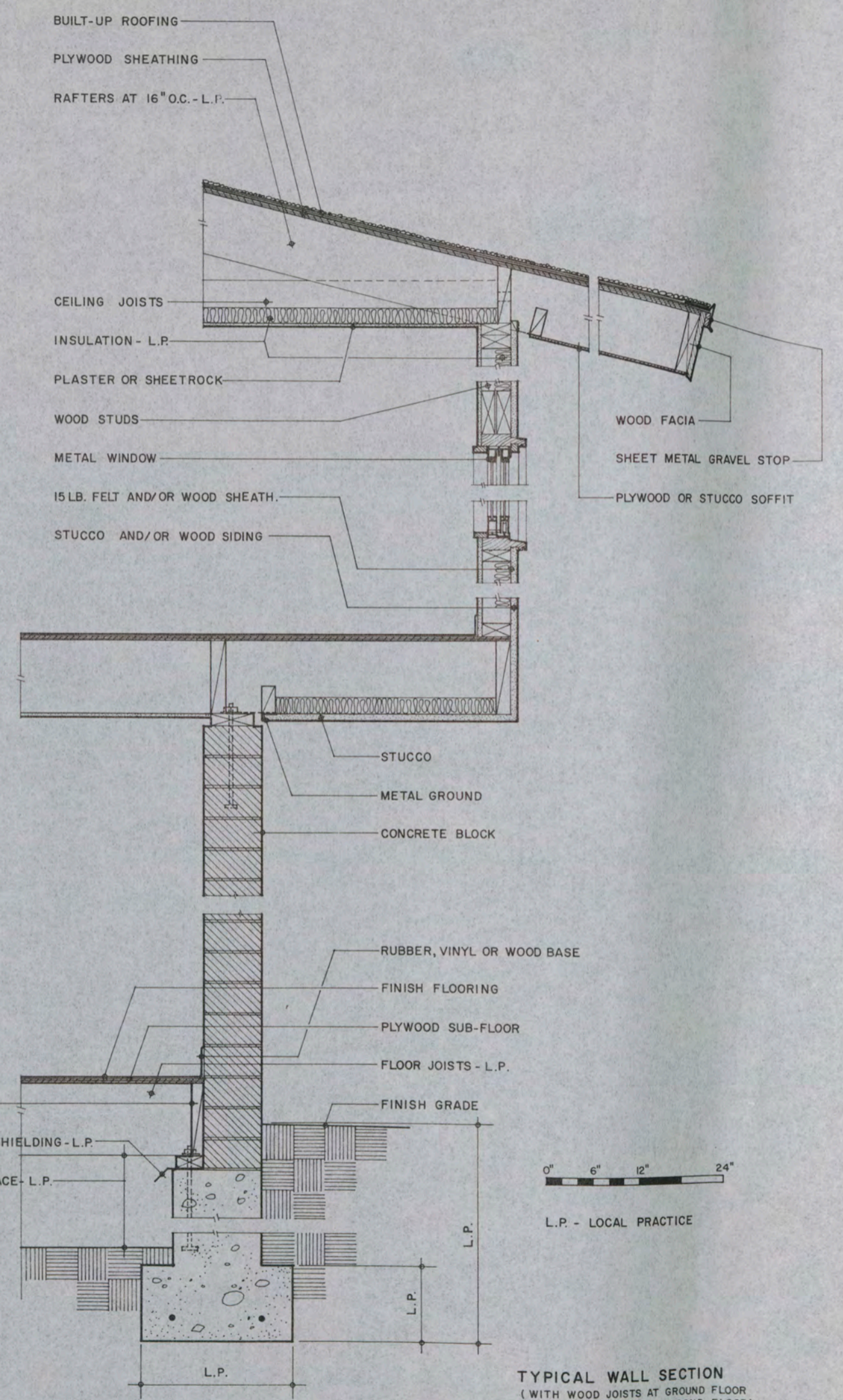
IDENTIFICATION SYMBOL



TYPICAL WALL SECTION  
(WITH SLAB ON GRADE)



TYPICAL INTERIOR WALL SECTION  
(TYPICAL KITCHEN CABINETS SHOWN)



TYPICAL WALL SECTION  
(WITH WOOD JOISTS AT GROUND FLOOR  
AND CANTILEVERED SECOND FLOOR)

